



## Hamburg, Clear Creek Ranch

Red Lodge, Montana

Offered Exclusively By:

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Mark

Norem

Real Estate Broker

Serving Montana, Idaho, Wyoming, North Dakota, South Dakota, Oregon

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## HAMBURG, CLEAR CREEK RANCH

The rugged granite peaks of Montana's magnificent Beartooth Mountains create a dramatic backdrop to the Ranch's highly productive irrigated hayfields, rolling foothills and the lush creek bottom meadows of Clear Creek which flows through the Ranch Headquarters. Here you will also find a daily display of wildlife, including mule and whitetail deer, an occasional moose, black bear, upland birds, including pheasants, huns and sharptails, waterfowl, sandhill cranes, eagles and at times, elk. All within minutes of Montana's historic year round ski and summer recreation community of Red Lodge.

### AGENT'S NOTE:

*Much like historic Red Lodge, the Hamburg Ranch is steeped in the history of underground coal mining, as it was three miners (Niemi, Walimaki and Hamburg) who originally purchased the property as partners February 2nd, 1918, with the decedents of Soloman Hamburg continuing the ranch operation until their recent decision to sell.*

*Having for years provided its harvest bounty to the Red Lodge and Billings communities in the way of fine mountain hay, small grains, hogs, beef, chickens, milk and eggs, the Ranch's original buildings, while in need of care still tell a story of a resourceful, self sustaining agricultural enterprise.*

*Come spend a day with me on the property and in the Red Lodge community. It is then you will realize what a special property this is and how finding something of this size in and around Red Lodge is so unique.*

*Our thanks to the Hamburgs for trusting us to find the next to carry on their nearly 100 years of stewardship.*

**Mark Norem**

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**Description:**

**Hamburg Clear Creek Ranch**

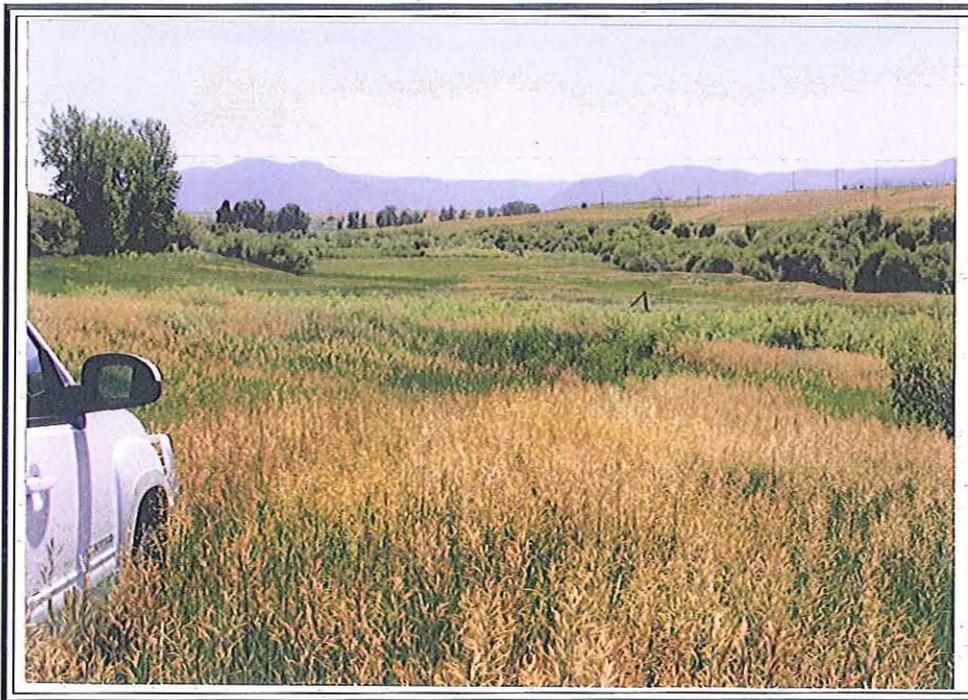
**Legal Description**

**Carbon County, State of Montana: T6S, R21E**  
Complete legal provided

Consisting of Approx.  
1,220.494 +/- Deeded Acres

Including approx:  
300 acres tillable of which,  
approximately 200 acres  
are flood or sub irrigated.  
Balance of 900 acres are  
rolling grass covered hill-  
sides, some flood or sub  
irrigated meadows or creek  
bottom riparian corridors.

**Utilities:** Power -  
Beartooth Rural Cooperative  
Telephone -Qwest or Verizon Cellular



**Elevation:**  
Headquarters: 5050'  
Hayfields: 5100' to 5200'  
Upper Pasture: 5,200'

**Climate: Year Round Mountain Living**

Summer Ave. Highs:  
70's to 80's  
Summer Ave. Lows:  
mid to high 40's  
Winter Ave. Highs:  
mid 30's to mid 40's  
Winter Ave. Lows:  
mid teens to 20's

**Precipitation Estimate:**  
Average 22.2"  
with April, May, & June  
largest months

Average Snowfall 145"  
**Taxes:**  
Carbon County 2013  
\$1,547.41

**Water Rights:** Historically flood irrigated, the Ranch's irrigation water is sourced from both, individually owned Clear Creek rights dating to 1894 and 1900 and also from Rock Creek through the Pleasant Valley Canal Company of which they own a reported 1055 shares, equaling the equivalent of 110 minor inches. In total, owners report to have historically irrigated approximately 300 acres, with then wastewater and return flows causing other acres to sub-irrigate. All water rights owned by Sellers appurtenant to the Property will convey, including those filed on 4 springs.

**Mineral Rights:** All mineral rights owned by Sellers, which are appurtenant to the subject Property shall convey to Buyer at the time of Closing, with Sellers reserving 50% of the Royalty Interest on any future production.



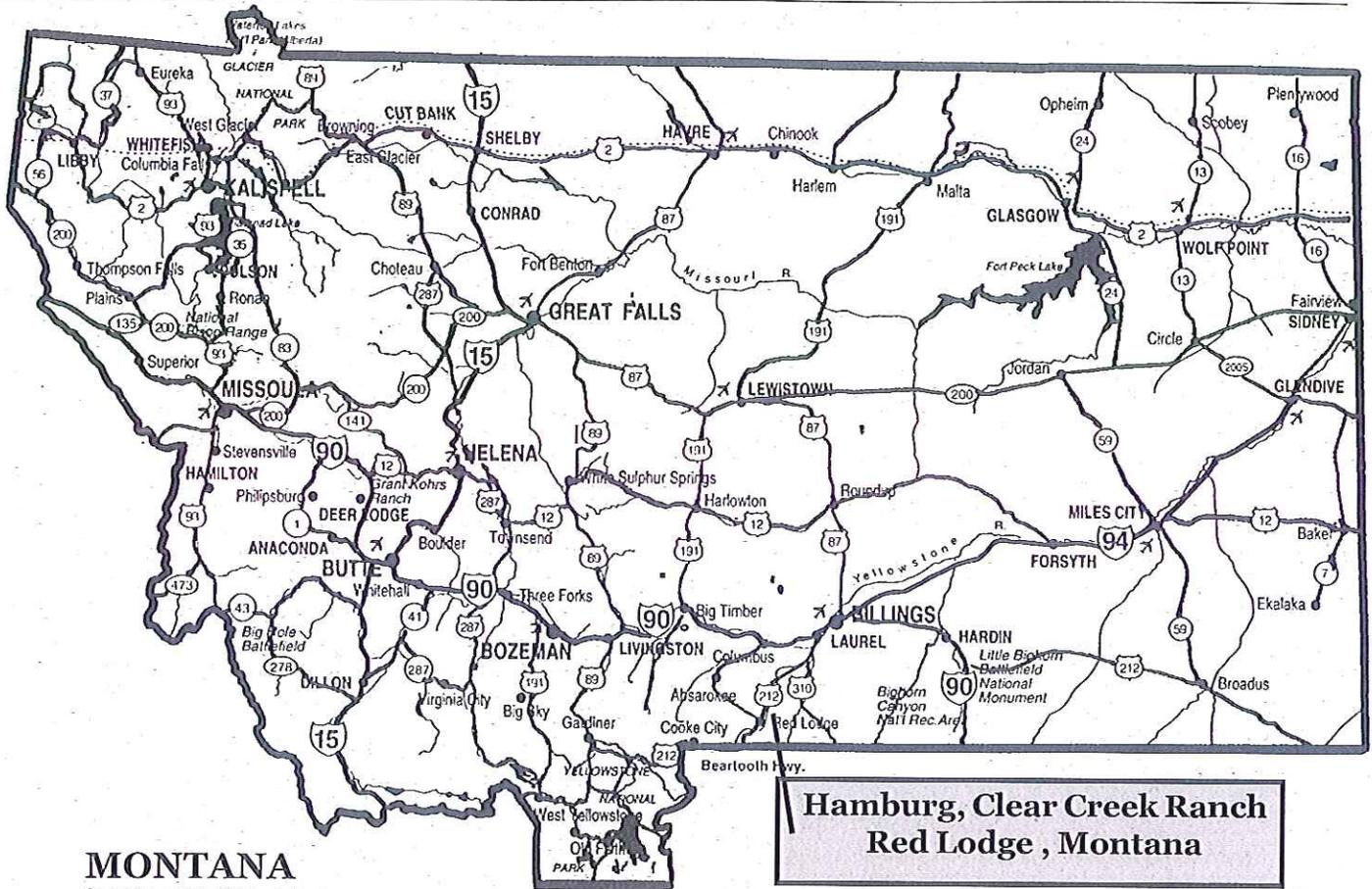
**LOCATION:** Approximately 7 miles north of Red Lodge, Montana on State Hwy 212, then approximately 2 miles east on Fox / East Bench Road, a paved and well maintained gravel road to the intersection of Elbow Creek Road. Ranch fronts East Bench Road on the west and Elbow Creek Road on the north.

**RED LODGE, MT:** (Population 2,155) is Carbon County's largest population center, while serving as the County seat. Gateway to Yellowstone Park via the beautiful Beartooth Highway, this quaint, historic mountain town, nestled against Montana's highest mountain peaks, is a place of extraordinary beauty and unlimited world class recreation opportunities, with true Western flair where mountain bikes are parked on Main Street next to flatbed ranch trucks and the "Home of Champions" 4th of July Rodeo is recognized worldwide. K-12 schools, a new multi-million dollar hospital, well run grocery store, fine dining to pizzas, AG supply stores, car dealership, 10 churches, vet clinics, art gallery and more. UPS and Federal Express provide parcel service to the area. Red Lodge's local airport provides private aircraft with a 4,000' paved runway which is lighted.

**CODY:** (Population 8,835) 64 miles (1 hour) South is home to the largest history and art museum in the West, the Buffalo Bill Historic Center. Air service is daily, with Yellowstone Regional Airport's 8,276' asphalt runway serving Skywest/Delta, Great Lakes/United, plus Spirit Mountain Aviation and Big Horn Charter.

**BILLINGS, MT:** (Population 89,470) is located 59 miles (1 hour) northeast and is not only Montana's largest city, but also the center to Montana and Northern Wyoming's livestock industry, as well as being considered the Region's Trade Port. This is the "True Hub" for Montana and Northern Wyoming with two of the northwest's finest medical facilities, two 4-year colleges, nearly unlimited shopping, dining and entertainment venues. Six major and one regional airline provide daily air service with fix base charter and jet fuel provided by Edwards Jet Center.

**AREA RECREATION:** Fish the Blue Ribbon Trout Streams, hike the wilderness, trophy hunt, whitewater raft, water ski, take some of the world's most scenic drives, snowmobile, windsurf, mountain bike, horseback ride, camp, boat, alpine ski, canoe, kayak, rock climb, golf or attend rodeos. All of this and more is literally right out your door.



**MONTANA**  
Sam Reynolds Editorial

What is it we find in Montana?  
Some people come and look, and laugh and go away.  
Some people stay awhile, smiling secretly at these people and their foibles. They depart laughing too.  
Montana-backwater, Montanans-oddballs who do oddball things. Different. Unsophisticated. Unsubtle. Quirky values. They don't comprehend what Montanans know.  
It has to do with the tie between the people and the land. The land isn't stunningly beautiful, mostly. The mountains rise, but only in isolated places do they take the breath away. The rivers flow, but none crashes as spectacularly as the Salmon, over in Idaho..  
It has to do with the sound and feel. Montana hums. The sound has feel. The sound we hear is from the land, and it takes years of living here to hear it, to feel it enlase your soul.  
The land hums. It's a very gentle thing, soft and compelling. Hypnotizing. The hum has vibrant beauty. You can feel the beauty of the land.  
It both transcends and contains the physical and emotional attractions-the forest and streams, the wildlife and fish, the convenience of life. Fifteen minutes from downtown in any Western Montana community and you and the land can be alone.  
All that is part of it, but there is more. The hum both enters and enwraps the Montanan. It grips that person and blends him into the land.

**Hamburg, Clear Creek Ranch  
Red Lodge, Montana**

We are different, even quirky, because we belong to the land we possess. It compels us to love it, and that loving shapes us.  
The seduction is subtle and takes years. The consummation even goes unnoticed. When did a newcomer stop being of that and become of this, and can never return? When did this hum so low and compelling weave its mystic web around one, a network of fragile strands whose strength cannot be broken?  
Like love, it cannot be explained. Like love, it's a spiritual and emotional thing. Like love, it cannot be snapped by denial. Unlike love it cannot rotate into hate.  
They go away, these splendid young Montana men and women. They go for opportunity or to "make it" in the world away. Usually they succeed because this land produces strong, good people. Often they succeed and return because the land becons. if they remain away. They yearn for something valuable which they have lost and which no place ever can replace.  
Natives and transplants alike hear the compelling hum of the land, the gentle summons that causes an echo to answer from the heart.  
This isn't our land. This land is its own. We belong to it. It has possessed us, willing captives who hear its hum and must respond with love.

(Sam Reynolds is editorial page editor for "The Missoulian". This article was first printed in "The Missoulian" in August 1983, and has been re-printed every summer since.)



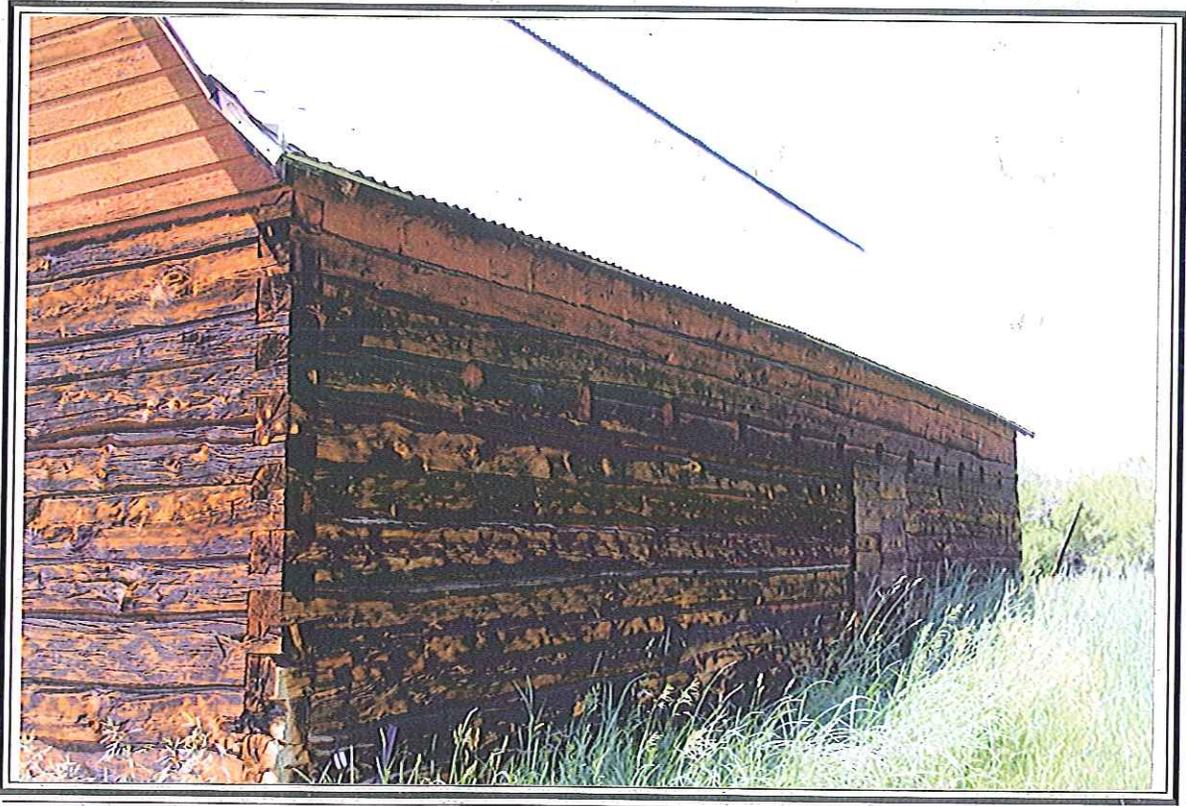
**Driving through the Ranch's front gate is a step back in time as the original root cellar and vehicles from the early 1900's still remain.**

**This Ranch is a "pickers" and reclaimer's dream, with many finds to be uncovered in the buildings and tall grass. If one prefers a "clean canvas" there are many salvage firms available who have interest in acquiring historic vehicles and buildings.**





Restorer's it is time to roll up your sleeves as the Ranch's Headquarters along both sides of Clear Creek, is ready for your imagination. Obviously crafted to stand the test of time, many of the Ranch's buildings, from the large dovetailed log horse and dairy barn to the unique shop and cattle barn built from early 1900 railroad cars, many appear ideal for restoration. What is not restorable could prove valuable as salvage for other projects.



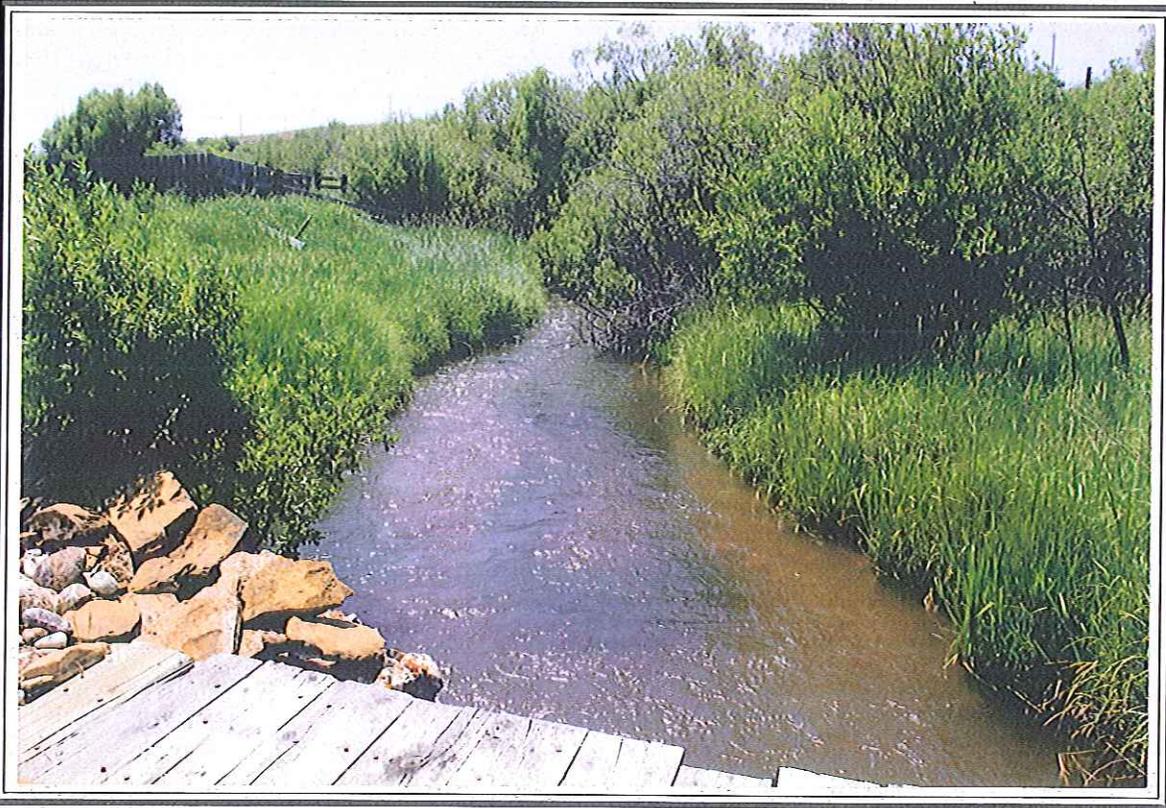


Lush irrigated and sub-irrigated bottoms of Clear Creek and Elbow Creek combine with rolling foothills and spring fed draws providing livestock with rich, high protein summer grazing and then plenty of protection on Clear Creek during the winter months. With approximately 300 acres tillable and owner irrigating approximately 200 acres of hay and 100 acres pasture, possibilities may exist for one to convert the existing flood irrigation system to sprinkler while also putting some of the dry crop fields under irrigation.





Given the Ranch's setting minutes from Red Lodge's famous Mountain Resort with 71 groomed trails, and 18 hole scenic golf course, plus fishing on Rock Creek or the Beartooth Pass and its surround mountains with over 950 lakes and endless trails, one should never lack for activity. Keeping in mind, your own Clear Creek is reported as quite a nice fishery in itself.





*"No matter how sophisticated you may be, a huge granite mountain cannot be denied. It speaks in silence to the very core of your being." Ansel Adams*  
*"In our family, there was no clear line between religion and fly fishing."*

Norman Maclean, *River Runs Through It*





#### **SUMMARY & CONCLUSION:**

*Let the Hamburg, Clear Creek Ranch be your road to one of the west's most fascinating areas.*

*A place of extraordinary beauty, genuine western hospitality and an active vibrant life style where each day you're choices for activities will be endless, with the Ranch's wide open spaces and bountiful AG production being a source of fulfillment.*

*Here's your opportunity, and it is firmly priced, as it is undoubtedly the most fairly priced property on the market today in the Red Lodge area.*

**PRICE: \$2,150,000.00 - Firm**

**TERMS: Cash or terms which may be acceptable to Seller.**

**Notice:** The data contained herein was obtained from the owner and other sources deemed reliable, but is not guaranteed by agents. Prospective purchasers are advised to examine the facts to their own satisfaction. This offering is subject to change of price and terms, lease, prior sale or withdrawal from the market, without notice.

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## Hamburg, Clear Creek Ranch Legal

### Exhibit "A"

Carbon County, State of Montana

Township 6 South, Range 21 East

Section 28:	S $\frac{1}{2}$ SW $\frac{1}{4}$ , S $\frac{1}{2}$ SE $\frac{1}{4}$ , Lot 2	(197.32 acres)
Section 29:	S $\frac{1}{2}$ SW $\frac{1}{4}$ , S $\frac{1}{2}$ SE $\frac{1}{4}$ , Lots 1, 2, 9, 12-14	(378.59 acres)
Section 30:	SE $\frac{1}{4}$ SW $\frac{1}{4}$ , S $\frac{1}{2}$ SE $\frac{1}{4}$ , Lots 1-3, 6, 8, 9	(328.78 acres)
Section 33:	N $\frac{1}{2}$	(320 acres)

**1,224.69 +/- acres**

**Legal Description to be verified by the Title Company**

RELATIONSHIPS/CONSENTS IN REAL ESTATE TRANSACTIONS  
(COMBINED EXPLANATION AND DISCLOSURES)  
Definition of Terms and Description of Duties

A "SELLER AGENT" is obligated to the SELLER to:

- act solely in the best interests of the seller, except that a seller agent, after written disclosure to the seller and with the seller's written consent, may represent multiple sellers of property or list properties for sale that may compete with the seller's property without breaching any obligation to the seller;
- obey promptly and efficiently all lawful instructions of the seller;
- disclose all relevant and material information that concerns the real estate transaction and that is known to the seller agent and not known or discoverable by the seller unless the information is subject to confidentiality arising from a prior or existing agency relationship on the part of the seller agent with a buyer or another seller;
- safeguard the seller's confidences;
- exercise reasonable care, skill, and diligence in pursuing the seller's objectives and in complying with the terms established in the listing agreement;
- fully account to the seller for any funds or property of the seller that comes into the seller agent's possession; and
- comply with all applicable federal and state laws, rules, and regulations.

A "SELLER AGENT" is obligated to the BUYER to:

- disclose to a buyer or the buyer agent any adverse material facts that concern the property and that are known to the seller agent, except that the seller agent is not required to inspect the property or verify any statements made by the seller;
- disclose to a buyer or the buyer agent when the seller agent has no personal knowledge of the veracity of information regarding adverse material facts that concern the property;
- act in good faith with a buyer and a buyer agent; and
- comply with all applicable federal and state laws, rules, and regulations.

A "BUYER AGENT" is obligated to the BUYER to:

- act solely in the best interests of the buyer, except that a buyer agent, after written disclosure to the buyer and with the buyer's written consent, may represent multiple buyers interested in buying the same property or similar properties to the property in which the buyer is interested or show properties in which the buyer is interested to other prospective buyers without breaching any obligation to the buyer;
- obey promptly and efficiently all lawful instructions of the buyer;
- disclose all relevant and material information that concerns the real estate transaction and that is known to the buyer agent and not known or discoverable by the buyer, unless the information is subject to confidentiality arising from a prior existing agency relationship on the part of the buyer agent with another buyer or seller;
- safeguard the buyer's confidences;
- exercise reasonable care, skill and diligence in pursuing the buyer's objectives and in complying with the terms established in the Buyer/Broker agreement;
- fully account to the buyer for any funds or property of the buyer that comes into the buyer agent's possession; and
- comply with all applicable federal and state laws, rules and regulations.

A "BUYER AGENT" is obligated to the SELLER to:

- disclose any adverse material facts that are known to the buyer agent and that concern the ability of the buyer to perform on any purchase offer;
- disclose to the seller or the seller agent when the buyer agent has no personal knowledge of the veracity of information regarding adverse material facts that concern the buyer;
- act in good faith with a seller and a seller agent; and
- comply with all applicable federal and state laws, rules and regulations.

**DUAL AGENCY** IF A SELLER AGENT IS ALSO REPRESENTING A BUYER, OR A BUYER AGENT IS ALSO REPRESENTING A SELLER WITH REGARD TO A PROPERTY, THEN A DUAL AGENCY RELATIONSHIP MAY BE ESTABLISHED, IN A DUAL AGENCY RELATIONSHIP, THE DUAL AGENT IS EQUALLY OBLIGATED TO BOTH THE SELLER AND THE BUYER. THESE OBLIGATIONS MAY PROHIBIT THE DUAL AGENT FROM ADVOCATING EXCLUSIVELY ON BEHALF OF THE SELLER OR BUYER AND MAY LIMIT THE DEPTH AND DEGREE OF REPRESENTATION THAT YOU RECEIVE. A BROKER OR A SALESPERSON MAY NOT ACT AS DUAL AGENT WITHOUT THE SIGNED, WRITTEN CONSENT OF BOTH THE SELLER AND THE BUYER.

A "DUAL AGENT" is obligated to a Seller in the same manner as a seller agent and is obligated to a Buyer in the same manner as a buyer agent, except that a dual agent:

- has a duty to disclose to a buyer or seller any adverse material facts that are known to the dual agent regardless of any confidentiality considerations; and
- may not disclose the following information without the written consent of the person whom the information is confidential:
  - (i) the fact that the buyer is willing to pay more than the offered purchase price;
  - (ii) the fact that the seller is willing to accept less than the purchase price that the seller is asking for the property;
  - (iii) factors motivating either party to buy or sell; and
  - (iv) any information that a party indicates in writing to the dual agent is to be kept confidential.

A "STATUTORY BROKER" is not the agent of the Buyer or Seller but nevertheless is obligated to them to:

- disclose to:
  - (i) a buyer or a buyer agent any adverse material facts that concern the property and that are known to the statutory broker, except that the statutory broker is not required to inspect the property or verify any statements made by the seller; and
  - (ii) a seller or a seller agent any adverse material facts that are known to the statutory broker and that concern the ability of the buyer to perform on any purchase offer;
- exercise reasonable care, skill, and diligence in putting together a real estate transaction, and
- comply with all applicable federal and state laws, rules and regulations.

An "Adverse material fact" means a fact that should be recognized by a broker or salesperson as being of enough significance as to affect a person's decision to enter into a contract to buy or sell real property and may be a fact that:

- (i) materially affects the value, affects structural integrity, or presents a documented health risk to occupants of the property; and
- (ii) materially affects the buyer's ability or intent to perform the buyer's obligations under a proposed or existing contract.

"Adverse material fact" does not include the fact that an occupant of the property has or has had a communicable disease or that the property was the site of a suicide or felony.