

**LEGEND**

- Ex. Fire Hydrant
- Telephone Riser
- Gate Valve
- Utility Pole
- Guy Anchor
- Ex. Storm Manhole, as Noted
- Ex. Sewer Manhole, as Noted
- Ex. Catch Basin
- Ex. Utility Stub-Out
- Ex. Deciduous Tree
- Ex. Coniferous Tree
- Power Junction Box
- Power Transformer
- Property Line
- Easement Line
- Ex. Water Line
- Ex. Sewer Line
- Ex. Overhead Power
- Ex. Storm Line
- Ex. Edge of Asphalt
- Ex. Asphalt
- Ex. Gravel

Owner/Developer:  
 Kraig Arndt  
 1433 Valentine Ave SE #200  
 Pacific, WA 98047

Architect:  
 JMUTEAM

Engineer:  
 JMUTEAM  
 JM/J Team  
 905 Main Street, Suite #200  
 Sumner, WA 98390  
 (206) 596-2020

Project:  
**Nelly Plat**  
 817 Eatonville Highway W  
 Eatonville, WA 98328

ONE INCH AT FULL SCALE.  
 IF NOT, SCALE ACCORDINGLY

Preliminary Plat



REV	DATE	DESCRIPTION

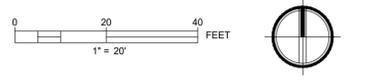
SHEET TITLE:  
**Existing Site Plan**

PROJ. NO.: 1613-004  
 DATE: September 29, 2025

DRAWN BY: JC      DESIGN BY: JJ

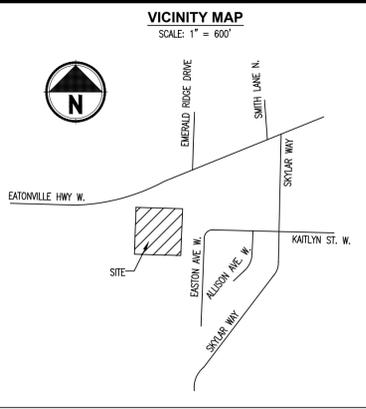
SHEET NUMBER:  
**C-01**

DWG. 2 OF 11



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File: I:\1613004-EX.dwg Path: C:\Users\DerekMankoski\My Documents\Projects - General\1613 - Arndt\004 - Eatonville Plat\CAD\ Plotted by: DerekMankoski Date: 29-Sep-25 11:40:16am



**LEGEND**

- MON1 FOUND MONUMENT
- RB1 FOUND 1/2" REBAR W/CAP, ILLEGIBLE
- RB2 FOUND REBAR W/STEEL CAP "PLS 46311"
- MG1 FOUND MAG NAIL W/ DISK, ILLEGIBLE
- RB3 FOUND 1/2" REBAR, NO CAP
- FOUND BROKEN CONC. MONUMENT W/ NO DISK
- FOUND 3 1/2" ALUM. DISK W/ "X"
- DEVIATION FROM CALCULATED POSITION
- PER REFERENCE
- GATE POST
- WOOD POST
- SIGN AS NOTED
- TRAFFIC RIGHT OR LEFT TURN ONLY
- SEE EXISTING STRUCTURE NOTES
- CATCH BASIN
- SEWER MANHOLE OFFSET LID
- GUY ANCHOR
- POWER JUNCTION BOX
- POWER POLE
- POWER TRANSFORMER
- TELEPHONE RISER
- FIRE HYDRANT
- WATER SPIGOT
- WATER VALVE
- WATER METER (PROPOSED)
- CATCH BASIN (PROPOSED)
- STORM MANHOLE (PROPOSED)
- PROPERTY LINE
- BUILDING SETBACK LINE
- LOT LINE
- CENTERLINE
- RIGHT OF WAY
- OVERHEAD POWER
- SEWER LINE (SEE CIVIL PLANS FOR DETAILS)
- STORM LINE (SEE CIVIL PLANS FOR DETAILS)
- WATER LINE (SEE CIVIL PLANS FOR DETAILS)
- BOARD FENCE (BRD)
- EDGE OF PAVEMENT
- EDGE OF VEGETATION
- EXISTING 5-FOOT CONTOUR
- PROPOSED 5-FOOT CONTOUR

**LEGAL DESCRIPTION**

LOT 1, AS SHOWN ON SHORT PLAT NO. 20050225001, FILED WITH PIERCE COUNTY AUDITOR, IN PIERCE COUNTY, WASHINGTON.

**SITE INFORMATION**

TAX PARCEL NO.: 0416225001  
 SITE ADDRESS: 817 EASTONVILLE HWY W, EATONVILLE, WA 98328

**PROPERTY OWNER**

NAME: KRAC AND GALE ARNOT  
 ADDRESS: 1433 VALENTINE AVE. SE SUITE 200, PACIFIC, WA 98047  
 TELEPHONE: 253-606-7893

**DEVELOPER**

NAME: JMJ TEAM  
 ADDRESS: 905 MAIN ST., SUITE 200, SUMNER, WA 98390  
 TELEPHONE: 206-596-2020

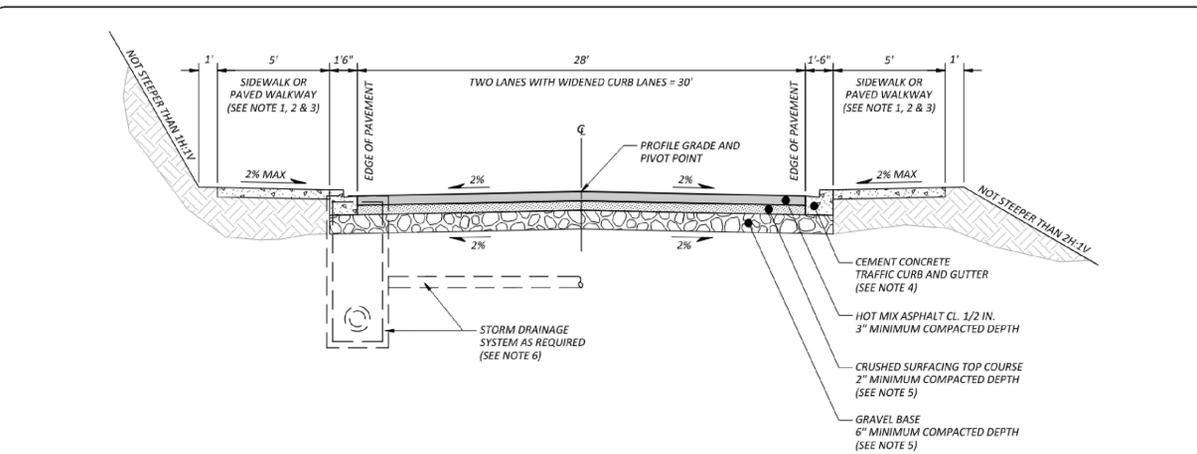
**SURVEYOR**

NAME: TRULAND SURVEYING LLC  
 ADDRESS: P.O. BOX 268, GIG HARBOR, WA 98335  
 TELEPHONE: 425-516-3919

**STATISTICS**

EQUIPMENT: HEMISPHERE S321 GPS AND LEICA TS12 ROBOTIC TOTAL STATION.  
 METHODOLOGY: FIELD TRAVERSE AND GPS MEETS OR EXCEEDS SURVEY STANDARD AS PER: WAC 332-130-050, WAC 332-130-090, WAC 332-130-100.  
 ALL SURVEY WORK OCCURRED IN MAY OF 2025.

**TYPICAL ROADWAY SECTION:**



**NOTES:**

- 1) FOR SIDEWALK, SEE STANDARD DRAWING PC.F7.1 AND PC.F7.2. SIDEWALKS SHALL MEET AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- 2) FOR PAVED WALKWAY, SEE STANDARD DRAWING PC.F7.1.
- 3) SIDEWALKS ARE REQUIRED ON BOTH SIDES OF THE NEWLY CONSTRUCTED OR RECONSTRUCTED ROADS. HOWEVER, WHEN IT CAN BE SHOWN THAT THERE ARE NO PRESENT OR FUTURE PEDESTRIAN NEEDS TO BE SERVED, THE COUNTY ENGINEER OR HIS/HER DESIGNEE MAY WAIVE THE REQUIREMENT TO BUILD SIDEWALK ON ONE SIDE OF THE ROAD.
- 4) FOR CURBS, SEE STANDARD DRAWING PC.F8.1.
- 5) CRUSHED SURFACING BASE COURSE MAY BE USED INSTEAD OF THE CRUSHED SURFACING TOP COURSE AND GRAVEL BASE.
- 6) FOR ALTERNATIVE STORM DRAINAGE SYSTEMS SEE PIERCE COUNTY STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL.

(NOT TO SCALE)

**NELLY PLAT**  
 A PORTION OF THE NE 1/4 OF THE NE 1/4 SECTION 22, T16N, R4E, W.M. PIERCE COUNTY, WASHINGTON

**EXISTING STRUCTURE NOTES:**

- SSMH RIM = 828.51' CENTER OF CHANNEL = 824.01' 10", CP (N.S)
- IE = 824.41', 6" PVC (NE)
- IE = 824.41', 6" PVC (SE)
- IE = 824.36', 8" PVC (W)
- CB RIM = 828.15' IE = 826.40', 12" CPP (NE) BOTTOM = 825.2'

**FLOOD PLAIN ZONE**

FEMA FLOOD PLAN MAP DATED 3-7-2017 PANEL 5305301107E AREA OF MINIMAL FLOOD HAZARD

**UTILITY NOTES**

**STORMWATER:**  
 STORMWATER RUNOFF FROM DRIVEWAYS, SIDEWALKS, AND PROPOSED COURT TO BE CONVEYED THROUGH THE EXISTING CATCH BASIN IN THE CUL-DE-SAC, THEN TREATED FOR WATER QUALITY THROUGH THE PROPOSED BIORETENTION CELL, THEN CONVEYED TO THE CITY'S EXISTING STORMWATER SYSTEM ALONG THE EAST SIDE OF NELLY PLAT.

STORMWATER FROM EAST SIDE OF LYLE LANE TO BE ROUTED AND COLLECTED BY AN EXISTING CATCH BASIN, THEN CONVEYED TO THE CITY'S EXISTING STORMWATER SYSTEM ALONG THE EAST SIDE OF NELLY PLAT.

STORMWATER FROM BUILDINGS TO BE COLLECTED AND CONVEYED TO DOWNSPOUT INFILTRATION TRENCHES.

PROPOSED STORM CONVEYANCE PIPES TO BE 8" MIN CPP SLOPED NO LESS THAN 0.5%.

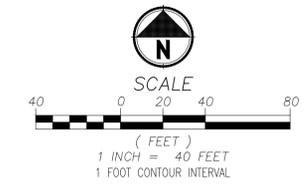
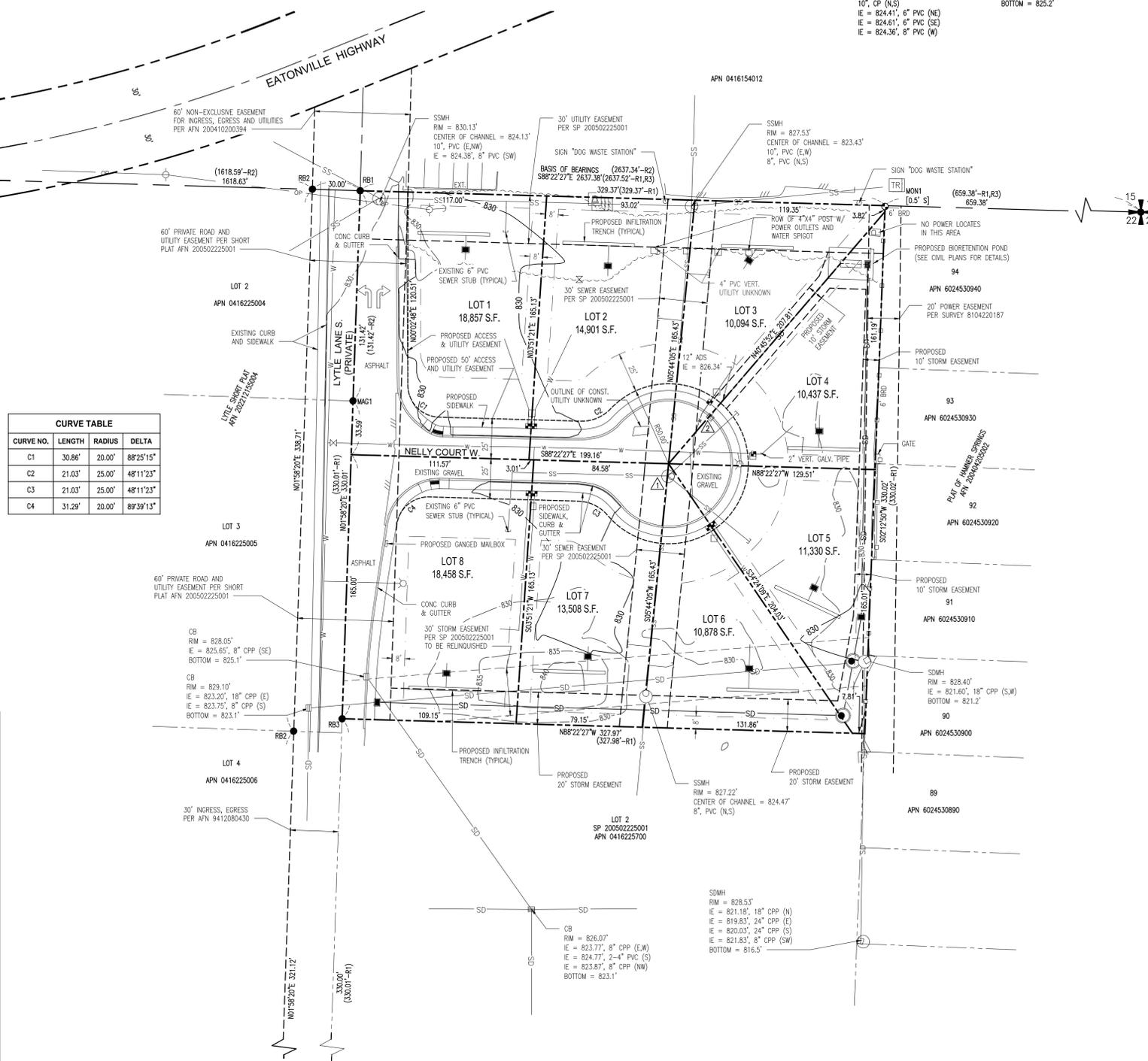
**WATER:**

EXISTING 8" WATER MAIN AND SERVICE LINE STUB-OUTS ALONG NELLY CT W. TO BE UTILIZED FOR PROPOSED CONNECTIONS TO BUILDINGS. INDIVIDUAL WATER METERS ARE TO BE INSTALLED ON EXISTING STUB-OUTS WITHIN THE PROPOSED 50' ACCESS AND UTILITY EASEMENT.

**SANITARY SEWER:**

EXISTING 8" AND 10" SEWER MAIN AND 6" SIDE SEWER STUB-OUTS WITHIN THE EXISTING SEWER EASEMENT ARE TO BE UTILIZED FOR BUILDING CONNECTIONS. SIDE SEWER LATERALS WITH CLEANOUTS ARE TO BE EXTENDED FROM EXISTING STUB-OUTS TO PROPOSED BUILDINGS. SIDE SEWERS ARE TO BE NO LESS THAN 6" PVC SLOPED NO LESS THAN 0.5%.

CURVE NO.	LENGTH	RADIUS	DELTA
C1	30.86'	20.00'	86°25'15"
C2	21.03'	25.00'	48°11'23"
C3	21.03'	25.00'	48°11'23"
C4	31.29'	20.00'	89°39'13"



**Pierce County**  
 Office of the County Engineer

APPROVED BY:  
 COUNTY ENGINEER  
 DATE: 3/14/2025

**LOCAL ROAD MINOR AND CUL-DE-SAC WITH CEMENT CONCRETE TRAFFIC CURB AND GUTTER AND SIDEWALK, CLOSED DRAINAGE**  
 STANDARD DRAWING PC.A3.1

**TRULAND SURVEY LLC**

P.O. BOX 268  
 GIG HARBOR WA, 98335  
 www.trulandsurvey.com  
 360.536.1204 | 425.516.3919

SURVEYED	JM/JK
DRAWN	JM
CHECKED	JK
APPROVED	JK

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 FILE NAME: 1046-007-BM.dwg  
 TFS JOB No.: 1046-007  
 DATE: 11/28/2025

**PRELIMINARY PLAT**  
 APN 0416225001  
 PIERCE COUNTY, WASHINGTON

SHEET 1 OF 1





EATONVILLE HWY W

TPN 0416154012

LEGEND

- 0.0% Proposed Grading/Drainage Slope Arrow
- Proposed Storm Catch Basin
- Property Line
- Easement Line
- SD Proposed Storm Line
- Storm Line to be Abandoned

Owner/Developer:  
 Craig Arndt  
 1433 Valentine Ave SE #200  
 Pacific, WA 98047

Architect:

Engineer:  
  
 JM Team  
 905 Main Street, Suite #200  
 Sumner, WA 98390  
 (206) 596-2020

Project:  
 Nelly Plat

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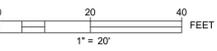
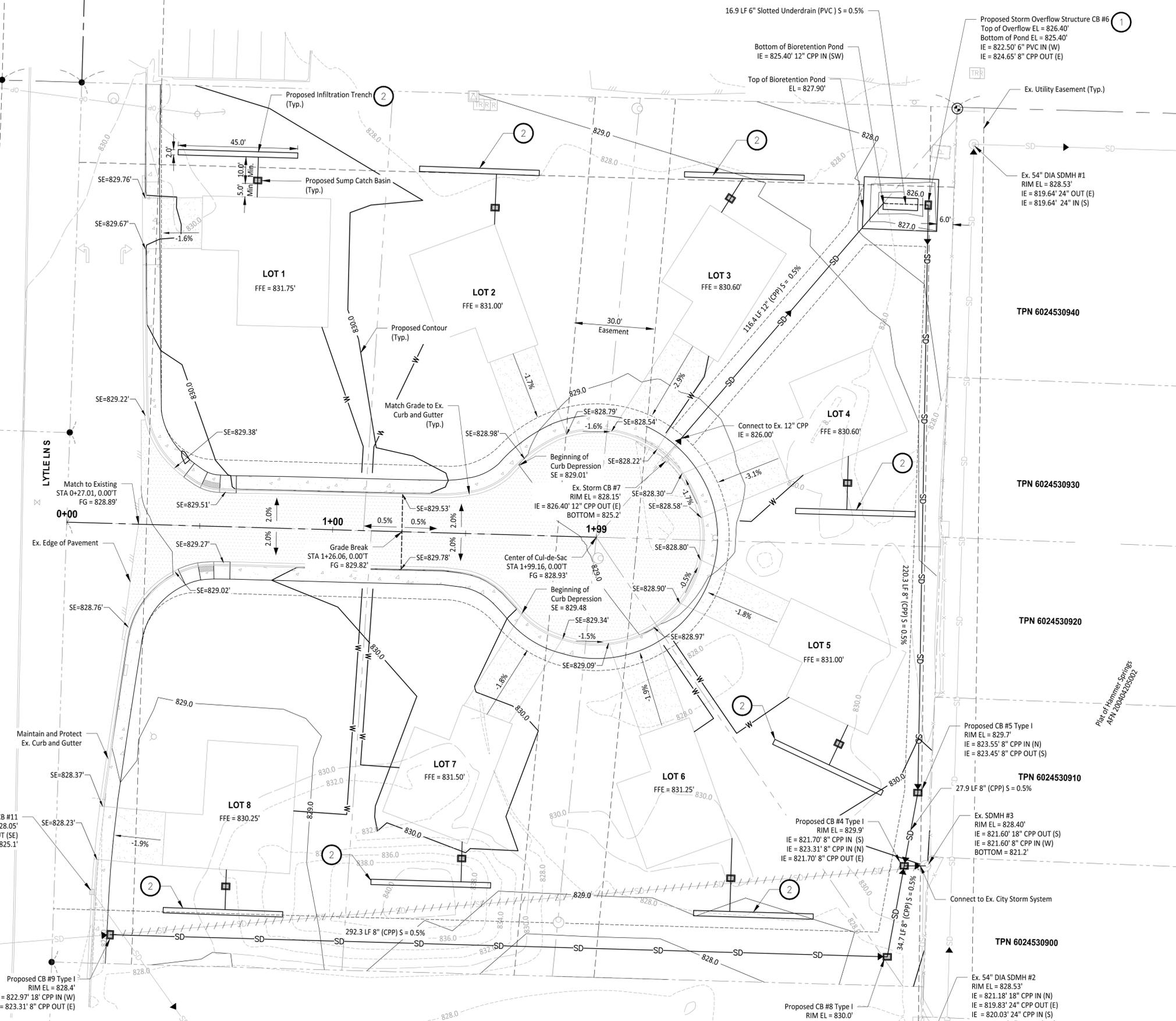
STORMWATER NOTES

- Stormwater runoff from roofs to be collected and conveyed to proposed downspout infiltration trenches. Proposed infiltration trenches to be installed under a separate permit.
- Stormwater runoff from driveways, concrete, and roadways within lots 2-7 to be routed and collected by the existing catch basin, then conveyed through the proposed bioretention pond to be treated for water quality. Stormwater from driveways, concrete, and roadways within lots 1 & 8 to be routed and collected by an existing catch basin along Lytle Ln S. All stormwater runoff from these surfaces to be routed to the existing city stormwater system.
- Impervious surfaces to be graded such that runoff is contained within the project area and conveyed into the existing catch basins.
- Proposed infiltration trenches sized using the Design Criteria in the 2024 SWMMWW, BMP T5.10A Downspout Full Infiltration at a rate of 30 linear feet per 1,000 square feet of roof area.
- Lot Coverage Calcs:
 

Total lot area =	108,462 SF (2.49 AC)
Total project area =	101,055 SF (2.32 AC)
Total existing impervious =	9,949 SF (0.23 AC)
Existing gravel =	8,849 SF
Existing concrete curb and gutter =	1,100 SF
Total existing pervious (Grass) =	91,106 SF (2.09 AC)
Total proposed impervious =	29,841 SF (0.69 AC)
Proposed concrete sidewalk =	3,809 SF
Existing concrete curb and gutter =	1,100 SF
Proposed asphalt =	12,482 SF
Proposed roof =	12,450 SF
Total proposed pervious =	71,214 SF (1.63 AC)

CONSTRUCTION NOTES

- Proposed Bioretention Pond Per Detail B on Sheet C-10.
- Future Infiltration Trench Under Separate Permit.



REV	DATE	DESCRIPTION

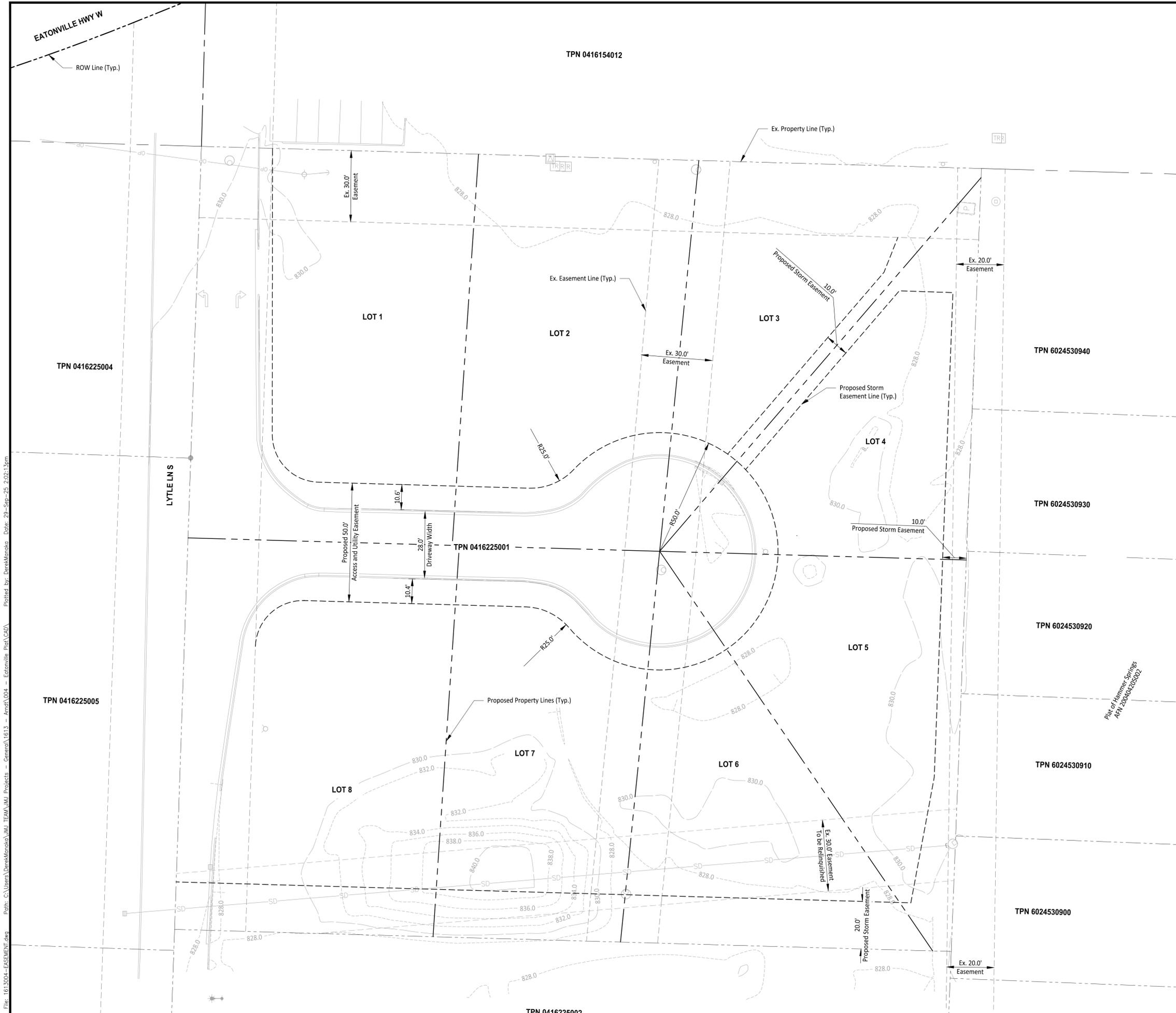
SHEET TITLE:  
**Grading and Drainage Plan**

PROJ. NO: 1613-004  
 DATE: September 29, 2025  
 DRAWN BY: JC      DESIGN BY: JJ

SHEET NUMBER:  
**C-05**  
 DWG: 6 OF 11

CALL TWO BUSINESS DAYS BEFORE YOU DIG  
  
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 UTILITIES UNDERGROUND LOCATION CENTER

File: I613004-CR.dwg    Path: C:\Users\JoseComerford\My Documents\Projects - General\1613 - Arndt\004 - Eatonville Plat\CAD\    Plotted by: JoseComerford    Date: 29-Sep-25 4:47:55pm



**LEGEND**

- Ex. Property Line
- Ex. Easement Line
- .-.- Proposed Easement Line
- Proposed Property Parcels

Owner/Developer:  
 Craig Arndt  
 1433 Valentine Ave SE #200  
 Pacific, WA 98047

Architect:

Engineer:  
  
 JM/J Team  
 905 Main Street, Suite #200  
 Sumner, WA 98390  
 (206) 596-2020

Project:  
**Nelly Plat**  
  
 817 Eatonville Highway W  
 Eatonville, WA 98328

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Preliminary Plat



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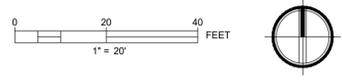
SHEET TITLE:  
**Easement Plan**

PROJ. NO.: 1613-004  
 DATE: September 29, 2025

DRAWN BY: JC      DESIGN BY: JJ

SHEET NUMBER:  
**C-06**

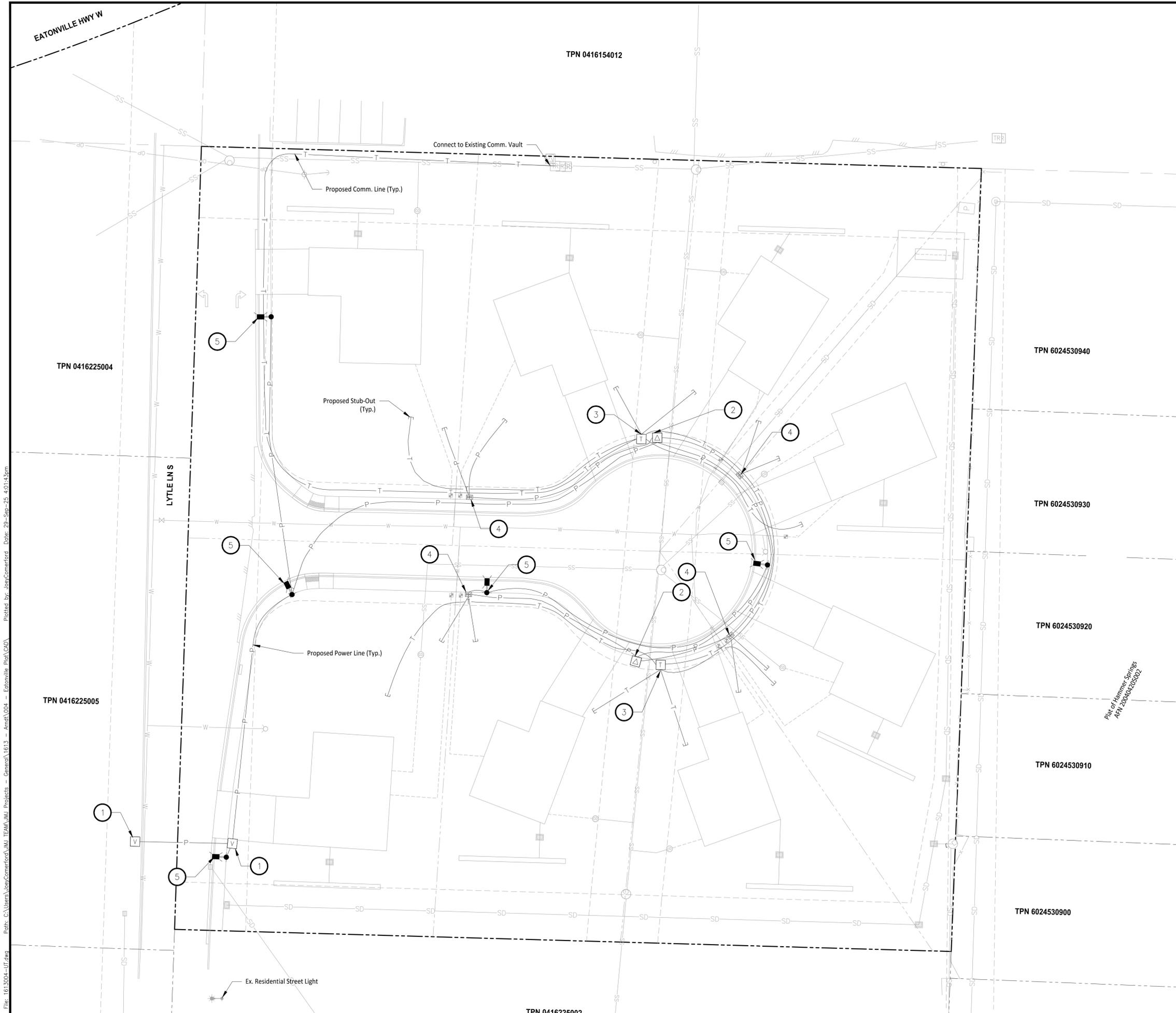
DWG. 7 OF 11



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**LEGEND**

- Proposed Hand Hole
- Proposed Comm. Vault
- Proposed Light Pole
- Proposed Power Transformer
- Proposed Power Vault
- Proposed Power Line
- Proposed Comm. Line

**ELECTRICAL NOTES**

- Power and comm. stub-out lines to be permitted and installed to individual lots under separate building permit.

**CONSTRUCTION NOTES**

1. Proposed Power Vault.
2. Proposed Power Transformer.
3. Proposed Comm. Vault.
4. Proposed Hand Holes.
5. Proposed Residential Street Light.

Owner/Developer:  
Kraig Arndt  
1433 Valentine Ave SE #200  
Pacific, WA 98047

Architect:

Engineer:  
 JMUTEAM  
JM/J Team  
905 Main Street, Suite #200  
Sumner, WA 98390  
(206) 596-2020

Project:  
Nelly Plat  
  
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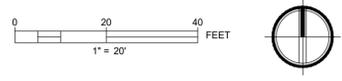
SHEET TITLE:  
**Electrical & Lighting Plan**

PROJ. NO.: 1613-004  
DATE: September 29, 2025

DRAWN BY: JC      DESIGN BY: JJ

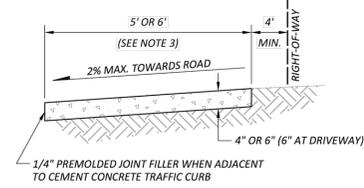
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DWG. 9 OF 11

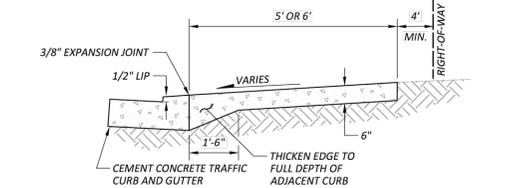


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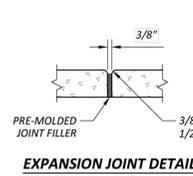
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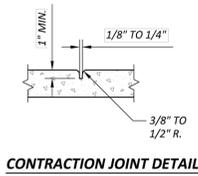
**CEMENT CONCRETE SIDEWALK**



**CEMENT CONCRETE SIDEWALK AT RESIDENTIAL DRIVEWAY WITH CEMENT CONCRETE TRAFFIC CURB AND GUTTER**



**EXPANSION JOINT DETAIL**



**CONTRACTION JOINT DETAIL**

**NOTES:**

- 1) STORM DRAIN INFILTRATION SYSTEMS SHALL NOT BE PERMITTED UNDER THE SIDEWALK OR PAVED WALKWAY.
- 2) FULL DEPTH EXPANSION JOINTS SHALL BE PLACED ALONG SIDEWALKS AT 15' MAXIMUM SPACING. CONTRACTION JOINTS SHALL BE PLACED BETWEEN THE EXPANSION JOINTS AT A 5' MAXIMUM SPACING (SEE DETAILS).
- 3) A SIDEWALK WIDTH OF 4' IS ACCEPTABLE FOR SMALL LOT DEVELOPMENT CRITERIA WHEN THE SIDEWALK IS NON-ADJACENT TO CEMENT CONCRETE TRAFFIC CURB.
- 4) SIDEWALKS AND WALKWAYS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.

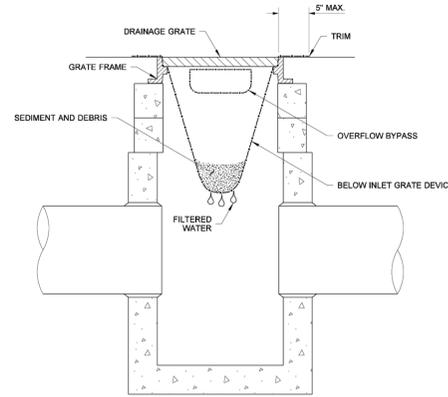
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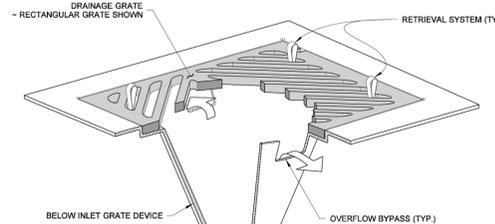
**CEMENT CONCRETE SIDEWALK AND PAVED WALKWAY**

STANDARD DRAWING PC.F7.1

DRAWN BY: USA CYDRIO



**SECTION VIEW**  
NOT TO SCALE



**ISOMETRIC VIEW**

- NOTES**
1. Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
  2. The BIGD shall have a built-in high-flow relief system (overflow bypass).
  3. The retrieval system must allow removal of the BIGD without spilling the collected material.
  4. Perform maintenance in accordance with Standard Specification 8-01.3(15).



**STORM DRAIN INLET PROTECTION**  
STANDARD PLAN 1-40.20-00

SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
**Pasco Bakotich III** 09-20-07  
WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

Owner/Developer:  
Kraig Arndt  
1433 Valentine Ave SE #200  
Pacific, WA 98047

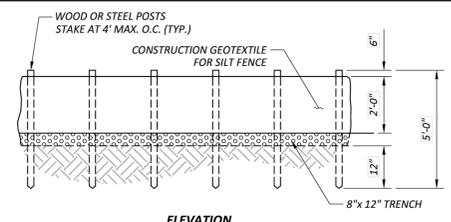
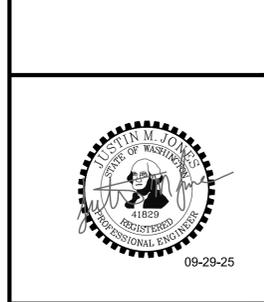
Architect:  
  
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Project:  
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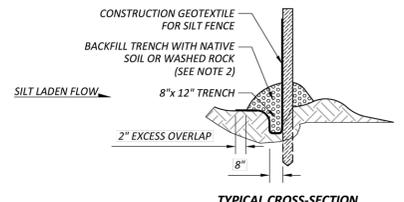
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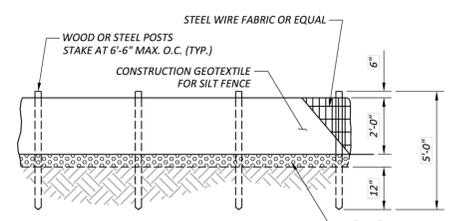


**ELEVATION**

**OPTION 1 - UNSUPPORTED BETWEEN POSTS**

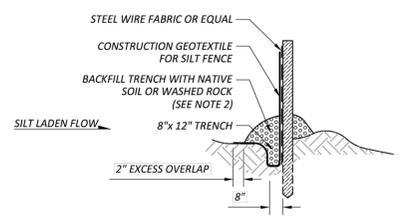


**TYPICAL CROSS-SECTION**



**ELEVATION**

**OPTION 2 - SUPPORTED BETWEEN POSTS WITH WIRE**



**TYPICAL CROSS-SECTION**

**NOTES:**

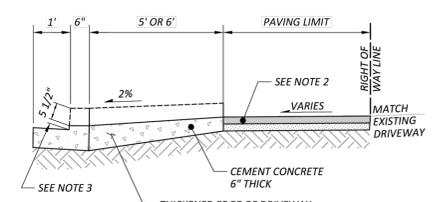
- 1) SEE WSDOT STANDARD SPECIFICATIONS SECTIONS 8-01.3(9)A & 9-33.
- 2) WASHED ROCK SHALL BE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS SECTION 9-03.1(4)C, AASHTO GRADING NO 27.

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**SILT FENCE**

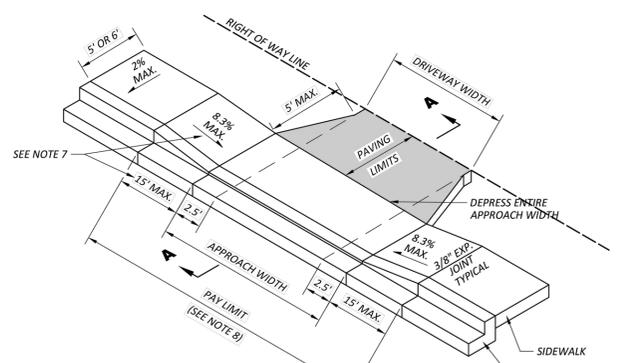
STANDARD DRAWING PC.L2.1



**SECTION A-A**

**NOTES:**

- 1) DRIVEWAY WIDTH = 15' MINIMUM TO 24' MAXIMUM, OR 30' MAXIMUM FOR THREE CAR GARAGE ON LOCAL ROAD. APPROACH WIDTH = DRIVEWAY WIDTH PLUS 2.5' ON EACH SIDE.
- 2) DRIVEWAY PAVING = 6" MINIMUM CEMENT CONCRETE OR 2" MINIMUM COMPACTED DEPTH HOT MIX ASPHALT CL. 1/2 IN. OVER 2" MINIMUM COMPACTED DEPTH CRUSHED SURFACING TOP COURSE.
- 3) LIP HEIGHT 1/2", 1" FOR REVERSE GRADE APPROACHES.
- 4) STORM DRAINAGE FROM DRIVEWAY SHALL NOT BE PERMITTED TO DRAIN ONTO ROADWAY SURFACE, UNLESS ACCOUNTED FOR IN DESIGN.
- 5) DRIVEWAY SHALL NORMALLY BE AT 90 DEGREES TO ROAD CENTERLINE, BUT CAN VARY FROM 75 DEGREES TO 90 DEGREES.
- 6) RECOMMENDED MAXIMUM GRADES +/- 15% BEYOND GRADE BREAK POINT. VERTICAL CURVES NOT TO EXCEED A 3 1/4" CREST OR A 1" SAG IN A 10' CHORD.
- 7) ADJUST RAMP LENGTHS TO MEET AMERICANS WITH DISABILITIES ACT REQUIREMENTS 8.3% MAX GRADE, 15" MAX.
- 8) CANNOT BE PERVIOUS MATERIAL WITHIN PAY LIMIT AREA, SEE PC.F7.2 FOR PERVIOUS CONCRETE SIDEWALK DETAIL.



**CROSS SECTION**

(NOT TO SCALE)



**RESIDENTIAL DRIVEWAY APPROACH, CEMENT CONCRETE TRAFFIC CURB AND GUTTER, AND SIDEWALK**

STANDARD DRAWING PC.F2.7

REV	DATE	DESCRIPTION

SHEET TITLE:  
**Details**

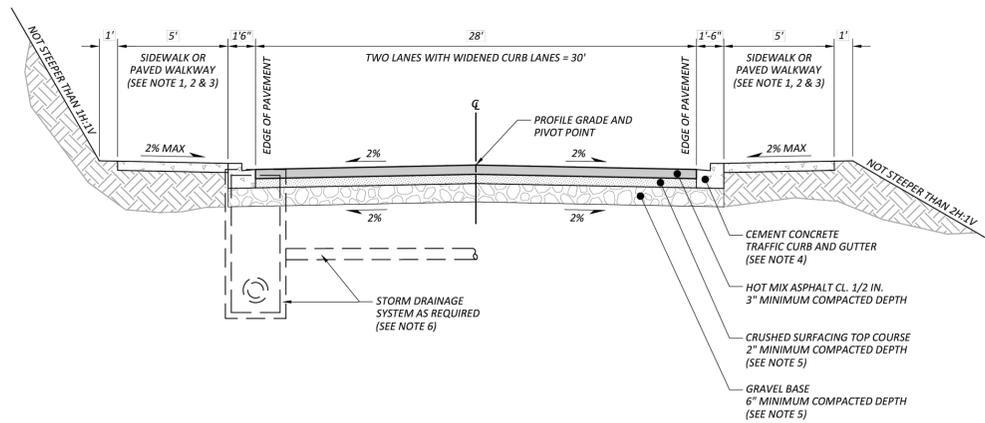
PROJ. NO.: 1613-004  
DATE: September 29, 2025

DRAWN BY: JC  
DESIGN BY: JJ

SHEET NUMBER:  
**C-09**

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UTILITIES UNDERGROUND LOCATION CENTER

File: 1613004-DT.dwg Path: C:\Users\lsey\OneDrive\OneDrive - Pierce County\Projects - General\1613 - Arndt\004 - Eatonville Plat\CAD - Plotted by: lsey\Comerford Date: 29-Sep-25 3:09:50pm



**NOTES:**

- 1) FOR SIDEWALK, SEE STANDARD DRAWING PC.F7.1 AND PC.F7.2. SIDEWALKS SHALL MEET AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- 2) FOR PAVED WALKWAY, SEE STANDARD DRAWING PC.F7.1.
- 3) SIDEWALKS ARE REQUIRED ON BOTH SIDES OF THE NEWLY CONSTRUCTED OR RECONSTRUCTED ROADS. HOWEVER, WHEN IT CAN BE SHOWN THAT THERE ARE NO PRESENT OR FUTURE PEDESTRIAN NEEDS TO BE SERVED, THE COUNTY ENGINEER OR HIS/HER DESIGNEE MAY WAIVE THE REQUIREMENT TO BUILD SIDEWALK ON ONE SIDE OF THE ROAD.
- 4) FOR CURBS, SEE STANDARD DRAWING PC.F8.1.
- 5) CRUSHED SURFACING BASE COURSE MAY BE USED INSTEAD OF THE CRUSHED SURFACING TOP COURSE AND GRAVEL BASE.
- 6) FOR ALTERNATIVE STORM DRAINAGE SYSTEMS SEE PIERCE COUNTY STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL.

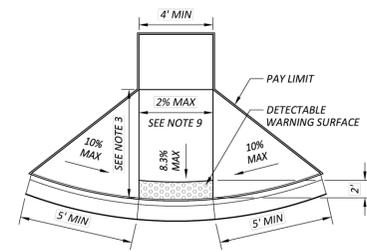
(NOT TO SCALE)

**Pierce County**  
Office of the County Engineer

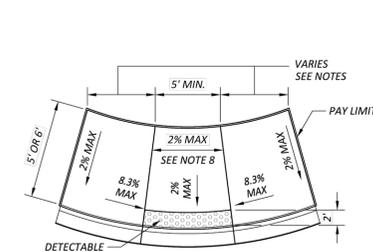
APPROVED BY:  
COUNTY ENGINEER  
*[Signature]*  
3/14/2025  
DATE

**LOCAL ROAD MINOR AND CUL-DE-SAC  
WITH CEMENT CONCRETE TRAFFIC CURB  
AND GUTTER AND SIDEWALK,  
CLOSED DRAINAGE**

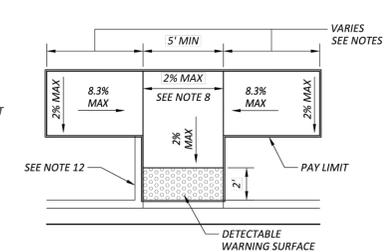
STANDARD DRAWING PC.A3.1



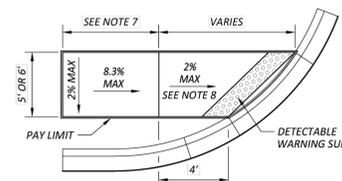
**PERPENDICULAR CURB RAMP**



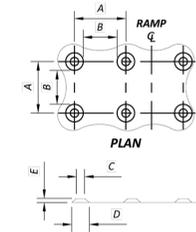
**PARALLEL CURB RAMP**



**PARALLEL CURB RAMP WITH BUFFER**



**SINGLE DIRECTION CURB RAMP**



**DETECTABLE WARNING SURFACE DETAIL**

DETECTABLE WARNING SURFACE AREA SHALL BE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS SECTION 8-14.2.

DETECTABLE WARNING SURFACES SHALL BE PLACED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS SECTION 8-14.3(5).

	MIN.	MAX.
A	1.60"	2.40"
B	0.65"	-
C	0.45"	0.90"
D	0.90"	1.40"
E	0.20"	0.20"

\* DIMENSION C SHALL BE 50% THROUGH 65% OF DIMENSION D

SEE STANDARD DRAWING PC.F8.6 FOR NOTES

(NOT TO SCALE)

**Pierce County**  
Office of the County Engineer

APPROVED BY:  
COUNTY ENGINEER  
*[Signature]*  
3/12/2025  
DATE

**CEMENT CONCRETE CURB RAMPS**

SHEET 1 OF 3

STANDARD DRAWING PC.F8.4

Owner/Developer:

Kraig Arndt  
1433 Valentine Ave SE #200  
Pacific, WA 98047

Architect:

Engineer:



JMJ Team  
905 Main Street, Suite #200  
Sumner, WA 98390  
(206) 596-2020

Project:

Nelly Plat

817 Eatonville Highway W  
Eatonville, WA 98328

ONE INCH AT FULL SCALE.  
IF NOT, SCALE ACCORDINGLY

Preliminary Plat



REV	DATE	DESCRIPTION

SHEET TITLE

Details

PROJ. NO.: 1613-004

DATE: September 29, 2025

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DESIGN BY: JJ

SHEET NUMBER

C-10

DWG.

11 OF 11

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