

Design Guidelines

For Austell Road



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Section 1. Introduction

1.1 Purpose

Austell Road provides many benefits to Cobb County as a whole and to the individual neighborhoods that it abuts. Austell Road is a key commercial corridor and serves as one of the gateways into the County for visitors and residents. The commercial corridor currently provides medical services, shopping, dining, and cultural and entertainment opportunities for residents of the region, county and adjacent neighborhoods.

Current development practices along Austell Road emphasize automobile uses and access, which are at odds with the County's goal of creating a transit-oriented, pedestrian-friendly, safe urban experience. Cobb County is proactively seeking to revitalize Austell Road through the creation of design guidelines to create a pedestrian-friendly character for the commercial corridor that is aesthetically pleasing, functional, walkable, and safe while continuing to offer a variety of commercial and housing options.

The purpose of the Austell Road Design Guidelines is to:

1. Create a modern, urban corridor that is attractive, walkable, and safe, and provides a variety of commercial/retail and housing options;
2. Provide clear direction for developers seeking to develop and redevelop existing properties, or perform major exterior renovations or additions to existing buildings; and
3. Stimulate investment, encourage development or redevelopment, and enhance the corridor in terms of aesthetics, function, and land use.

1.2 Applicability

These design guidelines apply to the following:

1. Exterior rehabilitation or modifications to existing buildings or structures that require building or land disturbing permits
2. All new construction, including additions to existing structures and buildings within the affected areas
3. Installation and/or modification of signs requiring a sign permit

Note: Parcels within the boundaries of an incorporated municipality are not subject to the standards set forth within these guidelines.

Building permit applications involving new construction or modification/addition to an existing structure within the affected areas, in combination with plans, elevations, detailed drawings, and specifications described herein, shall be subject to design review. Alterations and/or repairs to the interior of existing buildings are not subject to these guidelines. However, all Cobb County-adopted fire safety and building codes, as well as other relevant codes and standards, shall remain in full force and effect. Work performed on single-family residential structures is specifically exempted from these guidelines.

1.3 Affected Areas

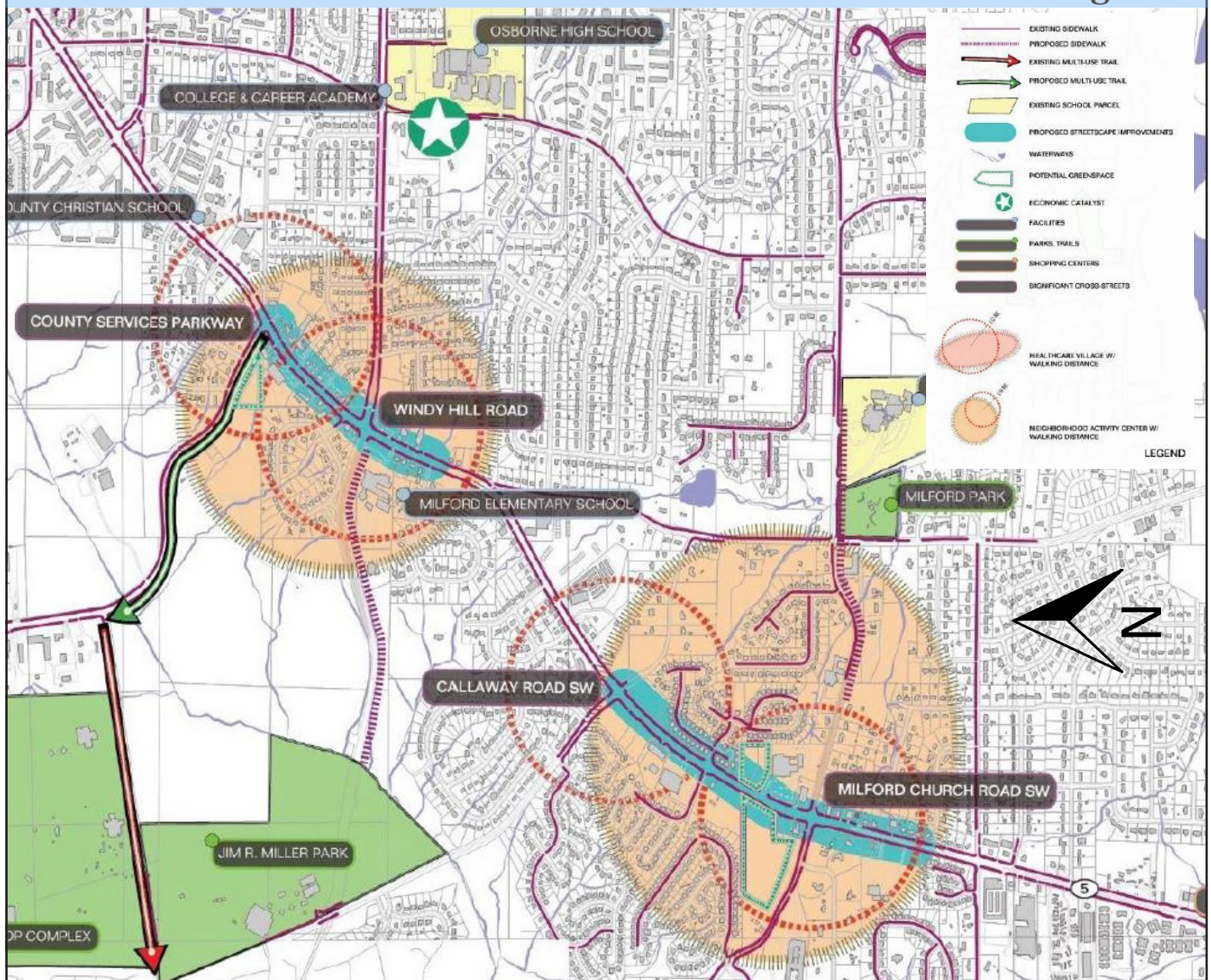
The areas impacted by these design guidelines are as follows:

- Parcels with frontage on Austell Road from Veterans Memorial on the South to South Cobb Drive on the North. (Approximately 8.4 miles)
- Two types of nodes/centers at major intersections along the two corridors:

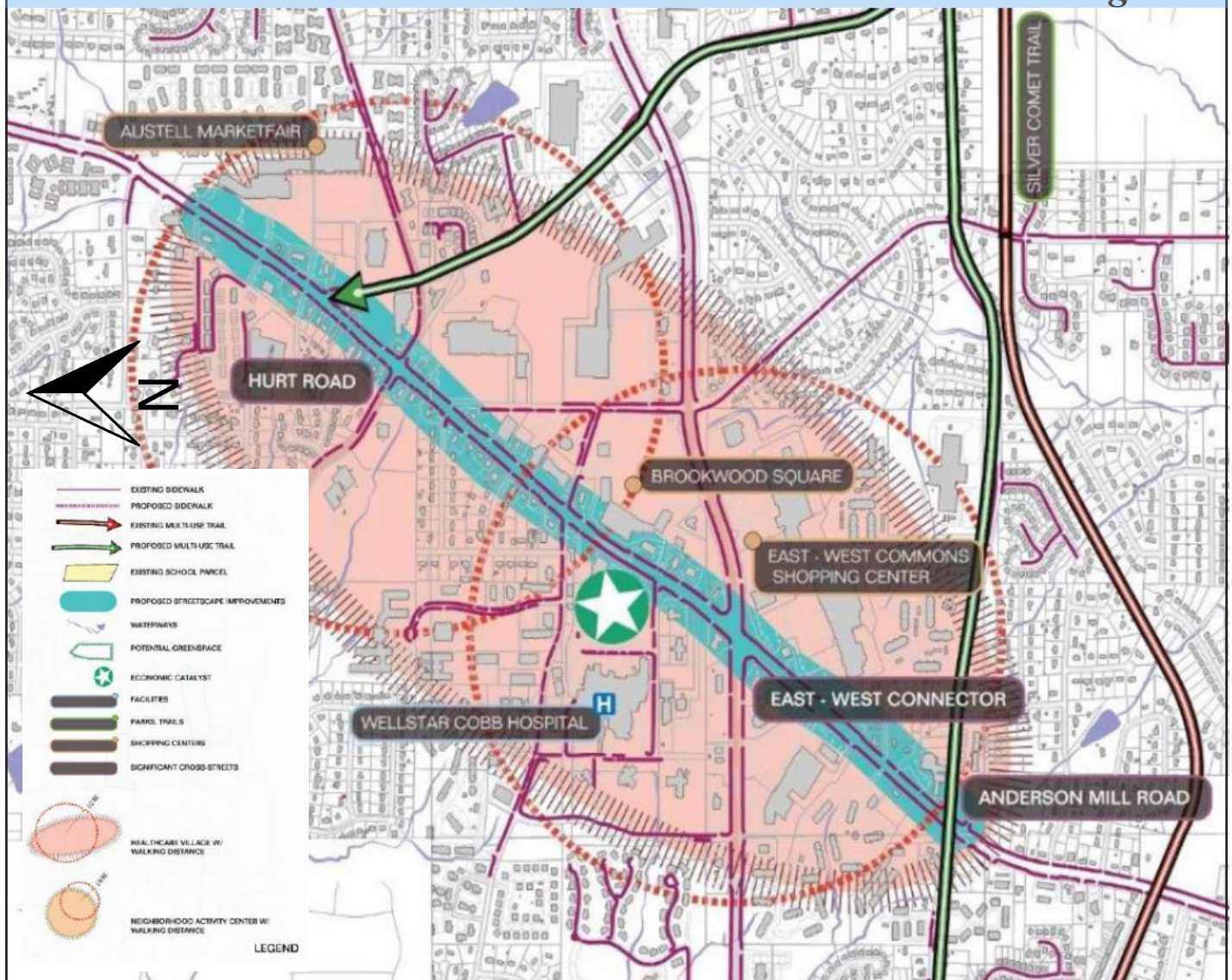
1. Neighborhood Activity Centers: Develop/redevelop within a ½ mile radius around the following intersections:

- a. Milford Church Road Southwest and Austell Road
- b. Callaway Road Southwest and Austell Road
- c. Windy Hill Road and Austell Road
- d. County Services Parkway and Austell Road

Figure 1



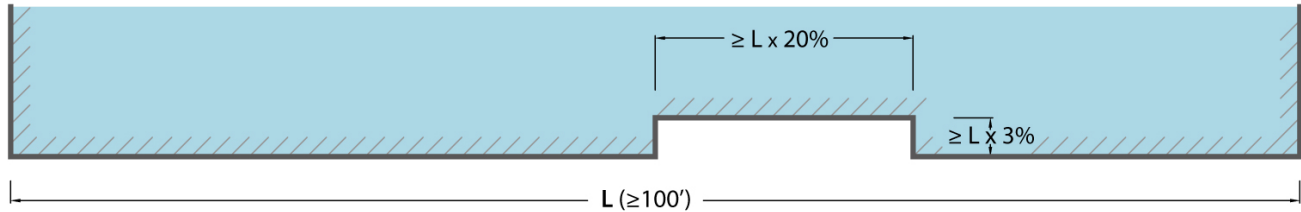
2. Healthcare Village Centers: Develop/redevelop within a ¼ mile radius around the following intersections:
 - a. Hurt Road and Austell Road
 - b. East-West Connector and Austell Road
 - c. Anderson Mill Road and Austell Road

Figure 2

Section 2: Architecture Standards

2.1 Building Mass

- Buildings with a facade greater than 100 feet in length, measured horizontally, shall incorporate recesses or projections having a depth of at least three percent (3%) of the length of the facade and extend at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed 100 horizontal feet.



- Ground floor facades that face public streets shall have arcades, display windows, entry areas, non-metal awnings, or other such architectural features along at least fifty percent (50%) of its length.

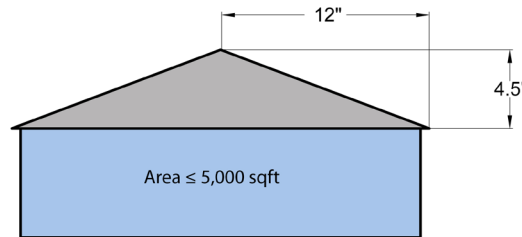


- Multi-tenant buildings shall include the following:
 - Recessed windows that include visually prominent sills, shutters, or other similar framing.
 - Individual entrances that are delineated by non-metal awnings, columns, canopies or porticoes, arches, or similar architectural feature(s).
 - Facades which include a repeating pattern through color change, texture change, or material change. At least one of these elements must repeat along the length of the facade. All elements shall repeat at an interval of no less than 30 feet.
 - The projection of the building facade should be no less than 12 inches in width.



4. Roof Line

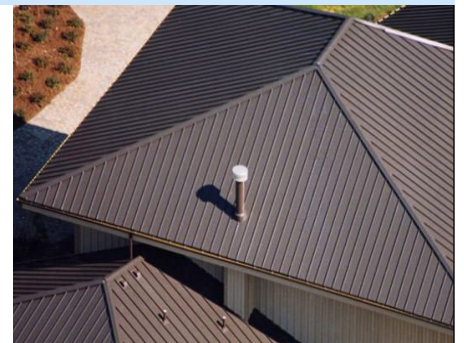
- a. Buildings less than 5,000 square feet shall have a pitched roof with a minimum pitch of 4.5 inches vertical elevation per 1 foot horizontal distance, except as otherwise provided herein. Building roofs shall be pitched with gables, dormers and aesthetic treatments.



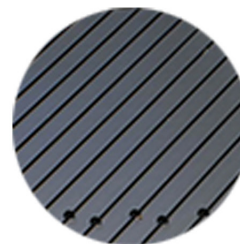
- b. Commercial building styles without a pitched roof shall have a detailed parapet and cornice.



- c. All roofing materials shall be of a consistent style and pattern; Pitched roofs shall be finished in either architectural or dimensional shingles, or standing seam metal roofs.



- d. Roofing materials for pitched or mansard roofs shall be limited to the following:
- Metal standing seam of red, green, dark gray, or silver in natural shades (no bright/pastel colors)
 - Tile, slate, or stone
 - Shingles with a slate, tile, or metal appearance



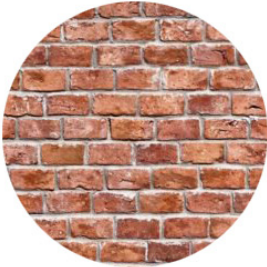
2.2 Materials

New buildings shall be constructed of predominantly brick in combination with a maximum of 25% stucco or similar materials. Burglar bars, steel gates, metal awnings, and steel roll-down curtains are prohibited. Buildings shall incorporate at least two of the following accent materials:

a. Brick

b. Stucco (cementitious finish)

c. Stone



2.3 Screening

1. Service Areas

- Trash collection, trash compaction, recycling collection, and other similar service areas must be located to the side or rear of buildings and must be screened from view from adjacent property or public street right-of-way.
- Service areas that are fully integrated into a building must be screened with a roll down door or other opaque screen.
- Service areas that are not integrated into a building must be screened on three sides by a wall at least six (6) feet in height and on the fourth side by a solid gate at least six (6) feet in height.



2. Mechanical & Utility Equipment

- The design of the screening should not appear as an afterthought, but rather design as part of the building.
- To avoid a visually cluttered streetscape and promote a more aesthetically pleasing environment, where possible, new development shall bury utilities.
- New construction must provide a parapet wall or other architectural element that screens roof-mounted equipment from ground level view.
- Wall-mounted equipment located on any surface that is visible from the public right-of-way must be fully screened by landscaping or an opaque screen.
- Ground-mounted mechanical equipment that is visible from the right-of-way must be screened from view by landscaping or a fence or wall. The screening must be of a height equal to or greater than the height of the mechanical equipment being screened.



3. Waste/Refuse

Refuse containers or dumpsters shall be located in the rear or side yard of a property and shall be screened from view of the public right-of-way (See Figure 4).

- a. Screening shall occur by placement of a brick or stacked stone masonry wall with solid gates that reflects the architecture of the proposed development.
- b. The enclosure shall have a minimum height of eight (8) feet, or two (2) feet taller than the highest point of the waste/grease container, compactor or dumpster, whichever is greater.
- c. Gates shall allow access to refuse containers while denying open views of the contents within.
- d. The use of chain link fencing is not acceptable as concealment of mechanical units or waste/grease containers.
- e. Dumpster adjacent to the residential properties should have a heavily vegetated buffer for visual screening and smell blocking.
- f. The sharing of waste facilities between lessees of commercial developments is strongly encouraged.
- g. All refuse materials shall be contained within the refuse area.



4. Garbage Containers

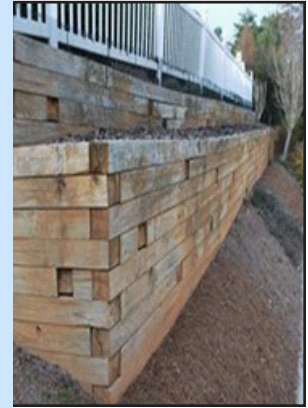
- a. Garbage cans shall be neatly contained in sheds or in separate screened enclosures.
- b. Garbage storage shall be shielded from public view and shall be within the building property line.
- c. Trash shall be placed at the street edge but shall not be placed in the street so as to obstruct the sidewalk or any area of public vehicular or pedestrian travel.






5. Walls

Walls include retaining walls as well as the exterior wall of stormwater detention structures. Walls facing public right-of-way shall have a decorated façade, combined with some decorative landscaping features, such as bushes and/or flowers. Walls greater than 40 feet in unbroken length shall be designed such that they do not cast a continuous unbroken shadow, provide interesting visual effects (such as surface patterns) and reduce apparent mass.


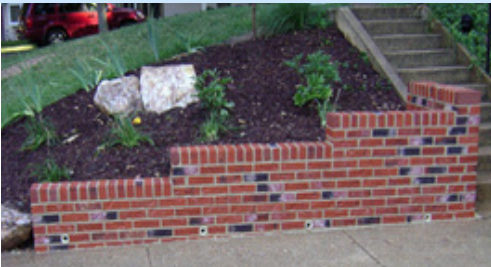



Landscaping and screening are required when a commercial property is immediately adjacent to a residential property, per Chapter 134 of the Cobb County Code of Ordinances.



Unacceptable Wall Materials

Timber, railroad ties	Untreated wood	Un-textured or unfinished concrete or block (CMU) Walls
		

Acceptable Wall Materials

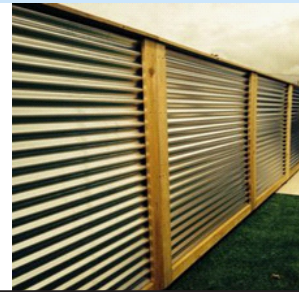
Native stone (highly encouraged)	Brick	Granite block
		
Attractively landscaped earth berms	Decorative stucco used in adjacent buildings	
		

6. Fencing

Fencing shall not extend beyond the front building line. Wooden privacy fencing must be screened by landscaping or have masonry posts at intervals of no less than 10 feet. No tarps or cloths can be hung on fencing for screening.

Unacceptable Materials:

- Razor wire or barbed wire fences, concertina wire
- Chain-link wire fences (except in landscape screened service and security areas)
- Corrugated metal
- Bright colored plastic



Acceptable Fences

- Fence shall not exceed six (6) feet in height.
- It is encouraged that the colors and/or materials of the fence match that of the main building.
- The recommend fencing styles/materials/colors include but are not limited to:

Wooden Fence



Metal Fence



Multi-Material Fence



Section 3: Streetscape Standards

3.1 Access Management

1. Site Access

- a. Site entry points from Austell Road shall be emphasized as “gateways” for larger scale developments. These entries must be designed as attractive landscaped features that incorporate an integrated set of signage, lighting and planting elements.



- b. Continuous service roads towards the rear of the property should be required for vehicular traffic. Continuous pedestrian connections should be built at the front of buildings.



- c. Driveways which cross existing sidewalks or where new sidewalks are planned as part of the new development shall have an accessible concrete crosswalk and shall provide a connection on either side to the sidewalk.



2. Shared Access

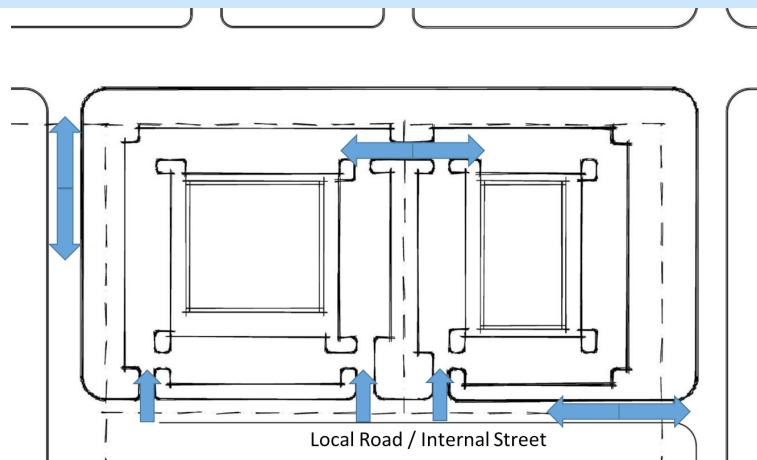
- a. When adjacent parcels are developed, the owner and Cobb County Community Development shall review whether a shared access is feasible and whether project design can accommodate shared access.
- b. Single-owner projects that span multiple parcels should utilize only one access onto Austell Road.
- c. Where multiple structures and uses are proposed, buildings shall be clustered with access provided by common entrances and internal road systems.



Common Entrances

3. Cross Access

- a. Cross access for vehicles should be provided between abutting lots along Austell Road.
- b. A stub for future vehicular cross access should be provided to all abutting vacant land.
- c. When vehicular cross access is deemed impractical on the basis of topography, the presence of natural features, vehicular safety factors or incompatible uses, the requirement for cross access may be waived by the district commissioner or authorized staff.
- d. If cross access is not provided at the time of original site plan approval due to the aforementioned conditions in item (3), cross access should be reconsidered for the site at the time of a change in tenancy, site plan amendment, or new site plan review.
- e. Property owners who establish cross access easements shall:
 - Record an easement allowing cross access to and from properties served by the cross access easement.
 - Record a joint maintenance agreement defining the maintenance responsibilities of each property owner.



Consolidation of driveways shall occur when owners of properties on which new buildings or substantial renovation of existing buildings occurs, and when said substantial renovation includes resurfacing of parking areas, eliminate access points which exist on the property in excess of two (2) such locations for every two hundred (200) feet of frontage and shall define all such access points via curb. Any access points so eliminated shall be replaced by landscaped areas and parking areas, as appropriate. For the purposes of this subsection, the term “substantial renovation” shall be defined as renovation exceeding fifty percent (50%) of the assessed value of the property.

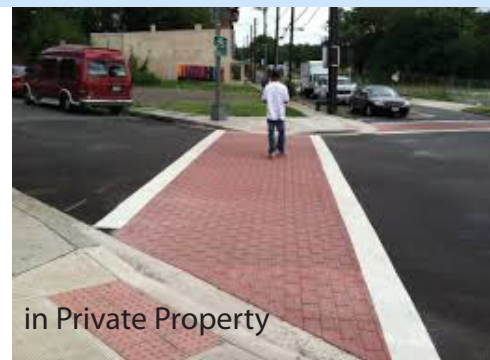
4. Pedestrian Access

a. Sidewalks and Crosswalks

- The sidewalk extending the frontage of the developed property should be a minimum of 5'-0" in width.
- Abutting the main pathway there should be a grass or paved strip between the sidewalk and the road, located in DOT right-of-way where stormwater is managed in an open swale. All street furnishings (trees, plantings, lighting, etc.) should occur within private property.



- Clearly marked crosswalks should be placed at all intersections where the sidewalk crosses the site access road.
- The sidewalk and crossings located parallel to public roads shall be ADA compliant whether or not it is located on private property or in the road right-of-way.



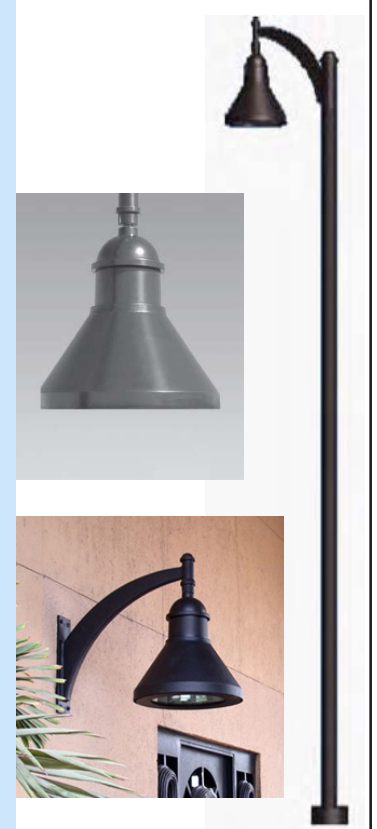
3.2 Lighting

1. Light Trespass

- a. Glare shall be eliminated so that roadway traffic will not be impacted by any lighting installed as part of a development.
- b. Lighting must not be oriented onto adjacent properties, streets or sidewalks.
- d. Lights must be “full cut off” or “fully shielded” fixtures. The following lighting fixture (or similar fixture) is recommended:
 - Eurotique Munich Small Pendant
 - Full cutoff performance with flat lens
 - Black metal pole and arm

2. Design

- a. Light fixtures within parking areas may be no higher than 30 feet.
- b. Light fixtures within pedestrian areas may be no higher than 15 feet.



3.3 Signage

Existing Cobb County signage standards apply per Chapter 134 Article VI of the Cobb County Code of Ordinances, along with the following additional requirements:

1. No billboard signage shall be permitted. Monument signs for developments shall be constructed of durable materials that match or complement the main building materials.
2. Within a development, all signage shall be consistent in style for each business.
3. A signage plan shall be reviewed and approved by the Cobb County Zoning Division. In the case of new developments which require rezoning or other approval, the Cobb County Planning Commission and Board of Commissioners must approve the proposed signage plan.
4. Window signage for each business shall be limited to ten (10) percent of the total window area.
5. Reflective films or coatings on windows or mirrored glass are prohibited.
6. any neon/light pollution from signage shall be restricted.



3.4 Landscaping Corridor Landscape, Corridor Frontage Zone, Roadway Standards

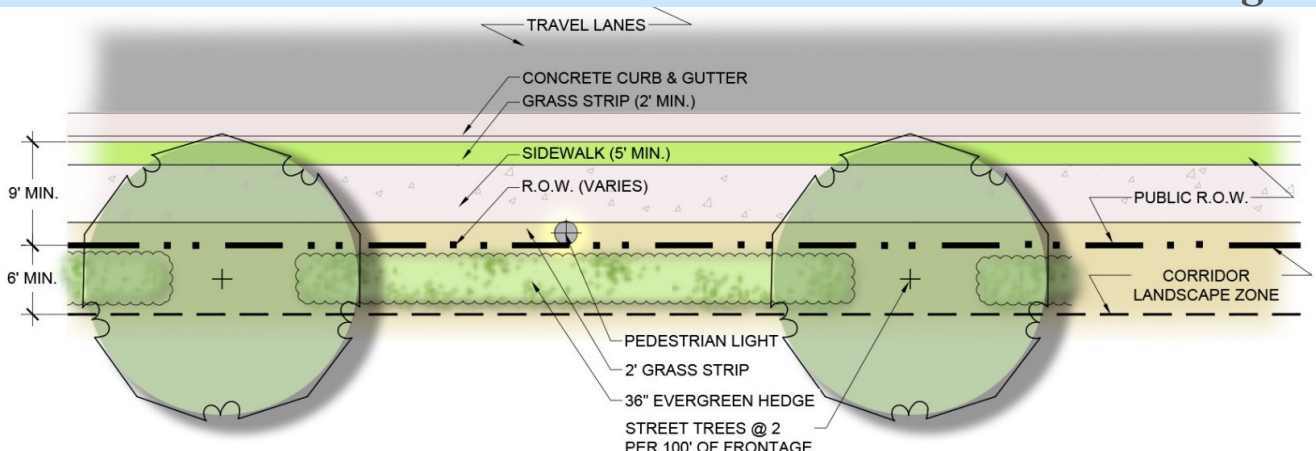
Minimum Requirements-Roadway Sections

	Constrained ROW	Wide ROW
Number of Lanes	4'	4'
Lane Width	11'	11'
Planting Strip	Mini. 2' Grass Strip	12' Shoulder
Sidewalks	5'	5'
Sidewalk Location	Both Sides	Both Sides

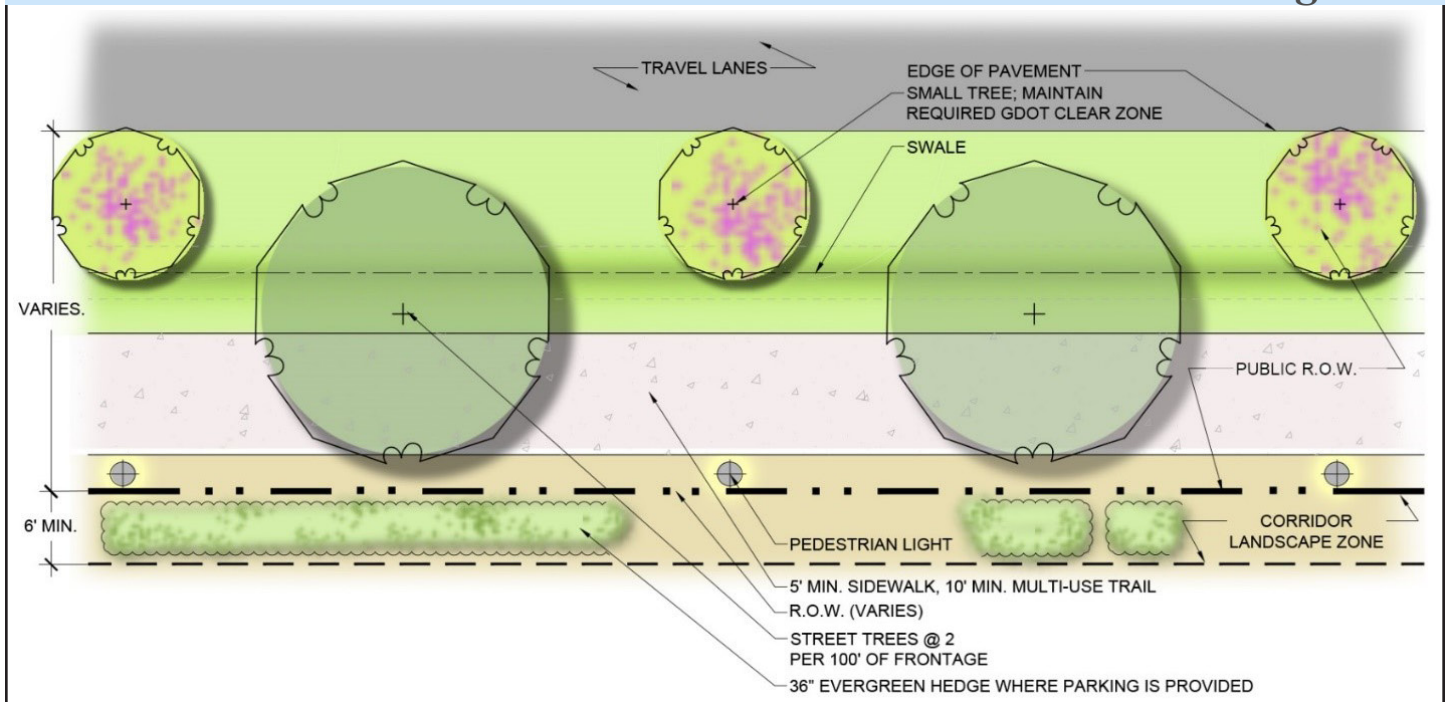
A mature tree with the caliper less than four inches (4") is a small tree.

1. Constrained Public Right-of-Way: Six-to-eight-foot (6'- 8') corridor landscape strip consisting of the following elements:
 - a. A grass strip no less than two feet (2') in width adjacent to curb and gutter. No tree can be placed in the grass strip.
 - b. In areas fronting residential development, one (1) large street tree per 50 feet of road frontage if they are outside of the clear zone. Two (2) Small street trees per 50 feet of road frontage if they are within the Clear Zone (Required GDOT clear zone must be maintained).
 - c. In areas fronting commercial development, one (1) large street tree per 35 feet of road frontage if they are outside of the clear zone. Two (2) small street trees per 35 feet of road frontage if they are within the Clear Zone (Required GDOT clear zone must be maintained).
 - d. Street trees should be evenly spaced, with a minimum of 20 feet between trees.
 - e. Large street tree canopy height should be at least Six (6) feet.
 - f. Street trees should be carefully placed to avoid conflicts with existing or proposed utility poles, overhead power lines, underground utilities and signs.
 - g. The space in between street trees should be occupied by evergreen hedges with 36-inch height from roadway.
 - h. Pedestrian light fixtures shall be compatible with the architectural theme and/or character of the corridor.
 - i. All Landscaping must be clear of sight triangle at intersections and driveways per AASHTO guidelines.

Figure 3



2. Wide Right-of-Way: Twelve-foot (12') shoulder on each side of corridor to include the following:
 - a. Small tree before the swale, evenly distributed between large trees (Required GDOT clear zone must be maintained). Large trees need to be planted outside of the Clear Zone.
 - b. In areas fronting residential development, swale with large street trees planted at an interval of one (1) per 50 feet of road frontage.
 - c. In areas fronting commercial development, swale with large street trees planted at an interval of one (1) per 35 feet of road frontage.
 - d. Street trees should be evenly spaced, with a minimum of 20 feet between trees.
 - e. Large street tree canopy height should be at least Six (6) feet. The canopy less than ten (10) foot height shall not grow past curbing at tree maturity.
 - f. Street trees should be carefully placed to avoid conflicts with existing or proposed utility poles, overhead power lines, underground utilities and signs.
 - g. Minimum width of ten feet (10') for multi-use trails; Minimum width of five feet (5') for standard sidewalks.
 - h. Parking lots adjacent to public streets should be separated from the adjacent street by evergreen hedges with 36-inch height from roadway.
 - i. Pedestrian light fixtures shall be compatible with the architectural theme and/or character of the corridor.
 - j. The roadside swale will be optional when there is a downward slope of a property away from the roadway. (Details to be determined at Plan Review on a case-by-case basis)

Figure 4

(NOTE: Constrained versus non-constrained right-of-way will be determined through the County's plan review process.)

3.5 Street Furniture

Waste receptacles, benches and bike racks are encouraged along the corridors within the activity centers and village centers. They shall be placed in the private property and privately maintained. Following are recommended fixtures. Other products with similar style, color and material that are compatible with the design of the pedestrian lights are also acceptable.

a. Waste receptacle

- Capacity: 32 gallons
- Material: Steel
- Color: Black
- Finish: Powder-coated, Protective zinc finish
- Rain bonnet Lid
- Manufacturer: Barco Products
- Parent SKU: WR-37



b. Bench

- Length: 4 feet or 6 feet (A center arm rest is recommended for the 6' bench)
- Material: Extruded steel tube construction
- Color: Black
- Finish: Powder-coated
- Manufacturer: Barco Products
- Parent SKU: BN-36



c. Bike Rack

- available in a variety of bike capacity options
- Material: 1 7/8 inch OD 11-gauge round steel tubing
- Color: Black
- Finish: Powder-coated
- Manufacturer: Barco Products
- Parent SKU: BR-01A



Waste receptacles and benches should be located behind sidewalks and inside property lines. Bicycle racks should be installed in areas near building entrances and/or transit bus stops.

3.6 Outdoor Amenity Space

1. Outdoor Display

a. Definition

- Outdoor display is the outdoor display of products actively available for sale that is placed in a fully-enclosed building at the end of each business day.
- Outdoor display does not include merchandise or material in boxes, in crates, on pallets or other kinds of shipping containers, propane gas storage racks, ice storage bins, soft drink or similar vending machines (see outdoor storage).

b. Standards

- Outdoor display is permitted in association with any permitted non-residential principal ground floor use in accordance with the following provisions:
- Outdoor display must be removed and placed inside a fully-enclosed building at the end of each business day.
- Outdoor display is permitted adjacent to the primary facade with the principal customer entrance, but cannot extend more than 8 feet from the facade and occupy no more than 30% of the horizontal width of the facade.
- Outdoor display cannot impair the ability of pedestrians to use the sidewalk or parking areas and must comply with ADA clearance and accessibility.
- Outdoor display must be outside of sight distance triangle at driveways and intersections.
- Outdoor display cannot be affixed to public right-of-way as to create rigid fixed object more than 4-inch diameter.
- Outdoor display is to be approved by Zoning Division manager.



2. Outdoor Storage

a. Definition

- Outdoor storage is the overnight storage of products or materials outside of a building.
- Outdoor storage includes merchandise or material in boxes, in crates, on pallets or in shipping containers, propane gas storage racks, ice storage bins, and soft drink or similar vending machines.
- Outdoor storage includes the overnight outdoor storage of vehicles awaiting repair, RV's and boats, garden supplies, building supplies, plants, fleet vehicles and other similar merchandise, material, vehicles, or equipment.

b. Standards

- Outdoor storage is not permitted for the new development and the redevelopment.

3.7 Design Criteria for Special Uses

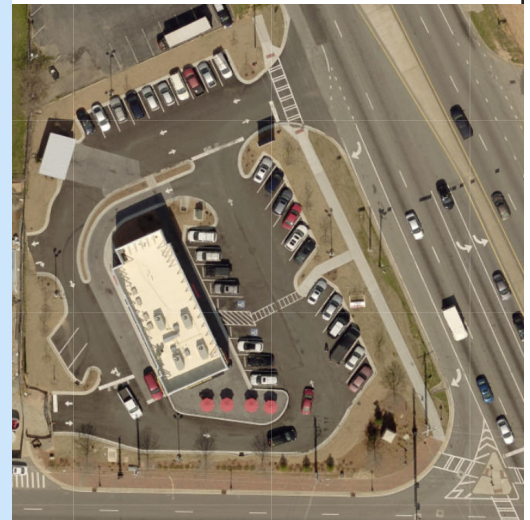
1. Auto Sales

- a. Outdoor display of vehicles shall not include additional signage of any type, with the exception of the selling price of the vehicle limited to window signage not covering more than ten (10) percent of the total window area of the vehicle
- b. A minimal two (2) foot high continuous decorative fence, wall or berm with the required landscape material, including ground cover, decorative plantings, shrubs, and trees, shall be placed along all public and private ROW where outdoor display of vehicles can be seen.
- c. Unless actively being shown to a buyer, vehicles in outdoor display areas shall have all doors, trunks, and hoods in the closed position.



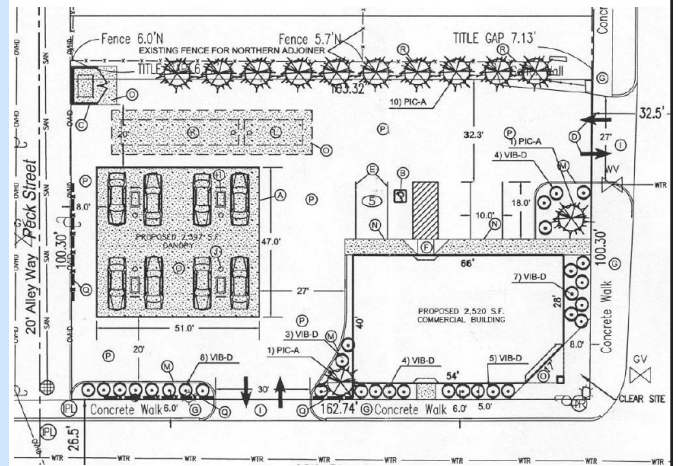
2. Drive-through establishments

- a. Drive-through areas and associated structures (menu boards, drive-up window, etc.) shall be located to the side and/or rear of the building.
- b. Drive-through lanes must not be placed between the building and Austell Road.
- c. Outdoor speakers shall not be directed at adjoining residentially zoned property or uses.
- d. Additional screening of these facilities shall be required when visible from residentially-zoned properties, or uses. Screening materials shall include landscaping and/or decorative fences, walls or berms to disguise the use from the public view and minimize noise pollution.



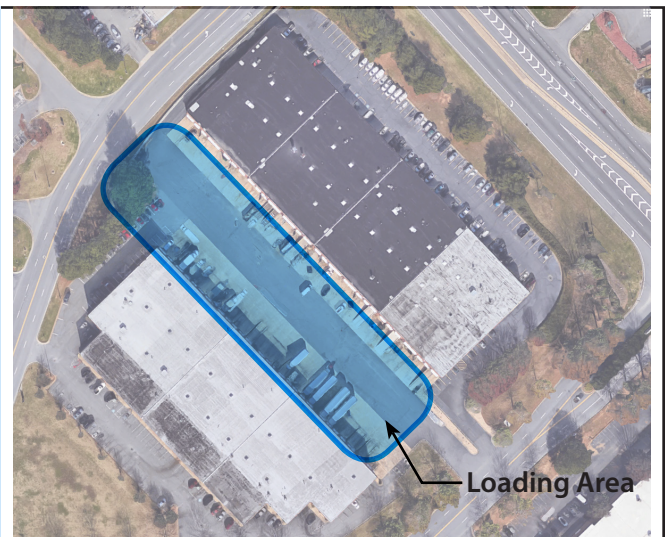
3. Fuel pumps

- a. Fuel pumps should be located to the side of the building.
- b. Canopies shall utilize the same materials/ colors as the building.



4. Loading areas

- a. The loading area must be located to the side or rear of buildings. Loading areas may not be placed between the street and the associated building.



Section 4: Landscaping

4.1 Parking Areas

1. A perimeter landscape screen must be provided between the street and parking lot. Screen to be a minimum 10-foot wide, landscaped area with a continuous row of evergreen shrubs.
2. Shrubs must be a minimum of 18 inches in height when planted and must reach a minimum size of 36 inches in height within 3 years of planting.
3. Breaks for pedestrian and vehicle access are allowed.
4. A landscaped interior island must be provided every 10 parking spaces. Interior islands must be distributed evenly throughout the parking area. Interior islands may be consolidated or intervals may be expanded in order to preserve existing trees.
5. Each interior island must include at least one shade tree per 150 square feet. In no case can there be less than one shade tree for every 2,000 square feet of parking area including driving aisles.
6. A median island may also serve as the location for a sidewalk. In such case, the sidewalk must be a minimum of 5 feet wide, and the remaining planting area must be no less than 5 feet wide.
7. A coordinated landscape plan shall be provided in order to ensure adequate planting within parking lot interiors and along the perimeter of a lot.
8. Planting islands should be evenly spaced within the parking lot. In order to avoid runoff and allow infiltration, soil or mulch should not be mounded. Innovative and attractive ways to address stormwater management, such as rain gardens, are encouraged. No planting shall be less than 5 feet wide in any dimension.



4.2 Landscaped Buffer Yards

a minimum 9-foot wide strip is required adjacent to the ROW. These areas shall incorporate a mix of trees, shrubs, and flowers to provide a multi-layer attractive element.

4.3 Building Landscaping

For every 30 linear feet of building façade, one shade tree must be provided and its trunk should be located within 25 feet of the face of the building. This applies to all four sides of a building where the building face is located greater than 25 feet from a transitional buffer or wooded area. The intent is to soften the visual effect of the architecture; therefore, the trees should be placed along the façade and not grouped into one area.

4.4 Recommended Landscaping Species - Trees

Preferred Trees for HealthCare Village Center:

Trees



Glendora White Crape Myrtle
Lagerstroemia indica 'Glendora White'













Natchez Crape Myrtle
Lagerstroemia 'Natchez'



Sarah's Favorite Crape Myrtle
Lagerstroemia faurei 'Sarah's Favorite'





The table below provides a list of acceptable drought-tolerant and/or native trees for landscaping throughout the Austell Road Corridor.


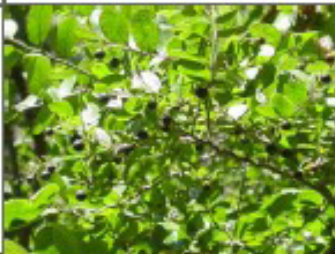



Latin Name, Common Name	Picture	Height at Maturity	Zone	Comments
<i>Acer buergerianum</i> Trident Maple		20-25 feet	5-8	Withstands drought and infertile soils and various temperatures. Exfoliating bark is quite striking, coloring gray, orange, and brown. Yellow and red in fall.
<i>Acer campestre</i> Hedge Maple		25-35 feet	5a-8b	Tolerates wide range of conditions including high soil pH and drought. Relatively pest-free. Moderate-good soil salt tolerance. Yellowish leaves drop late in fall.
<i>Acer ginnala</i> Amur Maple		15-18 feet	3-8	Excellent tolerance to dry and alkaline soils. One of the most cold hardy and highly adaptable maples. Variable fall color.
<i>Acer truncatum</i> Shantung Maple		20-25 feet	4-8	Tolerant of acid, alkaline and dry soils. Yellow flowers emerge before leaves. Variable fall color. Drought Tolerant
<i>Cornus mas</i> Corneliancherry Dogwood		20-25 feet	4-8	Tolerates acid and high pH, as well as heavy clay soils, better than any dogwood. Bright yellow flowers in March and cherry-red fruit in June and July.



<p><i>Cotinus obovatus</i> American Smoketree</p>		20-30 feet	4-8	Scaly gray-black bark. Brilliant fall color, no two trees alike.
<p><i>Crataegus viridis</i> Winter King Hawthorn</p>		20-30 feet	5a-9a	White flowers, red persistent fruit. Tolerant of wide range of soil types including high soil pH. Exfoliating bark in gray, green, and orange.
<p><i>Ostrya virginiana</i> American Hophornbeam</p>		25-40 feet	4-9	Tolerates dry, acid and higher pH soils. Prospers in full sun and is also a good understory tree. Grayish brown exfoliating bark.
<p><i>Prunus x incam</i> 'Okame' Okame Cherry</p>		20-30 feet	5-8	Excellent heat and cold tolerance. Rich pink flowers appear before the leaves. Bronzy red fall color.
<p><i>Prunus subhirtella</i> 'Autumnalis' Flowering Cherry</p>		20-40 ft	4-8	Tolerant of heat. Pinkish white flowers in fall and spring. One of the longest lived flowering cherries.

4.5 Recommended Landscaping Species - Shrubs

The table below provides a list of acceptable drought-tolerant and/or native shrubs for landscaping throughout the Austell Road Corridor.

Latin Name, Common Name	Picture	Height at Maturity	Zone	Comments
<i>Callicarpa americana</i> American Beautyberry		4 to 8 feet tall with a spread of 4 to 6 feet	7b, 8a, 8b	It will grow in most soils and prefers full sun for best fruit production. It is adaptable to a wide variety of sites. The coarse-textured leaves and showy fruit make this species desirable for naturalistic settings or mixed shrub borders. Plant in groups of three, five or seven for a dramatic statement.
<i>Calycanthus floridus</i> Sweetshrub		4 to 8 feet tall with a spread of 4 to 6 feet	7b, 8a, 8b	Use Sweetshrub as a specimen plant or in groups within a shrub border or woodland setting. It is a nice choice for a fragrance garden. It prefers moist, fertile soils in full sun to partial shade, but it is moderately tolerant of adverse conditions.
<i>Clinopodium georgianum</i> Georgia Basil		Up to 2 feet tall and the same width	7b, 8a, 8b	Georgia Basil is a good landscape plant for dry soils in full sun. It also naturalizes in deciduous woods as a ground cover in rocky, shaded areas. It often is found growing naturally where little else can survive. Shows potential for naturalizing on harsh, dry sites.
<i>Illicium parviflorum</i> Small Anise-Tree or Yellow Anise-Tree		8 to 15 feet tall with a spread of 6 to 10 feet	7b, 8a, 8b	Use Small Anise-Tree as a specimen plant and for screening or hedges. Some pruning will be necessary. It establishes easily in moist soils in full sun to light shade. Growth is more dense in the sun, and loose and open in the shade.

<i>Rhus copallina</i> Winged Sumac		8 to 20 feet tall with a spread of 5 to 15 feet	7b, 8a, 8b	Winged Sumac is best used in mass plantings or roadside plantings. With training, it can be grown as a specimen tree. It is useful for stabilizing erodible soils. Full sun and well-drained soils are preferred. It is drought-tolerant and easy to transplant. Winged Sumac is a good shrub for highway medians.
<i>Vaccinium arboreum</i> Sparkleberry		15 to 20 feet tall with a canopy spread of 12 to 15 feet	7b, 8a, 8b	Use Sparkleberry as a flowering or specimen shrub in full sun to partial shade. It adapts to both moist and dry soils. Drought tolerance is good once the plant is established. Small plants transplant best.
<i>Viburnum rufidulum</i> Rusty Blackhaw		6 to 10 feet tall with an equal spread	7b, 8a, 8b	Use Rusty Blackhaw as an understory plant in partial shade or as a specimen plant in full sun. It grows more densely when planted in full sun. It has excellent drought and cold tolerance.
<i>Abutilon Vitifolium</i> Veronica Tennant		Up to 15 feet tall to 8 feet wide	8a, 8b	Grow in well drained, moderately fertile soil, in full sun.
<i>Ballota Pseudodictamnus</i>		18 in tall to 24 in wide	7b, 8a, 8b	Grow in poor, very well drained soil, in full sun.

<i>Cytisus Battandieri</i>			7b, 8a, 8b	Sun loving draught tolerant plant; Scented blossom; All round tough plant suitable for problem areas; Ideal for fast growing screening; Architectural plant – ideal as a 'stand out' plant; Suitable for exposed coastal planting; Fruit / berry producing; Attractive form or foliage for all year interest; Tolerates full sun and sandy, drought-prone soils; Tolerates heavy clay soils.
<i>Rosmarinus officinalis</i> Rosemary		3-6 feet high	8-10	Aromatic upright growth habit, narrow leaved with varying shades of blue flowers

Preferred Shrubs for HealthCare Village Center:

Shrubs, Groundcovers, & Native Grasses



Prostrate Abelia
Abelia x grandiflora 'Prostrata'
Evergreen shrub with small white blooms



Parson's Juniper
Juniperus squamata expansa 'Parsonii'
Evergreen groundcover



Pink Muhly Grass
Muhlenbergia capillaris
Warm-season grass

4.6 Installation and Maintenance

1. General Provisions

- a. Plant materials must be hardy to USDA Plant Hardiness Zone 5-8, must not be invasive to the area or susceptible to pests known to cause widespread death in the Capital Region (i.e.- Emerald Ash Borer, etc.)
- b. All plants are to be true to species and nursery-grown in accordance with good horticultural practices.

2. Shade Trees – when planted to meet the landscaping Standards

- a. All shade trees must be locally adapted species. Deciduous trees must have an expected mature height of 35 feet or greater and an expected mature crown spread of at least 30 feet. Evergreen trees must have an expected mature height of 30 feet or greater and an expected mature crown spread of at least 20 feet unless subject to an overhead line in which case mature height may be less.
- b. All shade trees must, at the time of planting, have a minimum caliper of 3 inches. Deciduous shade trees must be at least 10 feet tall and coniferous (evergreen) shade trees must be at least 8 feet tall.

3. Understory Trees

- a. Understory trees must be locally-adapted species with an expected mature height of at least 15 feet and an expected mature crown spread of at least 15 feet.
- b. Single-stem understory trees must, at the time of planting, have a minimum caliper of 1.5 inches.
- c. Deciduous understory trees must be at least 6 feet tall, and coniferous (evergreen) understory trees must be at least 5 feet tall.

4. Maintenance

- a. The owner or tenant is responsible for maintaining all required landscaping in good health or condition.
- b. DOT reserves the right to remove any landscaping within public ROW if safety or maintenance issue exist.

Section 5: Appendix

Public Involvement

This document was developed through a series of Community Meetings with Cobb County residents and stakeholders. Stakeholders Meetings were held on August 24, 2017, September 25, 2017, and October 19, 2017, and Community Meetings were held September 5, 2017, September 28, 2017 and October 26, 2017 to gain input from the public on the future vision for Austell Road. Additional input was gathered via an electronic survey, which had a total of 179 participants.