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**LAND USE APPLICATION SUMMARY**

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*Property Location:* 2011 and 2019 Chicago Avenue  
*Project Name:* Community Health/First Care Clinics  
*Prepared By:* Aaron Hanauer, Senior City Planner, (612) 673-2494  
*Applicant:* NLFS 2011, LLC  
*Project Contact:* Rock Solid Companies, Ron Touchette  
*Request:* To allow for the construction of a new clinic.

<b>Non-Residential Uses</b>	12,752 sq. ft.
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*Required Applications:*

<b>Variance</b>	To reduce the front yard setback along East 21 <sup>st</sup> Street from 42 feet to 7 feet for off-street parking spaces.
<b>Site Plan Review</b>	To allow for the construction of a new clinic.

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**SITE DATA**

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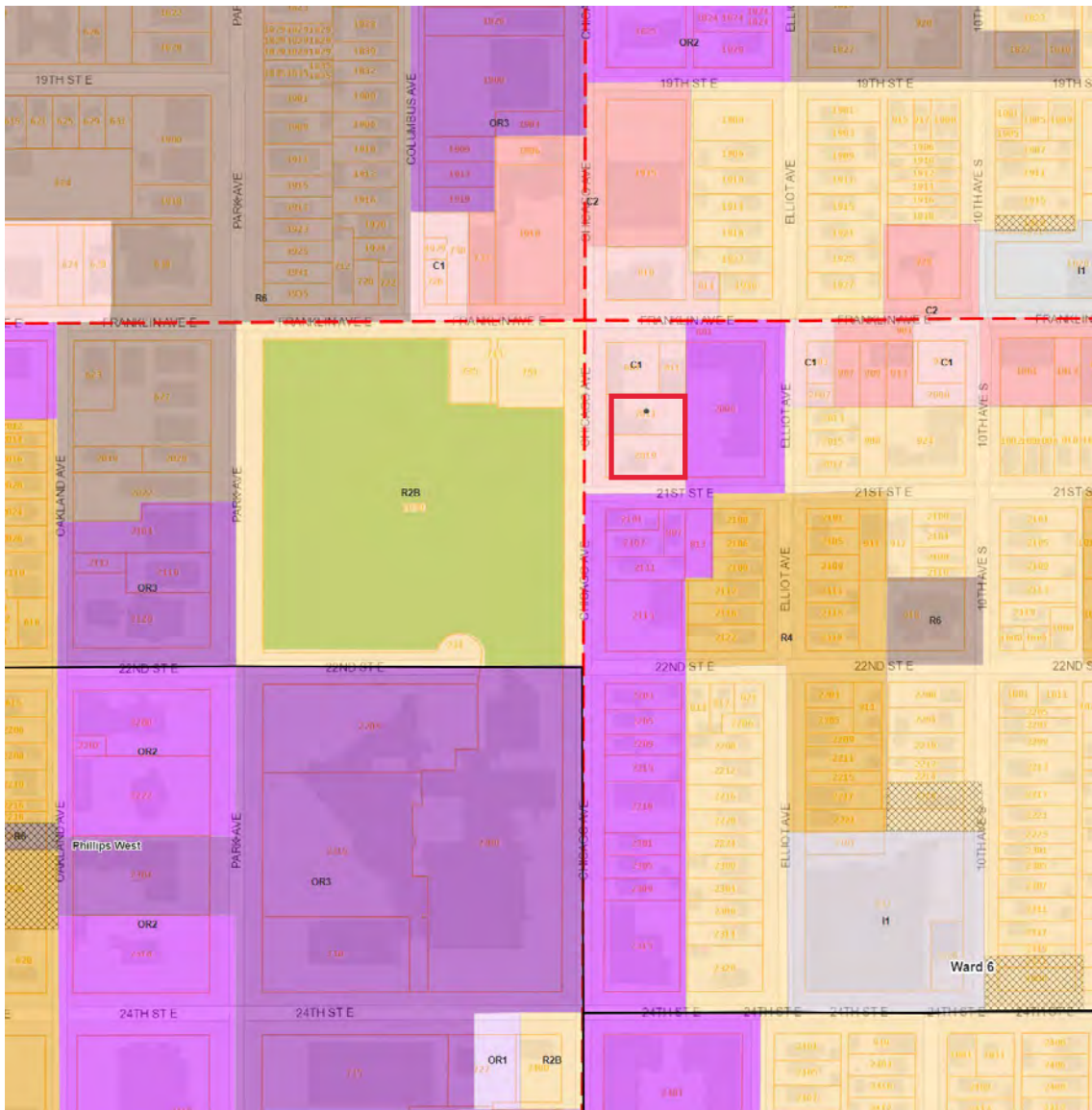
<b>Existing Zoning</b>	C1 Neighborhood Commercial District
<b>Lot Area</b>	23,631 square feet / 0.54 acres
<b>Ward(s)</b>	6
<b>Neighborhood(s)</b>	Ventura Village
<b>Future Land Use</b>	Corridor Mixed Use
<b>Goods and Services Corridor</b>	Chicago Avenue Goods and Services Corridor Near Franklin Avenue Goods and Services Corridor
<b>Built Form</b>	Corridor 6

Date Application Deemed Complete	July 14, 2020	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	September 12, 2020	End of 120-Day Decision Period	N/A

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The project site makes up the southeast portion of the intersection at Chicago Avenue and East 21<sup>st</sup> Street and just to the south of Franklin Avenue East. It consists of two vacant parcels.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The surrounding properties are a mix of zoning and uses. Along Chicago Avenue there is commercial and office residential zoning and one to two story commercial and mixed-use buildings. Peavey Field Park is located just to the west. To the south of the site, along Chicago Avenue, most of the properties are zoned OR2/High Density Office Residence and OR3/Institutional Office Residence. The uses of the properties to the south are low-density residential houses, HOPE Academy, and Our Savior’s Lutheran Church.



**PROJECT DESCRIPTION.** The proposal is for a two-story, 12,752 square foot clinic that would house two nonprofit clinics. The building is proposed to be built of brick and fiber cement panels. In addition, a 25-space surfacing lot is proposed to the east with vehicle access from East 21<sup>st</sup> Street. First Care Clinic would provide pregnancy tests, limited ultrasounds, and other medical services. Community Care Clinic provides general health care and preventive care. Clinics are permitted uses in the C1 Neighborhood Commercial District.

**PUBLIC COMMENTS.** As of the publication of the staff report, no public comments have been received. Any correspondence received after the publication of the staff report and prior to the City Planning Commission meeting will be forwarded on to the Planning Commission for consideration.

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## ANALYSIS

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### VARIANCE – FRONT YARD SETBACK – EAST 21<sup>ST</sup> STREET

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the front yard setback along East 21<sup>st</sup> Street from 40 feet to 7 feet to allow for off-street surface parking spaces, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

As outlined in Section 548.140 – Yard requirements, the project’s front yard setback along East 21<sup>st</sup> Street is established by the front yard setback of the neighboring residential or office residential zoned property. The neighboring site to the east (2000 Elliot Avenue) has a residential building that is setback 40 feet from the East 21<sup>st</sup> Street property line. Therefore, the subject property’s front yard setback is 40 feet for the first 25 feet from the shared lot line with the neighboring Office Residential District. The applicant is proposing to have a row of surface parking spaces that would be 14 feet from the front property line along East 21<sup>st</sup> Street. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. Given that the project site is a reverse corner lot, the project site has two front yard setbacks (Chicago Avenue and East 21<sup>st</sup> Street). In addition, the 40-foot setback established by the neighboring property to the east is deeper than a typical front yard setback in Minneapolis, especially for a commercially zoned property. The adjacent residential building is oriented toward Elliot Avenue and the proposed parking stalls would not be located in an area that feels or functions like a continuation of the neighboring property’s front yard.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

As conditioned, the applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. Yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The neighboring development to the east (2000 Elliot Avenue) has a row of parking that is 15 feet from the front property line along East 21<sup>st</sup> Street. The applicant is proposing to have their surface parking be 14 feet from this property line. CPED is recommending that the applicant revise the parking lot to have a 15-foot front yard setback along East 21<sup>st</sup> Street in order to line up with the parking on the neighboring residential property to the east. In addition, the applicant shall maintain the hedge of Arborvitae shrubs along the eastern interior property line. As conditioned, the proposed setback for the surface parking is reasonable because it will not have an adverse impact on surrounding properties, in particular the residential development to the east.

Allowing a deviation of the front yard setback for off-street parking will help provide off-street parking at a number that complies with zoning code requirements.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Approving the front yard setback variance request along East 21<sup>st</sup> Street from 40 feet to 15 feet will not alter the character of the immediate area nor be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. As previously noted, the proposed setback will match the setback of the neighboring surface parking area to the east and allow for more landscaping along East 21<sup>st</sup> Street.

**SITE PLAN REVIEW**

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

**Applicable Standards of Chapter 530, Site Plan Review**

*BUILDING PLACEMENT AND DESIGN*

**Building placement – Meets requirements**

- The project would comply with the site plan review building placement standards.

**Principal entrances – Meets requirements**

- The project would comply with the principal entrances standards of having a pedestrian entrance face Chicago Avenue.

**Visual interest – Meets requirements**

- The project would comply with the visual interest standards in terms of architectural details, window placement and absence of blank, uninterrupted walls not exceeding 25 feet in length.

**Exterior materials – Meets requirements**

- The applicant is proposing brick, fiber cement greater than 5/8 inches thick, and fiber cement less than 5/8 inches thick as the building’s primary exterior materials. Exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- Each elevation would comply with the City’s durability standards for exterior materials, number of exterior materials, and having appearance on the rear and side walls compatible with the front of the building.

**Percentage of Exterior Materials per Elevation**

Material	Allowed Max	West	South	North	East
<b>Brick (face)</b>	100%	16%	11%	17%	18%
<b>Glass</b>	100%	24%	18%	24%	19%
<b>Fiber Cement (≥ 5/8")</b>	75%	38%	44%	38%	40%

<b>Fiber Cement (≤ 5/8")</b>	30%	22%	27%	21%	23%
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**Windows – Meets requirements**

- The proposed project would comply with the minimum window requirements. As a condition of approval to comply with Section 530.120 – Building design, first floor or ground floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher.

**Window Requirements for Non-Residential Uses**

<b>Floor</b>	<b>Code</b>		<b>Proposed</b>	
<b>1st floor -Chicago Avenue</b>	30% minimum	355 sq. ft.	46%	539 sq. ft.
<b>2nd floor and above-Chicago</b>	10% minimum	47 sq. ft.	21%	98 sq. ft.
<b>1st floor -East 21<sup>st</sup> St.</b>	30% minimum	173 sq. ft.	43%	247 sq. ft.
<b>2nd floor and above – East 21<sup>st</sup></b>	10% minimum	72 sq. ft.	14%	98 sq. ft.

**Ground floor active functions – Meets requirements**

- The project would comply with the ground floor active functions requirements.

**Roof line – Meets requirements**

- The flat roof building would be like that of surrounding commercial buildings along both Chicago Avenue as well as the adjacent apartment building to the east (2000 Elliot Avenue).

**Parking garages – Not applicable**

- There are no parking garages proposed as part of this project.

**ACCESS AND CIRCULATION**

**Pedestrian access – Meets requirements**

- There would be clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

**Transit access – Not applicable**

- A transit shelter is located just to the north of the project site. However, no transit shelters are proposed as part of this development.

**Vehicular access – Meets requirements**

- The project would comply with the vehicular access requirements with having only one vehicle access point to the site along East 21<sup>st</sup> Street.

**LANDSCAPING AND SCREENING**

**General landscaping and screening – Meets requirements**

- The project would comply with the general landscaping and screening requirements.

**Landscaping and Screening Requirements**

<b>Requirement</b>	<b>Required</b>	<b>Proposed</b>
<b>Lot Area</b>	--	23,361 sq. ft.
<b>Building Footprint</b>	--	10,070 sq. ft.
<b>Area Not Covered by Buildings</b>	--	13,561 sq. ft.
<b>Landscaped Area</b>	2,712 sq. ft.	4,690 sq. ft.
<b>Canopy Trees (1:500 sq. ft.)</b>	6 trees	8 trees
<b>Shrubs (1:100 sq. ft.)</b>	27 shrubs	88 shrubs

**Parking and loading landscaping and screening – *Requires alternative compliance***

- The project would comply with the applicable parking and loading landscaping and screening requirements. However, the parking area abuts a residential district to the east and only has a five-foot-wide yard landscaped yard. Alternative compliance is required.

**Additional landscaping requirements – *Meets requirements with Conditions of Approval***

- The project appears to comply with the additional landscaping requirements in sections 530.180, 530.190, 530.200, and 530.210 of the zoning code.
- To comply with Section 530.180 – Landscaping of other area, no rock mulch is allowed.

**ADDITIONAL STANDARDS**

**Concrete curbs and wheel stops – *Meets requirements***

- All parking lots and driveways are defined by a six-inch by six-inch continuous concrete curb.

**Site context – *Meets requirements***

- The project would comply with the site context requirements of not adversely impacting important elements of the city, having an adverse impact on shadowing and generation of wind currents at ground level.

**Crime prevention through environmental design – *Meets requirements***

- The project would comply with crime prevention through environmental design (CPTED) standards.

**Historic preservation – *Not applicable***

- This site is neither historically designated or located in a designated historic district, nor has it been determined to be eligible for designation.

**Applicable Regulations of the Zoning Ordinance**

The proposed clinic use is permitted in the C1 District.

**Off-street Parking and Loading – *Meets requirements***

- As conditioned, the project complies with the applicable vehicle parking, bicycle parking, and loading requirements.

**Vehicle Parking Requirements Per Use (Chapter 541)**

Use	Minimum	Reductions	Minimum	Proposed
Clinic	26	Bicycle incentive (3)	23	25

**Bicycle Parking Requirements (Chapter 541)**

Use	Minimum	Short-Term	Long-Term	Proposed
Clinic	3	Not less than 50%	--	8 short term

**Loading Requirements (Chapter 541)**

Use	Loading Requirement	Loading Spaces	Proposed
Clinic	Low	0	0

**Building Bulk and Height – Meets requirements**

- The project meets the applicable bulk and height requirements.

**Building Bulk and Height Requirements**

Requirement	Code	Proposed
Lot Area	--	23,631 sq. ft. / 0.54 acres
Gross Floor Area	--	12,752 sq. ft.
Max. Floor Area Ratio	1.7	0.54
Max. Building Height	2.5 stories or 35 feet, whichever is less	2 stories and 29 ft.

**Lot and Residential Unit Requirements – Not applicable**

- There are no lot and residential unit requirements for a clinic in the C1 Neighborhood Commercial District.

**Yard Requirements – Requires variance(s)**

- The building would meet the applicable yard requirements. However, the off-street parking proposal requires a front yard setback along East 21<sup>st</sup> Street.

**Minimum Yard Requirements**

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (West) Chicago	0 ft.	N/A	0 ft.	5 ft.
Interior Side (East)	7 ft.	N/A	7 ft.	71 ft.
Interior Side (North)	0 ft.	N/A	0 ft.	5 ft.

<b>Front East 21<sup>st</sup> Street (South)</b>	0 ft.	42 feet for the first 25 feet	42 feet for the first 25 feet	<ul style="list-style-type: none"> <li>- Building complies with setback</li> <li>- Parking 7 feet from front property line for the first 25 feet.</li> </ul>
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**Signs – Meets requirements**

- All signs are subject to Chapter 543, On-Premise Signs and required to meet the sign requirements (see included master sign plan by Landmark Architectural Signs). All wall signs would be no greater than 51 square feet in area and no greater than 20 feet in height. The only signs that would be illuminated are those that face Chicago Avenue. The applicant will be required to submit a separate sign permit application for any signage that is proposed.

**Signage Summary**

Type	Max. Size Allocation - Elevation	Max. Area Per Sign	Proposed Area	Max. Height Allowance	Proposed Height
<b>1. wall mount – East</b>	148 sq. ft.	180 sq. ft.	31 sq. ft.	20 ft.	17 ft.
<b>2. wall mount-South</b>	72 sq. ft.	180 sq. ft.	31 sq. ft.	20 ft.	20 ft.
<b>3. wall mount- South</b>	72 sq. ft.	180 sq. ft.	31 sq. ft.	20 ft.	16 ft.
<b>4. wall mount – West</b>	148 sq. ft.	180 sq. ft.	31 sq. ft.	20 ft.	16 ft.
<b>5. wall mount – West</b>	148 sq. ft.	180 sq. ft.	42 sq. ft.	20 ft.	20 ft.
<b>6. wall mount - West</b>	148 sq. ft.	180 sq. ft.	33 sq. ft.	20 ft.	13 ft.

**Screening of Mechanical Equipment – Meets requirements with Conditions of Approval**

- Mechanical equipment is subject to the screening requirements of Section 535.70 – Screening of mechanical equipment.

**Refuse Screening – Meets requirements with Conditions of Approval**

- The outdoor refuse and recycling storage containers shall be screened in compliance with Section 535.80 – Screening of refuse and recycling storage containers. Plans show compliance with this requirement.

**Lighting – Meets requirements with Conditions of Approval**

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code.

**Fences – Meets requirements with Conditions of Approval**



- Fences must comply with the Section 535.420 – Fence height requirements, this includes having a maximum fence of four feet in height in the front yard setback that is open and decorative.

**Specific Development Standards – Not applicable**

- There are no specific development standards for a clinic in the C1 District.

**Overlay District Standards – Not applicable**

- The project site does not have an overlay district.

**Applicable Policies of the Comprehensive Plan**

The proposed use would be consistent with the applicable guidance and policies of *Minneapolis 2040 (2020)*:

<b>Future Land Use</b>	<b>Guidance</b>	<b>Staff Comment</b>
<b>Corridor Mixed Use</b>	Corridor Mixed Use serves a larger market area than Neighborhood Mixed Use and may have multiple competing uses of the same type. Commercial zoning is appropriate, mixed use multi story development is encouraged, and contiguous expansion of commercial zoning is allowed.	The commercial zoning of the property would remain and the applicant is proposing a new commercial establishment.
<b>Goods and Services Corridor</b>	<b>Guidance</b>	<b>Staff Comment</b>
<b>[Chicago Avenue]</b>	Goods and Services Corridors serve two purposes: 1) To indicate where commercial uses should front in relation to properties guided for commercial future land uses, and 2) In addition to the guidance for the mixed use land use categories found in this section, Goods and Services Corridors identify where the establishment or expansion of commercial uses can be considered. Properties immediately adjacent to a Goods and Services Corridor may be considered for commercial activity, allowing for uses similar in scale and scope to the Neighborhood and Corridor Mixed Use categories.	A commercial ground floor is proposed along Chicago Avenue. The proposed development is similar in scale and scope to the neighboring commercial buildings along Chicago Avenue.
<b>Built Form</b>	<b>Guidance</b>	<b>Staff Comment</b>
<b>Corridor 6</b>	New and remodeled buildings in the Corridor 6 district should reflect a variety of building types on both moderate and large sized lots. Building heights should be 2 to 6	The proposal is for a two-story building which is consistent with the Corridor 6 guidance.

	<p>stories. Building heights should be at least 2 stories in order to best take advantage of the access to transit, jobs, and goods and services provided by the Corridor 6 district. Requests to exceed 6 stories will be evaluated on the basis of whether or not a taller building is a reasonable means for further achieving Comprehensive Plan goals.</p>	
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The following policies and action steps from Minneapolis 2040 (2020) apply to this proposal:

**Policy 4. Access to Commercial Goods and Services: Improve access to goods and services via walking, biking and transit.**

- a. Allow commercial uses where they currently exist throughout the city.
- f. Allow a full range of uses in Commercial areas intended to provide goods and services to surrounding communities.

**Policy 5. Visual Quality of New Development: Ensure a high-quality and distinctive physical environment in all parts of the city through building and site design requirements for both large and small projects.**

- c. Ensure that exterior building materials are durable, sustainable, create a lasting addition to the built environment, and contribute positively to the public realm and reflect existing context.
- d. Require that the appearance and materials of the rear and side walls of new buildings are similar to and compatible with the front of the building.
- e. Require adequate distribution of windows and architectural features in order to create visual interest.
- f. Consider design approaches that encourage creative solutions for transitions between varying intensities of building types and land uses.
- g. Apply design standards, guidance, and regulation consistently across the city regardless of market conditions or rent structure of development.
- h. Promote an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage; ensuring that signage is appropriately scaled to the pedestrian experience.
- i. Regulate the height and bulk of buildings as represented on the built form map.
- j. Require the screening of utilities, communication, transformers, and other service connections to buildings. Burying connections and lines is encouraged.
- k. Encourage roof lines and upper levels of tall buildings to be articulated with a distinguishable design.
- o. Regulate setbacks, orientation, pattern, materials, height, and scale of small-scale residential buildings to ensure consistency with built-form guidance and existing context.
- s. Balance visual quality of new development, including articulation of buildings, with energy efficiency of new buildings.

**Policy 6. Pedestrian-Oriented Building and Site Design: Regulate land uses, building design, and site design of new development consistent with a transportation system that prioritizes walking first, followed by bicycling and transit use, and lastly motor vehicle use.**

- a. Orient buildings and building entrances to the street. Encourage multiple entrances to multi-family residential buildings. The number of entrances in non-residential uses should increase in proportion to the length of the building and be located along main corridors or at the street corner.
- c. Require windows and window treatments on buildings that allow clear views into and out of the building.
- k. Implement and expand regulations and incentives that promote bicycling, such as the provision of secured storage for bikes near building entrances, storage lockers, and changing and shower facilities.

**Policy 8. Public Safety Through Environmental Design: Use design principles that ensure a safe and welcoming environment when designing all projects that impact the public realm, including open spaces and parks, on publicly-owned and private land.**

- a. Integrate “eyes on the street” concepts into building design through the use of windows to foster safer and more successful areas throughout the city.
- b. Orient new development to the street, or other public ways, to foster safe neighborhoods.
- c. Design the site, lighting, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- e. Locate landscaping, sidewalks, lighting, fencing, and building features to clearly guide pedestrian movement on or through the site and to provide clear delineation between public and private spaces.
- f. Use innovative building designs, window locations, lighting, and landscaping to limit or eliminate the opportunity for vandalism.
- g. Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.

**Alternative Compliance**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

Standard	Description	Staff Recommendation
<p><b>Landscaped area for parking abutting a residence district</b></p>	<p>The parking area abuts a residential district to the east and only has a five-foot-wide yard landscaped yard. Alternative compliance is required.</p>	<p>The proposed alternative is consistent with applicable development plans or development objectives adopted by the city council and meets the intent of this chapter. The proposal for a five-foot landscaped yard combined with a hedge of arborvitae will provide adequate screening of the parking area. <u>Staff recommends granting alternative compliance.</u></p>

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## RECOMMENDATIONS

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The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Community Health/First Care Clinics for the properties located at 2011 and 2019 Chicago Avenue:

**A. Variance to decrease the front yard setback along East 21<sup>st</sup> Street.**

Recommended motion: **Deny** the variance to reduce the front yard setback along East 21<sup>st</sup> Street from 40 feet to 14 feet and in lieu thereof **Approve** a variance to reduce the front yard setback along East 21<sup>st</sup> Street from 40 feet to 15 feet for parking spaces.

**B. Site Plan Review.**

Recommended motion: **Approve** the site plan review for a new 12,752 square foot clinic, subject to the following conditions:

1. All site improvements shall be completed by August 17, 2020, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The applicant shall submit the tax parcel division, combination, or lot line adjustment request form to CPED and submit proof of the filing with Hennepin County.
4. A minimum of eight bicycle parking spaces shall be provided and at least four of the spaces shall meet the requirements for short term bicycle parking spaces.
5. All signs shall comply with Chapter 543 of the zoning code. All signage requires a separate permit from CPED. All wall signs shall be no higher than 20 feet in height as shown on the submitted master sign plan.
6. To comply with Section 530.120 – Building design, first floor or ground floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher.
7. The mechanical equipment/transformer shall be screened in compliance with Section 535.70 Screening of mechanical equipment.
8. The outdoor refuse and recycling storage containers shall be screened in compliance with Section 535.80 – Screening of refuse and recycling storage containers.
9. To comply with Section 530.180 – Landscaping of other area, no rock mulch is allowed.
10. Existing and proposed lighting shall comply with Chapter 535 and Chapter 541 of the zoning code.
11. Fences must comply with the Section 535.420 – Fence height requirements.

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## ATTACHMENTS

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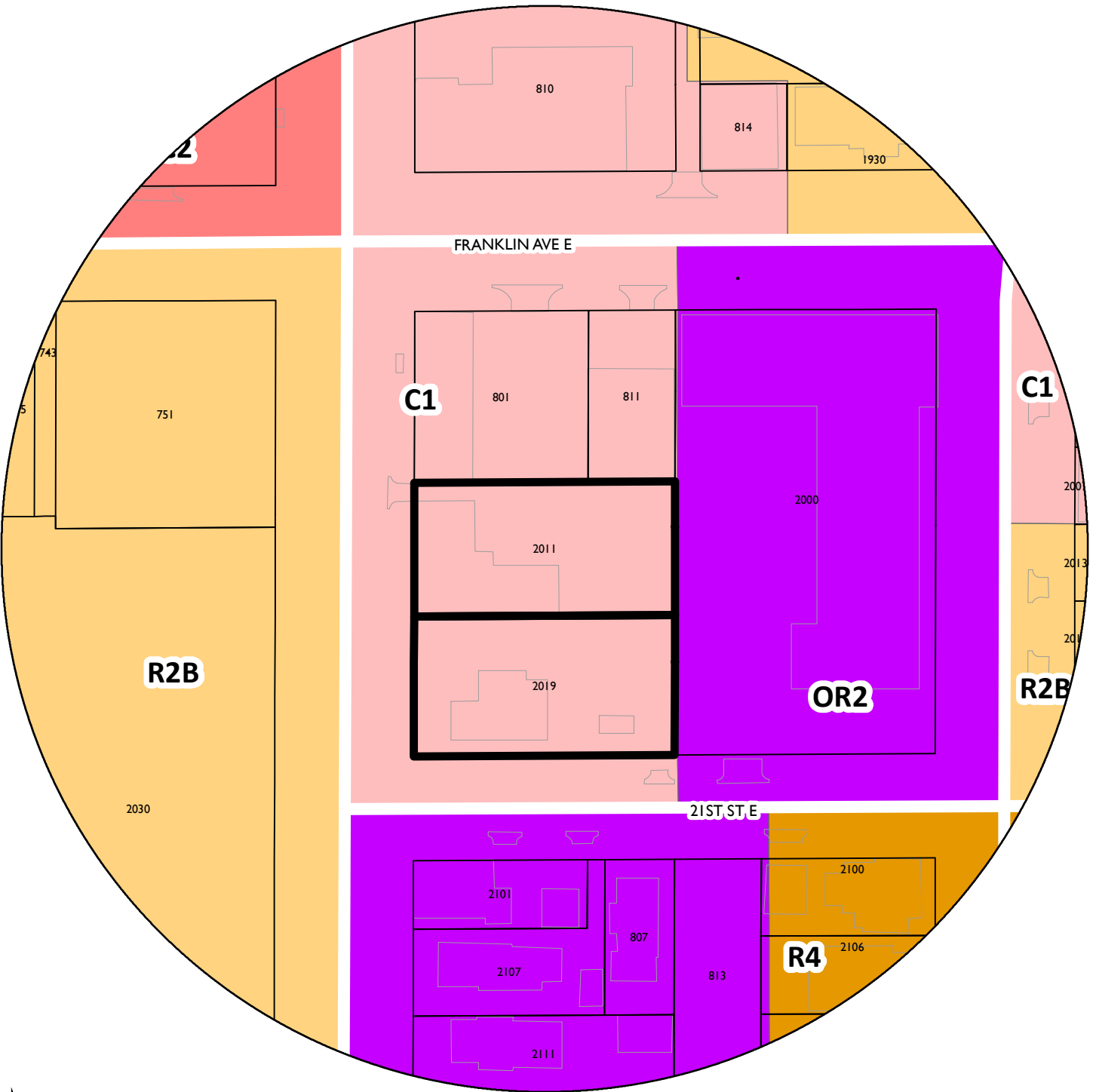
1. PLAN map
2. Project narrative
3. Images
4. Architectural plan set and renderings
5. Civil plan set
6. Master sign plan

# Community Health/First Care Clinics

6th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**2011-2019 Chicago Avenue**

FILE NUMBER  
**PLAN11220**

# Proposed Use Statement

Project: Community Health / First Care Clinics – PLAN11205  
2011 & 2019 Chicago Ave., Minneapolis, MN 55404

Project is a 12,752 square foot Gross Floor Area, partial two-story building with a 10,070 square foot Footprint Area building, designed specifically to house a combined non-profit 501(c)(3) First Care Pregnancy Center and Community Care Health Clinic.

## **Services provided by First Care include:**

Medical: Pregnancy tests, limited OB ultrasounds (to determine viability and gestational age), comprehensive STI testing and treatment, MDH information about pregnancy options. Medical services are overseen by two OBGYN doctors, full-time staff Nurse Manager, full-time staff Nurse, a part-time staff nurse, and various volunteer licensed medical providers.

Social: Licensed Social Workers provide ongoing pregnancy-related counseling and support as well as community referrals and partnerships, individual and group parenting classes, post-abortion support groups, and more.

Adoption: Licensed (state of MN) services for both birth families and adoptive families, post-adoption support, Embryo adoption home study, etc.

*All of the services above are free of charge, with the exception of adoption fees for the adopting families (birth family services are free).*

## **Services Provided by Community Care Clinics of MN include:**

Medical: Preventive care for the whole family: general health care, disease prevention, family planning, prenatal care, health education and promotion, wellbeing care, physical exams, vaccinations, and more. Diagnosis and treatment of acute illness such as cold & flu, ear infections, and the like. Management of commonly seen chronic conditions, such as asthma, anxiety, COPD, depression, diabetes, hypertension, thyroid dysfunction, and more. Lab work: blood glucose, blood tests, pap smears, pregnancy, STI testing, urinalysis, and more.

# Property Photographs

Project: Community Health / First Care Clinics – PLAN11205  
2011 & 2019 Chicago Ave., Minneapolis, MN 55404



Picture taken from the NNE corner of Chicago Ave. & 21<sup>st</sup> St., facing ENE towards the Property.



Picture taken from the ENE corner of Chicago Ave. & 21<sup>st</sup> St., facing NNE towards the Property.



Picture taken from the NE corner of Chicago Ave. & 21<sup>st</sup> St., facing NE towards the Property.



Picture taken from the NE corner of Chicago Ave. & 21<sup>st</sup> St., facing ENE towards the Property.



Picture taken from the NE corner of Chicago Ave. & 21<sup>st</sup> St., facing NNE towards the Property.



# COMMUNITY CARE & FIRST CARE CLINICS

**OWNER**  
**NEW LIFE FAMILY SERVICES**  
 1515 66th Street  
 Richfield, MN 55423  
 Phone: 952-250-9497  
 Contact: Tammy Kocher  
 Email: kocher.tammy@nlfs.org

**PROJECT COORDINATOR**  
**ROCK SOLID COMPANIES**  
 7078 East Fish Lake Road  
 Maple Grove, MN 55311  
 Phone: 612-435-7777  
 Contact: Ron Touchette  
 Email: ron@rocksolidcos.com

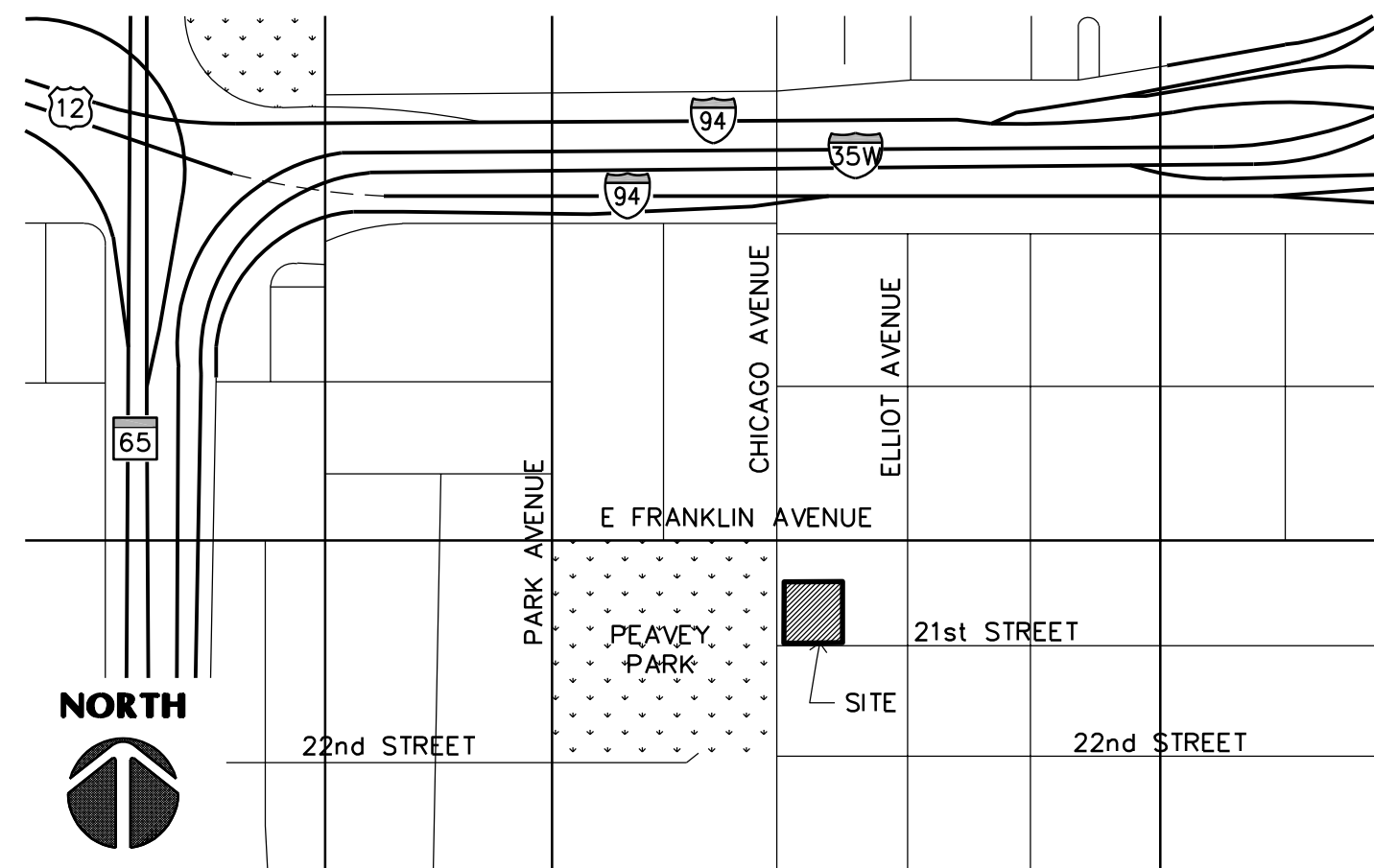
**CONTRACTOR**  
**PINEWSKI BUILDERS**  
 13750 Crosstown Drive NW, #203  
 Andover, MN 55304  
 Phone: 763-753-5095  
 Contact: Steve Pinewski  
 Email: pinewskibuilders@gmail.com

**ARCHITECT**  
**LAMPERT ARCHITECTS**  
 420 Summit Avenue  
 St Paul, MN 55102  
 Phone: 763-755-1211  
 Contact: Laurel Schmidt  
 Email: laurel@lampert-arch.com

**CIVIL ENGINEER**  
**PLOWE ENGINEERING**  
 6776 Lake Drive, Suite 110  
 Lino Lakes, MN 55014  
 Phone: 651-361-8701  
 Contact: Adam Ginkel  
 Email: adam@plowe.com

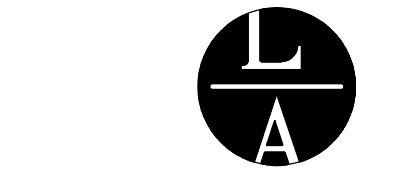
**ENGINEER**  
**STROH ENGINEERING**  
 2864 Liholani Street  
 Makawao, HI 96768  
 Phone: 808-463-2256  
 Contact: Bernie Stroh  
 Email: strohengineering@1791.com

## VICINITY MAP



## SHEET SCHEDULE

Sheet	Description
T1	Title Sheet
D1	Site Demolition Plan
A1	Site Plan
L1	Landscape Plan
A2.1	First Floor Plan
A2.2	Second Floor Plan
A3	Building Elevations
A4	Building Section and Roof Plan



**LAMPERT ARCHITECTS**

420 Summit Avenue  
 St. Paul, MN 55102  
 Phone: 763.755.1211 Fax: 763.757.2849  
 lampert@lampert-arch.com

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LEONARD LAMPERT  
 ARCHITECT  
 LICENSE NO. 13669  
 EXPIRES 07/31/2020

**COMMUNITY CARE  
 FIRST CARE CLINICS**  
 2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

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 Leonard Lampert Architects Inc.

Project Designer: L. SCHMIDT

Drawn By: LLS

Checked By: LL

Revisions

7/9/20 FOR REVIEW

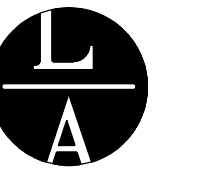
No.	Description	Date

**TITLE SHEET**

Sheet Number

**T1**

Project No. 190703-3



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St. Paul, MN 55102  
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PRINT 13669  
DATE 08.08.20

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Project Designer: L. SCHMIDT

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Checked By: LL

Revisions

4/8/20	CITY SUBMITTAL
4/24/20	REVISED
7/31/20	CITY COMMENTS
8/10/20	CITY COMMENTS
8/11/20	CITY COMMENTS

SITE PLAN

Sheet Number

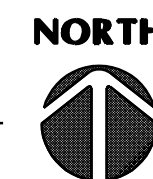
A1

Project No. 190703-3

CHICAGO AVENUE

21st STREET EAST

1 SITE PLAN  
A1 SCALE: 1" = 20'-0"



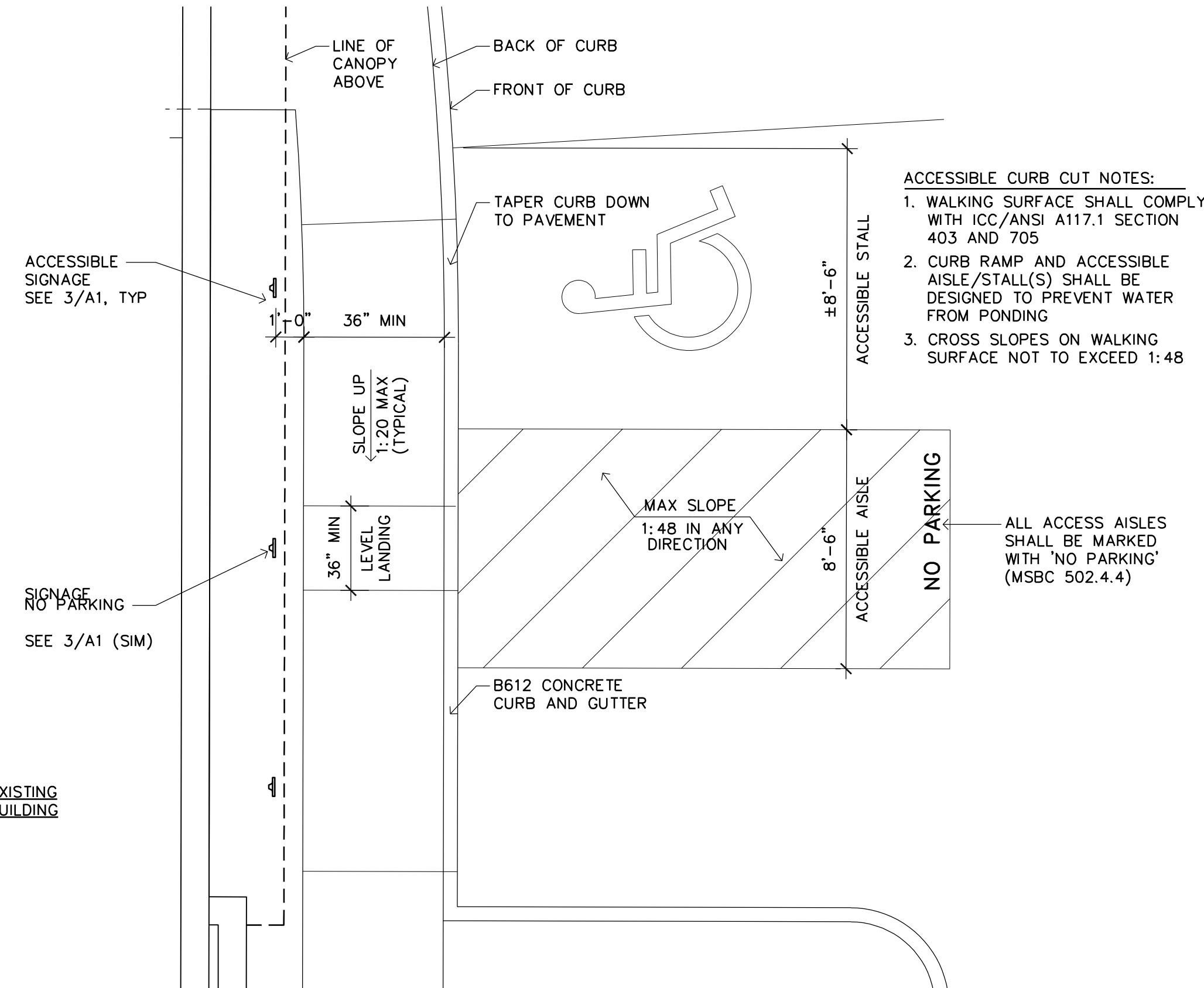
GENERAL INFORMATION

- A. PROJECT NAME: Community Health/First Care Clinics
- B. PROJECT LOCATION: 2011 & 2019 Chicago Avenue  
Minneapolis, Minnesota
- C. ZONING AND LAND USE: C1 - Neighborhood Commercial
- D. LOT SIZE: 0.54 Acres 23,616 s.f.
- E. FLOOR AREA RATIO: 12,752 S.F./23,616 S.F. = 0.54 < 1.7
- F. GREEN SPACE: 4,690 S.F./13,452 S.F. = 35% > 20%
- G. PARKING AND MANEUVERING (Minneapolis Zoning Ordinance)

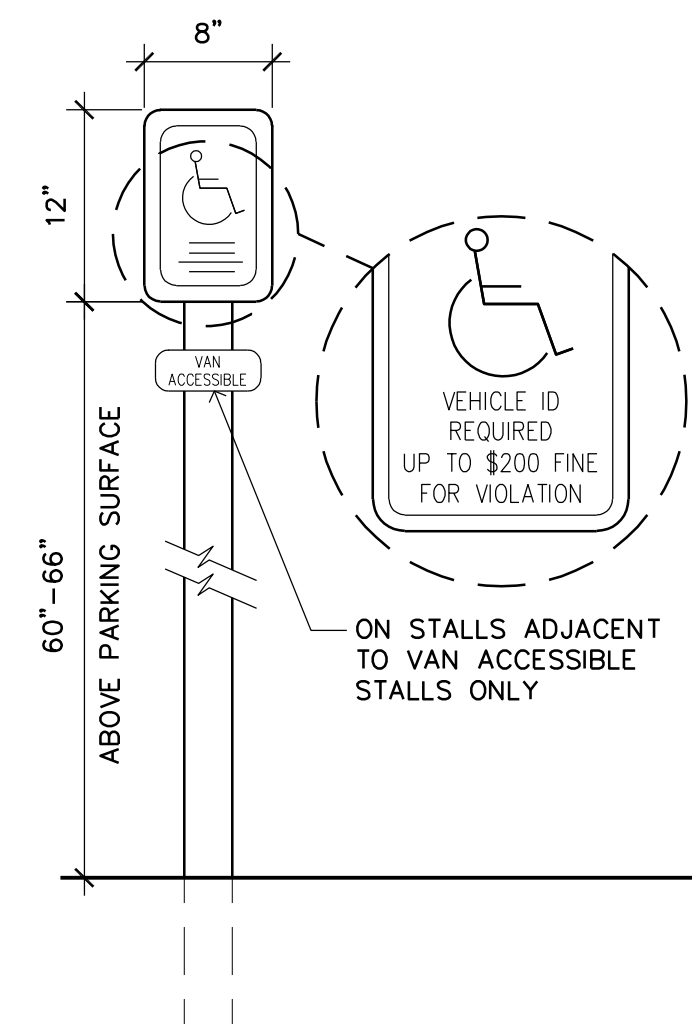
1. Parking Stall Calculation

OFFICE/CLINIC		
Minimum: 10,070 s.f. @ 1/500 s.f.	20 Stalls Min.	
Maximum: 10,070 s.f. @ 1/200 s.f.	50 Stalls Max.	
Total Stalls Required	20-50 Stalls	
Total Stalls Provided	25 Stalls	
Accessible Requirement Per 25 Stalls (IBC Table 1106.1)	1 Stall	

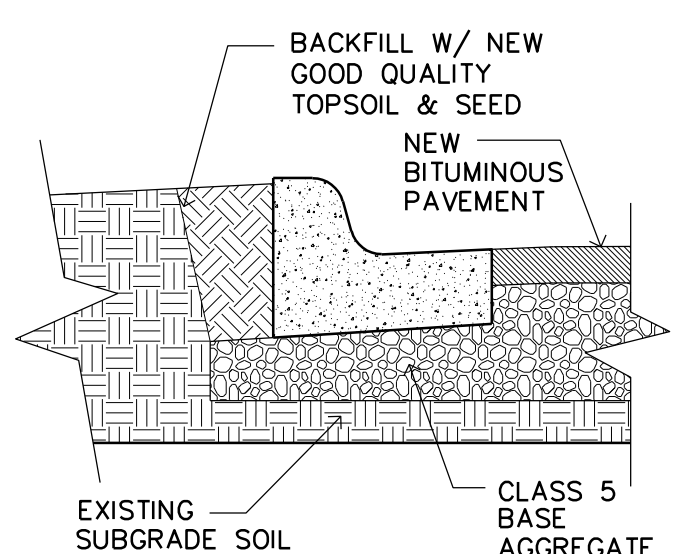
- 2. Stall Size - 8'-6" x 18'-0"
- 3. Aisle Size - 22'-0"
- 4. Striping - 4" White Stripes



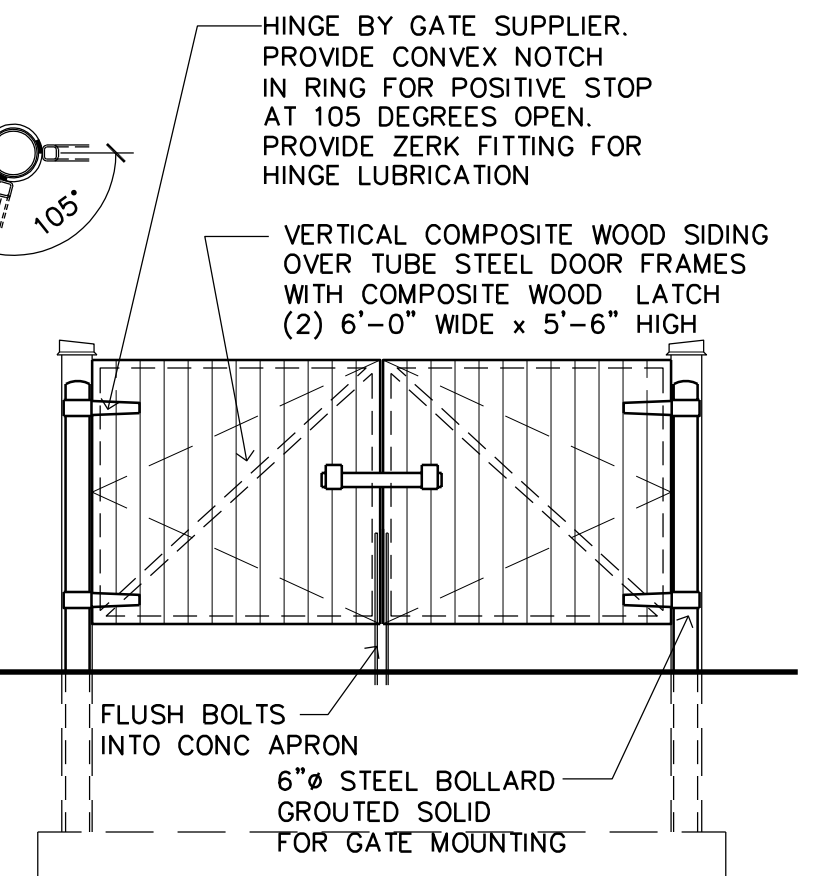
2 ACCESSIBLE CURB CUT  
SCALE: 1/4" = 1'-0"



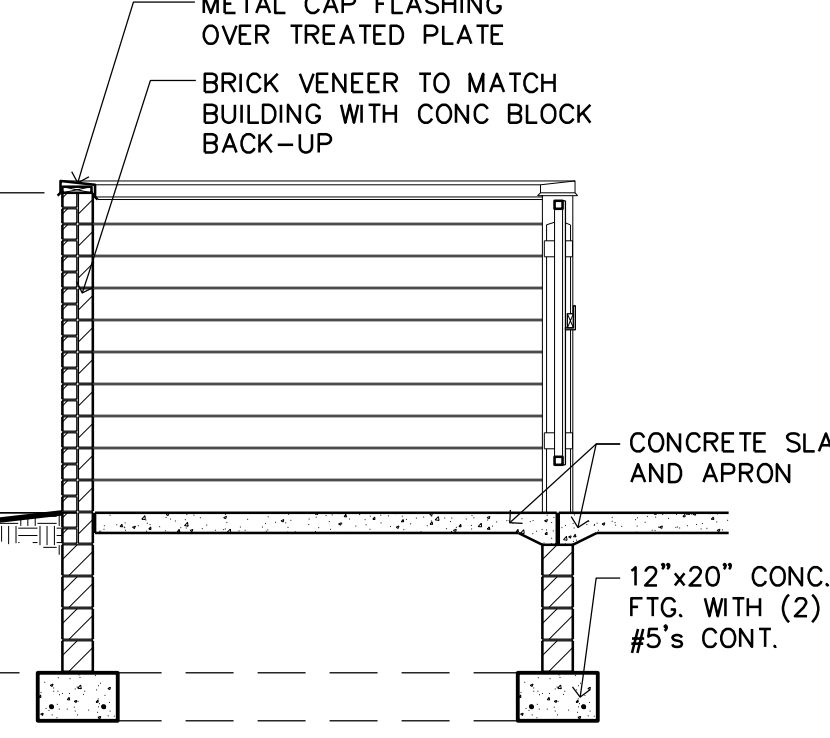
3 ACCESSIBLE PARKING SIGN  
A1 1" = 1'-0"



4 B6-12 CONCRETE CURB  
A1 SCALE: 1/2" = 1'-0"

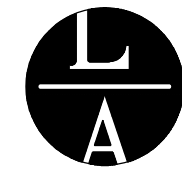


ELEVATION 'A'



5 TRASH ENCLOSURE  
A1 SCALE: 1/4" = 1'-0"

Filename:



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FIRST CARE CLINICS**  
2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

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Project Designer: L. SCHMIDT

Drawn By: LLS

Checked By: LL

Revisions

4/8/20 CITY SUBMITTAL

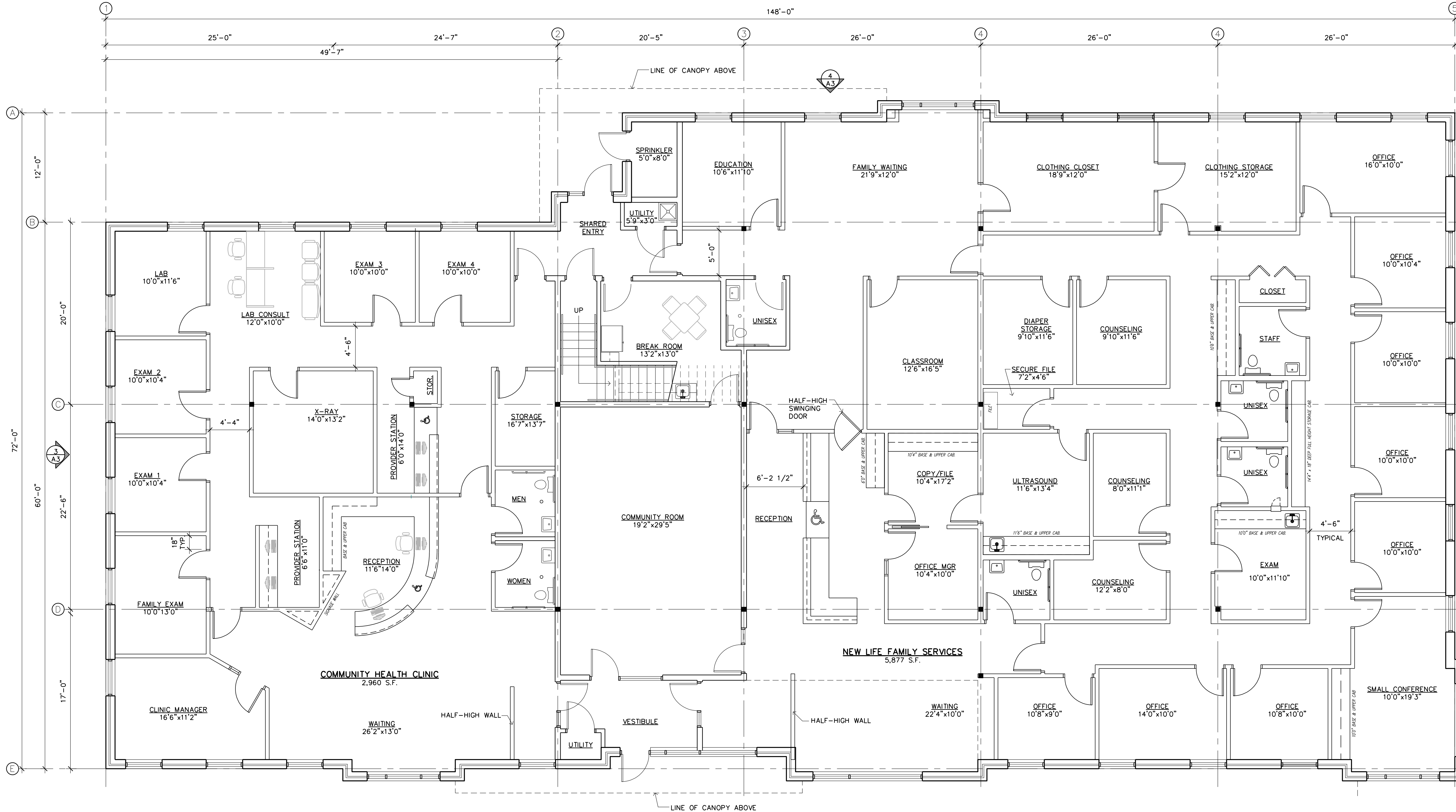
4/24/20 REVISION

FLOOR PLAN

Sheet Number

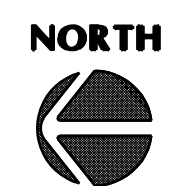
**A2.1**

Project No. 190703-3



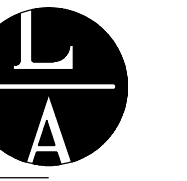
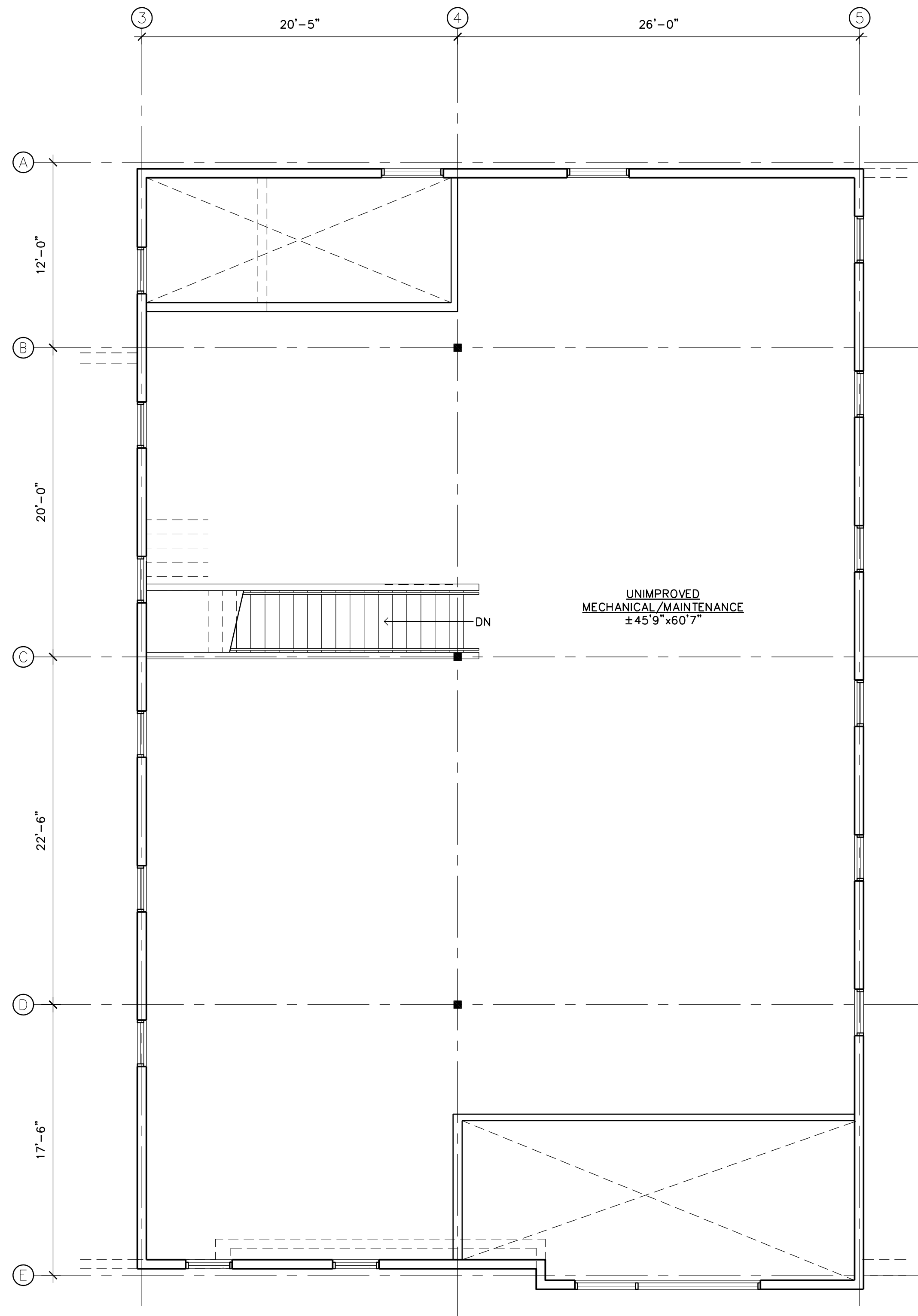
Filename:

1 FLOOR PLAN  
A2.1 SCALE: 3/16" = 1'-0"



Filename:

1 FLOOR PLAN  
A2.1 SCALE: 3/16" = 1'-0"



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13669  
04/08/20

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FIRST CARE CLINICS  
2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

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Project Designer: L. SCHMIDT

Drawn By: LLS

Checked By: LL

Revisions

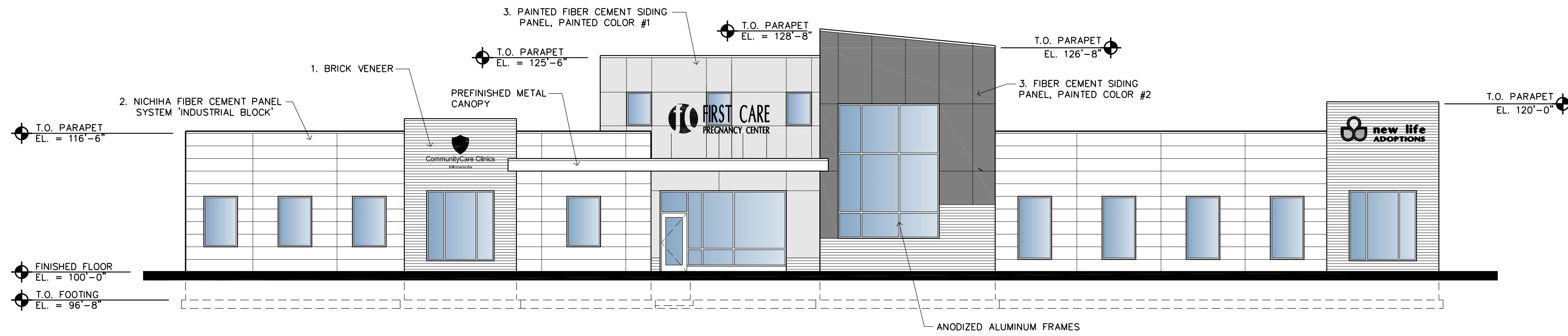
4/8/20	CITY SUBMITTAL
4/24/20	REVISION

SECOND  
FLOOR PLAN

Sheet Number

A2.2

Project No. 190703-3



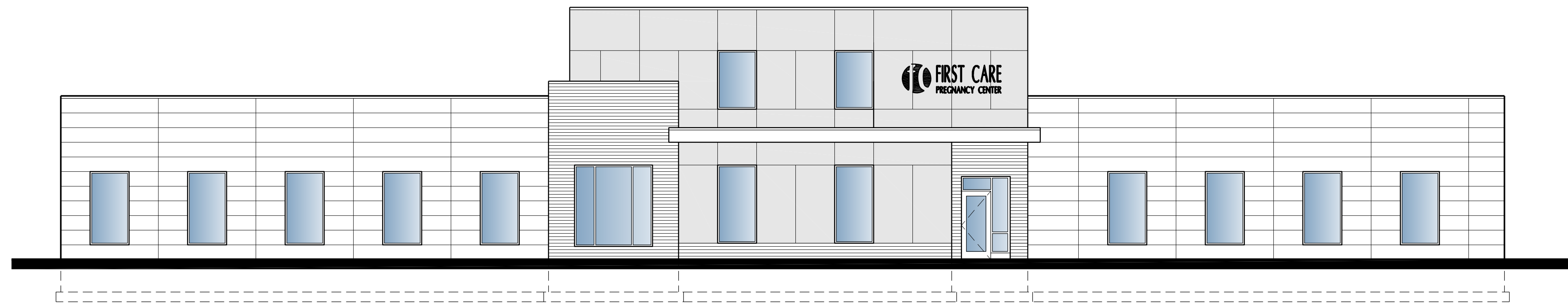
1 WEST ELEVATION  
A3 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
A3 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
A3 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
A3 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS					
	DESCRIPTION	MAX	S.F.	%	CHECK
WEST 2,989 S.F.	GLASS	100%	711	24%	24% < 100%
	1st FLR - 1,490 S.F.	30% MIN	566	40%	40% > 30%
	2nd FLR - 470 S.F.	10% MIN	107	23%	23% > 10%
	BRICK	100%	482	16%	16% < 100%
	FIBER CEMENT (>= 5/8")	75%	1,124	38%	38% < 75%
	FIBER CEMENT (< 5/8")	30%	640	21%	21% < 30%
	MISC.	N/A	57	2%	N/A
SOUTH 1,891 S.F.	GLASS	100%	322	17%	17% < 100%
	1st FLR - 733 S.F.	30% MIN	247	34%	36% > 30%
	2nd FLR - 733 S.F.	10% MIN	75	10%	10% > 10%
	BRICK	100%	200	11%	11% < 100%
	FIBER CEMENT (>= 5/8")	75%	810	43%	43% < 75%
	FIBER CEMENT (< 5/8")	30%	559	29%	29% < 30%
	MISC.	N/A	-	-	N/A
NORTH 1,906 S.F.	GLASS	100%	192	10%	10% < 100%
	BRICK	100%	100	5%	5% < 100%
	FIBER CEMENT (>= 5/8")	75%	860	45%	45% < 75%
	FIBER CEMENT (< 5/8")	30%	684	36%	36% > 30%
	MISC.	N/A	70	4%	N/A
EAST 2,870 S.F.	GLASS	100%	491	17%	17% < 100%
	1st FLR - 1,490 S.F.	30% MIN	443	30%	30% > 30%
	2nd FLR - 470 S.F.	10% MIN	48	10%	10% > 10%
	BRICK	100%	267	9%	9% < 100%
	FIBER CEMENT (>= 5/8")	75%	1,353	47%	47% < 75%
	FIBER CEMENT (< 5/8")	30%	702	25%	25% < 30%
	MISC.	N/A	57	2%	N/A

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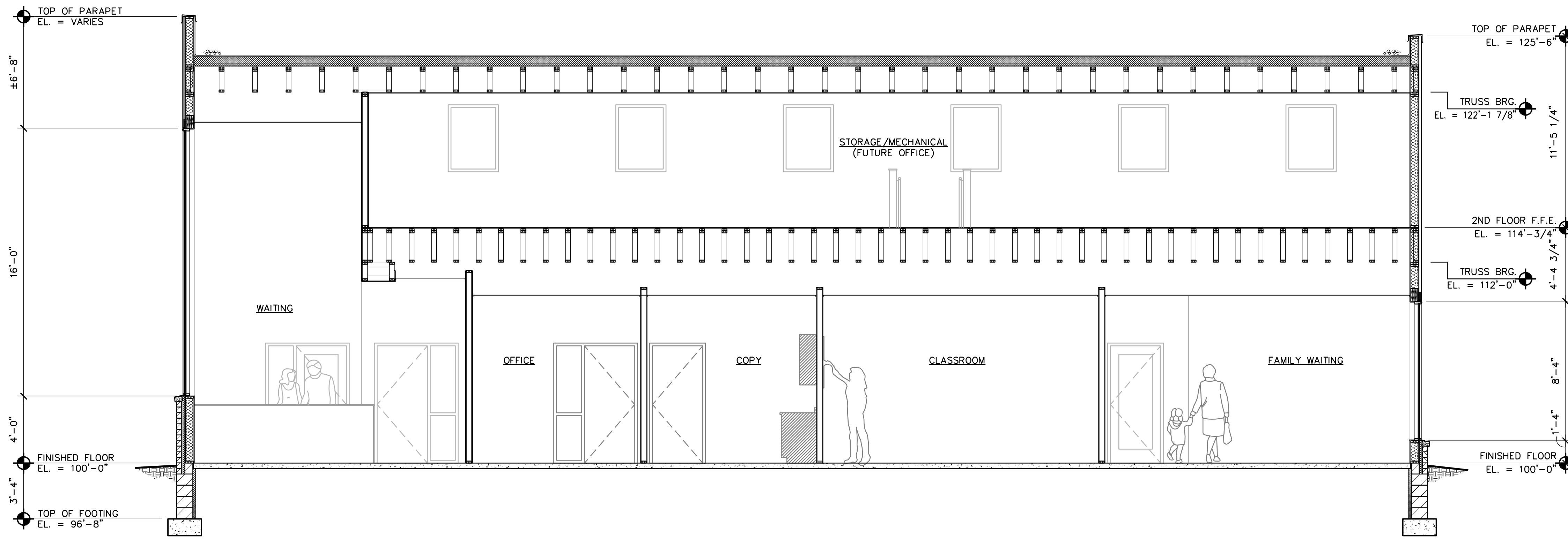
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FIRST CARE CLINICS**  
2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

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Project Designer: L. SCHMIDT  
Drawn By: LLS  
Checked By: LL

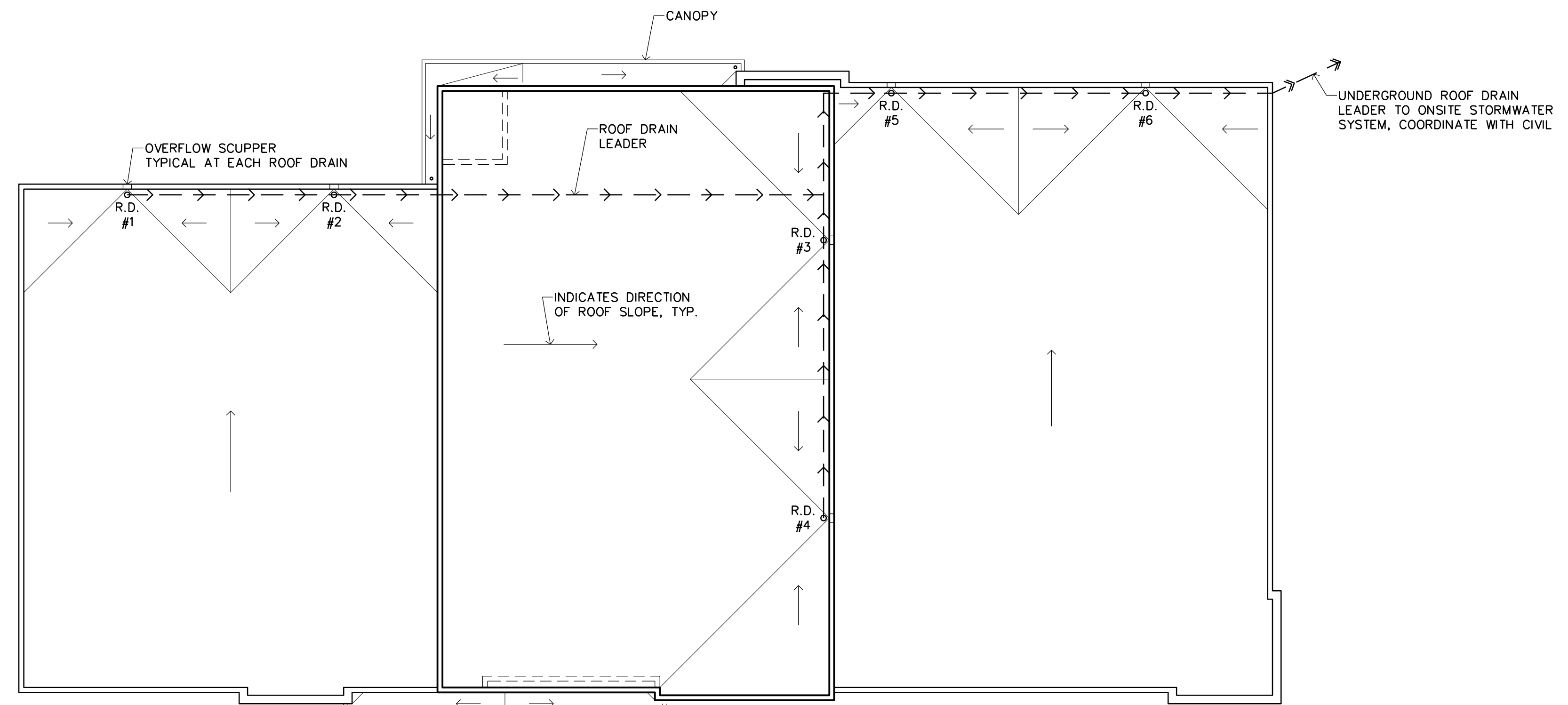
Revisions

4/8/20	CITY SUBMITTAL
4/24/20	REVISED
7/31/20	CITY COMMENTS
8/10/20	CITY COMMENTS

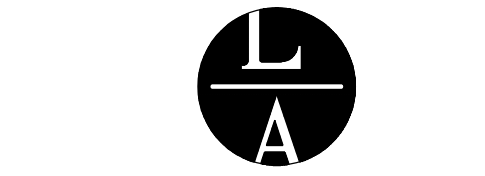
Filename:



1 BUILDING SECTION  
A4 SCALE: 1/4" = 1'-0"



2 ROOF PLAN  
A4 SCALE: 3/32" = 1'-0"



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FIRST CARE CLINICS  
2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

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Project Designer: L. SCHMIDT

Drawn By: LLS

Checked By: LL

Revisions

7/9/20 FOR REVIEW

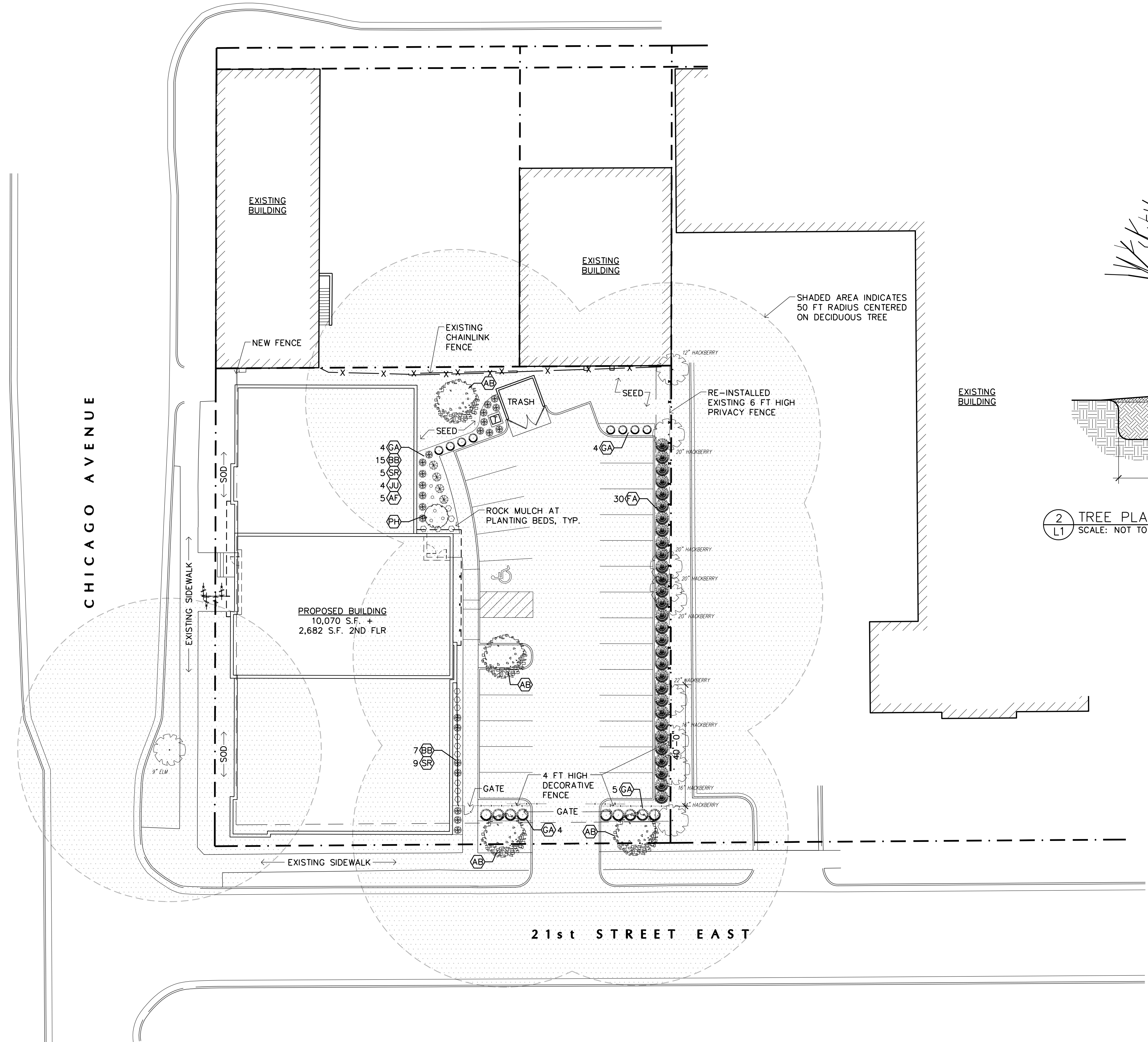
BUILDING SECTION  
ROOF PLAN

Sheet Number

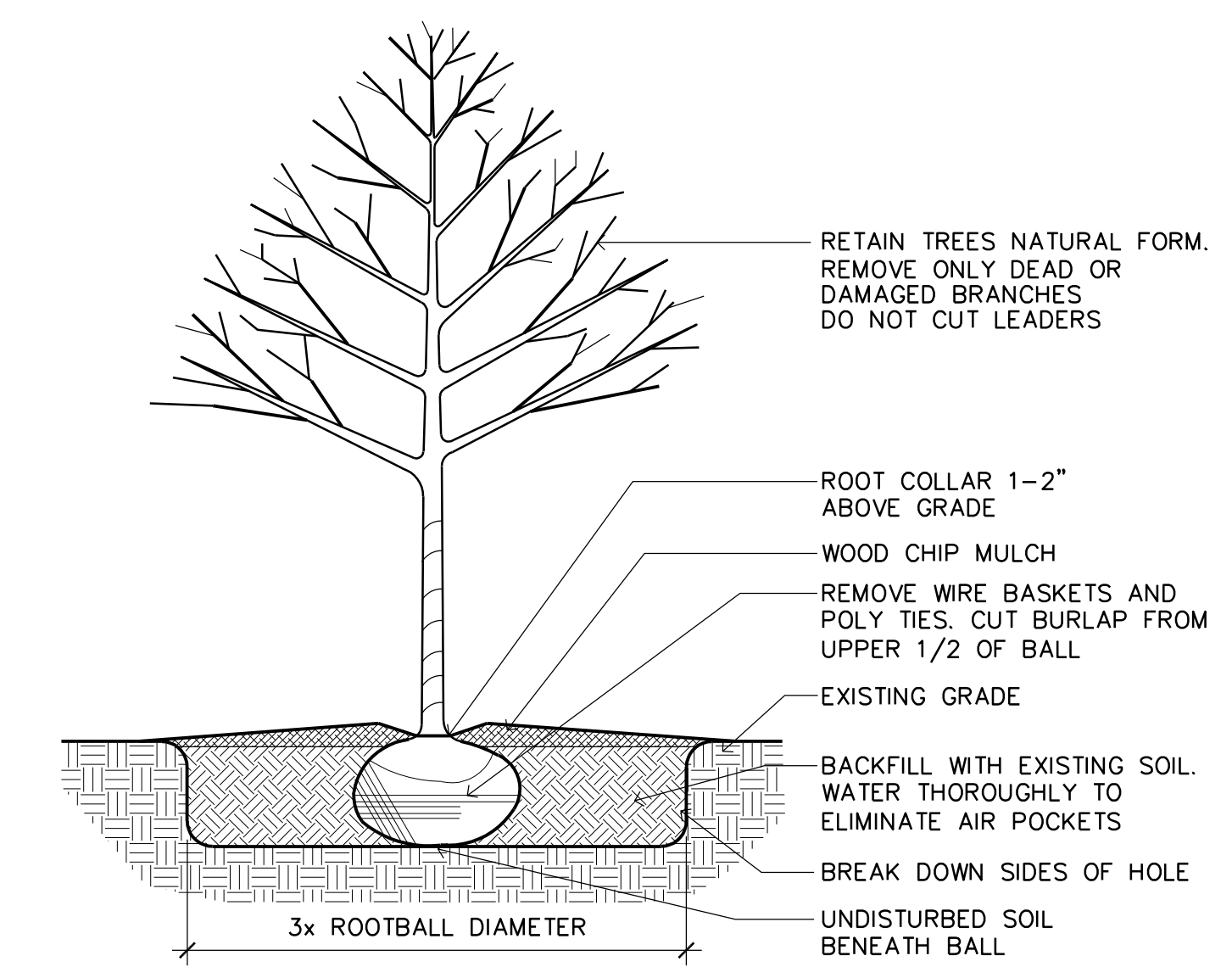
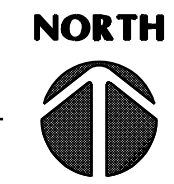
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Project No. 190703-3

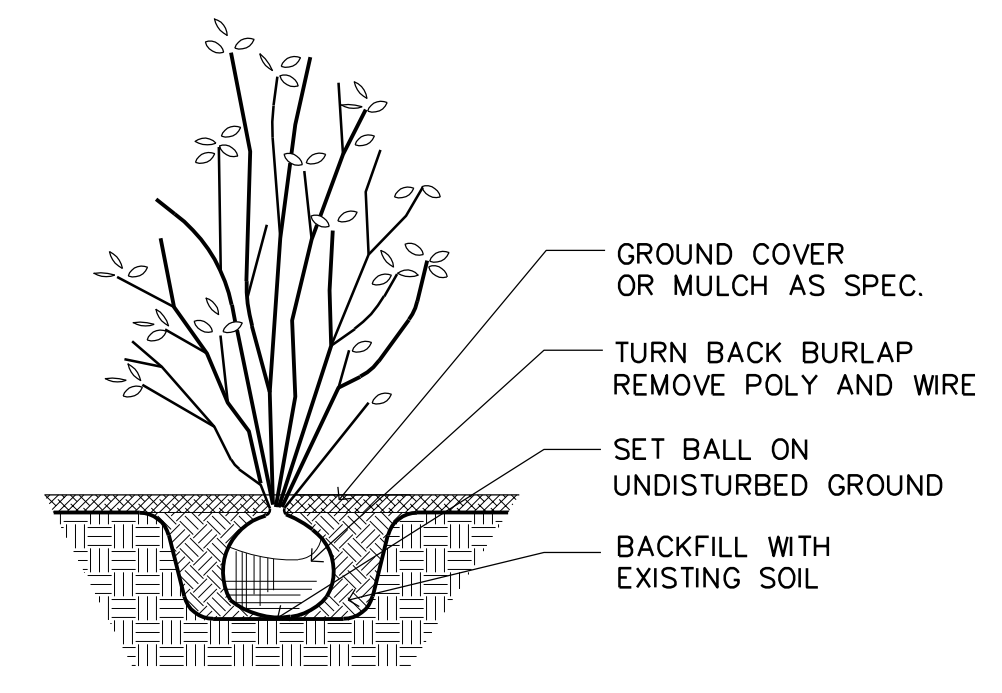
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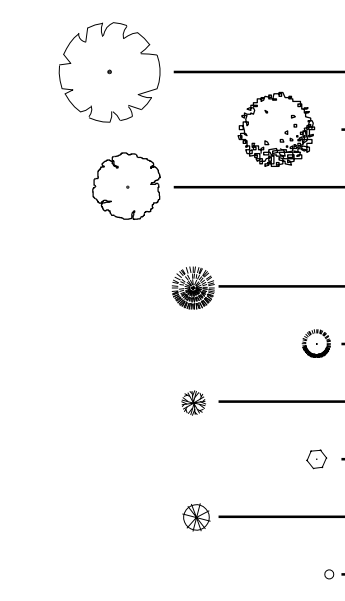
1 LANDSCAPE PLAN  
L1 SCALE: 1" = 20'-0"



2 TREE PLANTING DETAIL  
L1 SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL  
L1 SCALE: NOT TO SCALE



PLANTING SCHEDULE						
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
<b>TREES</b>						
3	-	EXISTING	VARIES	VARIES	-	-
4	AB	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2.5"	BB	-
1	PH	PEEGEE HYDRANGEA	HYDRENGEA PANICULATA 'GRANDIFLORA'	1"	BB	TREE FORM
<b>SHRUBS &amp; PERENIALS</b>						
30	FA	ARBORVITAE	THUJA OCCIDENTALIS 'FLIPS MAGIC MOMENT'	#1	CONT.	4 FT O.C.
17	GA	GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	#1	CONT.	4 FT O.C.
22	BB	BARBERRY	BERBERIS THUNBERGII 'GOLDEN'	#1	CONT.	-
14	SR	SHRUB ROSE	ROSA RADRAZZ	#1	CONT.	-
4	JU	JUNIPER	JUNIPERUS CHINENSIS 'BLUE RUG'	#1	CONT.	-
5	AF	AUTUMN FIRE SEDUM	SEDUM 'AUTUMN FIRE'	#1	CONT.	-

**LANDSCAPE NOTES:**

- SEED/SOD AREAS AS SHOWN ON THE PLAN.
- SEE PLAN FOR PLANTINGS LOCATED IN WOOD MULCH BED. WOOD MULCH BEDS SEPARATED FROM SOD BY BLACK VINYL EDGER. TREES ARE TO HAVE WOOD MULCH RING TO PREVENT WEED GROWTH AND CONSERVE WATER.
- UNDERGROUND IRRIGATION SYSTEM TO BE PROVIDED FOR ALL FOUNDATION PLANTINGS AND TURF AREAS. PROVIDE MOISTURE SENSOR. IRRIGATION DESIGN BY CONTRACTOR.
- LANDSCAPE CALCULATIONS:  
 A. 13,546 S.F. x 20% = 2,709 S.F.  
 B. CANOPY TREES:  
 2,709 S.F. @ 1/500 = 5 TREES REQ'D  
 8 TREES PROVIDED ≥ 5 TREES REQ'D  
 C. SHRUBS:  
 2,709 S.F. @ 1/100 = 27 SHRUBS REQ'D  
 88 SHRUBS PROVIDED ≥ 27 SHRUBS REQ'D  
 D. TREES AT PARKING FRONTAGE  
 36 FT @ 1/25 = 2 TREES  
 2 TREES ≥ 2 TREES

PRELIMINARY  
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COMMUNITY CARE  
FIRST CARE CLINICS  
2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

Drawn By: LLS  
Checked By: LL

Revisions

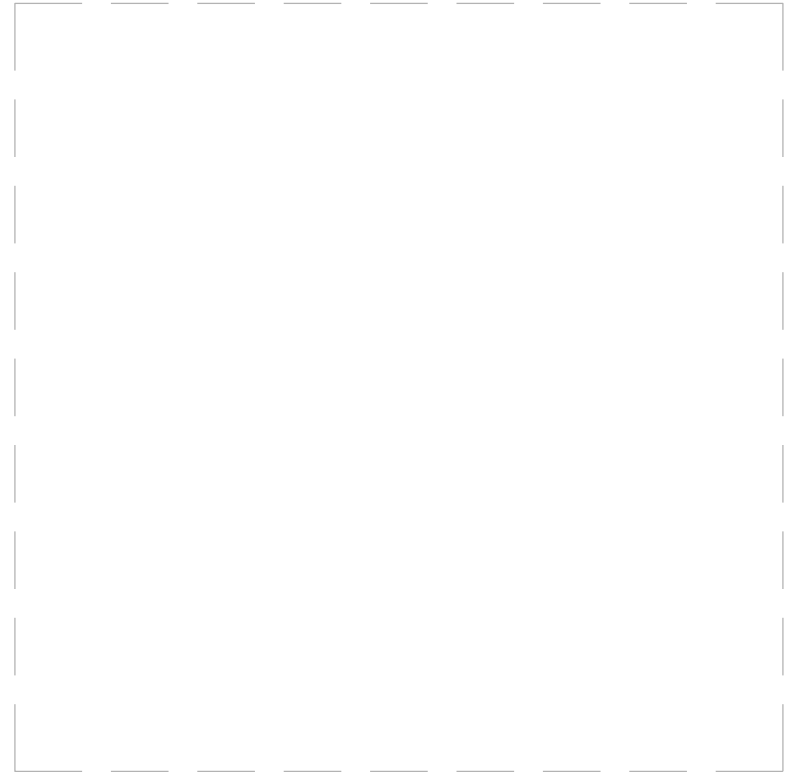
4/8/20	CITY SUBMITTAL
4/24/20	REVISED
7/31/20	CITY COMMENTS
8/10/20	CITY COMMENTS
8/11/20	CITY COMMENTS

LANDSCAPE PLAN

Sheet Number

L1

Project No. 190703-3



CHICAGO AVENUE

# COMMUNITY CARE & FIRST CARE CLINICS

2011 & 2019 Chicago Avenue - Minneapolis, Minnesota

NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS NEED TO BE FIELD VERIFIED.



17576 HEMLOCK AVENUE  
LAKEVILLE, MN 55044  
763.639.7766

SteveS@lmasigns.com  
lmasigns.com

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FIRST CARE PREGNANCY CENTER  
COMMUNITY CARE CLINIC  
2011 & 2019 CHICAGO AVE  
MINNEAPOLIS, MN

PROJECT TYPE:

MAIN ID  
SIGN MATRIX

CUSTOMER APPROVAL:

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT CONTACT: STEVE SPRY

REVISION 1: 08.06.2020 MW

REVISION 2:

REVISION 3:

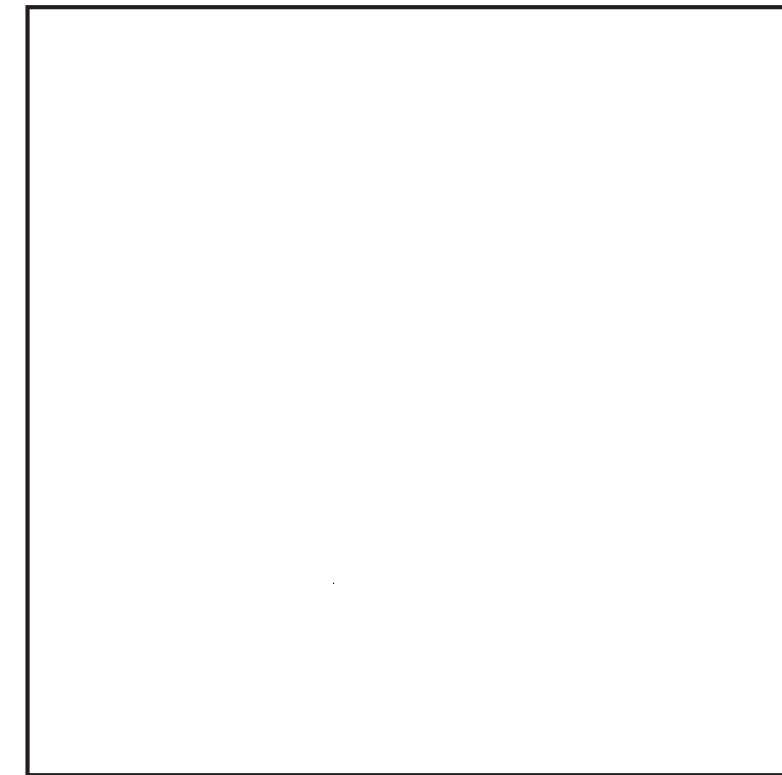
REVISION 4:

SALES: SS

DESIGN: MW

DATE: 07.22.2020

DWG: FIRST CARE



**Sign Plan Matrix**

Project: Community Health / First Care Clinics  
2011 & 2019 Chicago Ave., Minneapolis, MN 55404

Number	Existing/ Proposed	Type	Square Footage	Height	Dimensions	Illumination	Materials	Location	Message
1	Proposed	Wall Mount	30.5	16'-10"	3'-0" x 10'-2"	NA	Aluminum	East Elevation	First Care Pregnancy Center
2	Proposed	Wall Mount	30.5	19'-0"	3'-0" x 10'-2"	NA	Aluminum	South Elevation Second Story	First Care Pregnancy Center
3	Proposed	Wall Mount	30.5	15'-8"	3'-0" x 10'-2"	NA	Aluminum	South Elevation	New Life Adoptions
4	Proposed	Wall Mount	30.5	15'-8"	3'-0" x 10'-2"	NA	Aluminum	West Elevation	New Life Adoptions
5	Proposed	Wall Mount	42.0	20'-0"	3'-6" x 12'-0"	LED Backlit Channel	Aluminum	West Elevation	First Care Pregnancy Center
6	Proposed	Wall Mount	32.7	12'-4"	4'-0" x 8'-2"	NA	Aluminum	West Elevation	Community Care Clinics

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FIRST CARE PREGNANCY CENTER  
COMMUNITY CARE CLINIC  
2011 & 2019 CHICAGO AVE  
MINNEAPOLIS, MN

PROJECT TYPE:

MAIN ID  
SITE PLAN

CUSTOMER APPROVAL:

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT CONTACT: STEVE SPRY

REVISION 1: 08.06.2020 MW

REVISION 2:

REVISION 3:

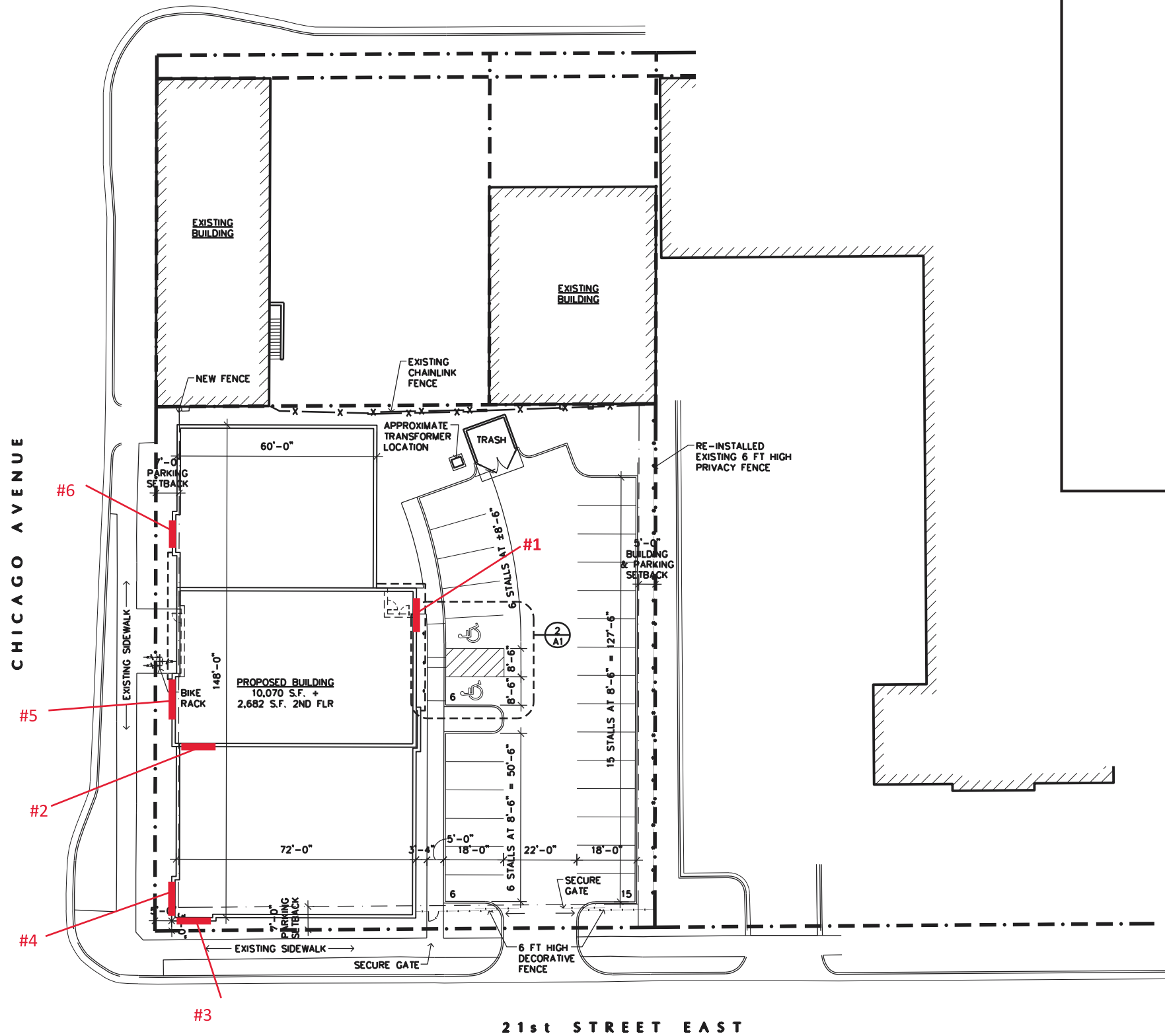
REVISION 4:

SALES: SS

DESIGN: MW

DATE: 07.22.2020

DWG: FIRST CARE



5 SITE PLAN  
1 NTS

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COMMUNITY CARE CLINIC  
2011 & 2019 CHICAGO AVE  
MINNEAPOLIS, MN

PROJECT TYPE:

MAIN ID  
CHANNEL LETTERS

CUSTOMER APPROVAL:

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT CONTACT: STEVE SPRY

REVISION 1: 08.06.2020 MW

REVISION 2:

REVISION 3:

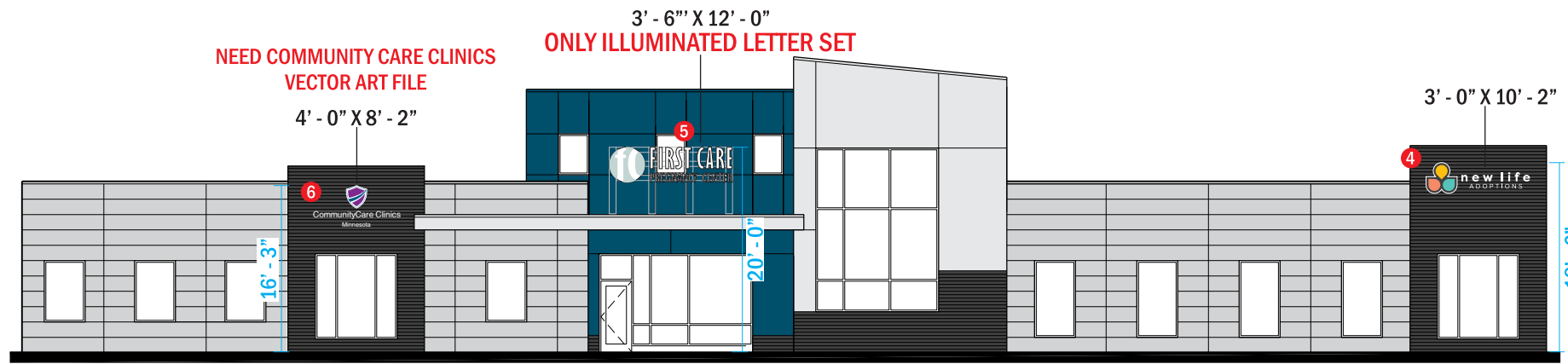
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SALES: SS

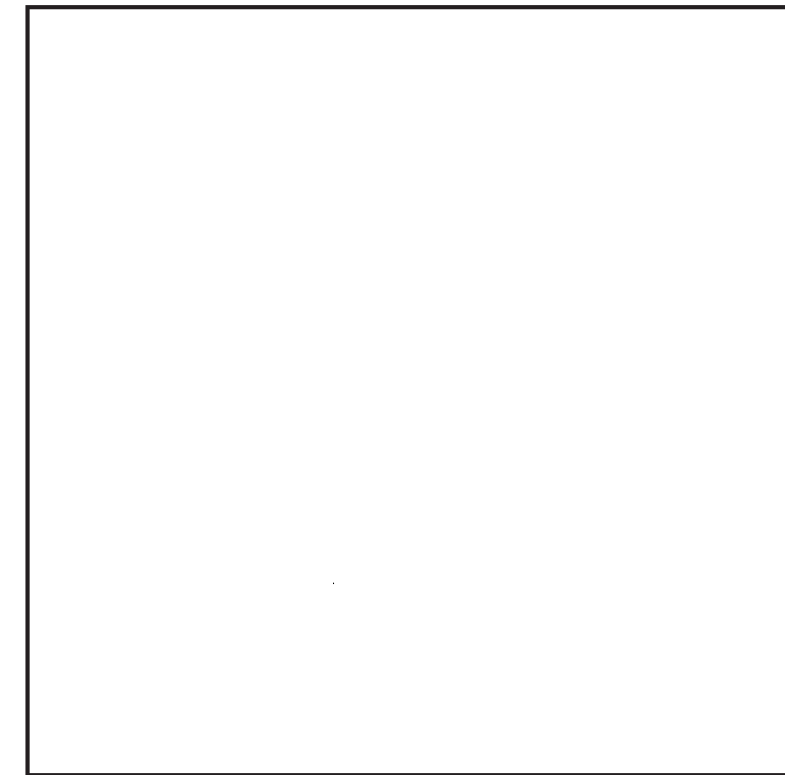
DESIGN: MW

DATE: 07.22.2020

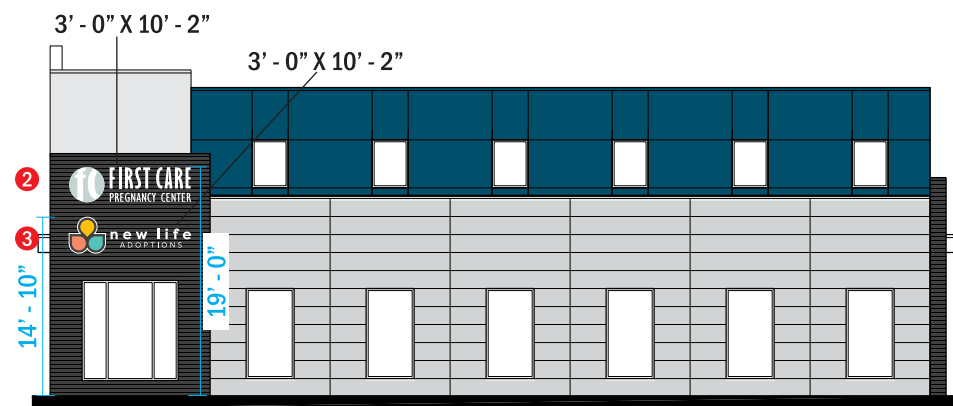
DWG: FIRST CARE



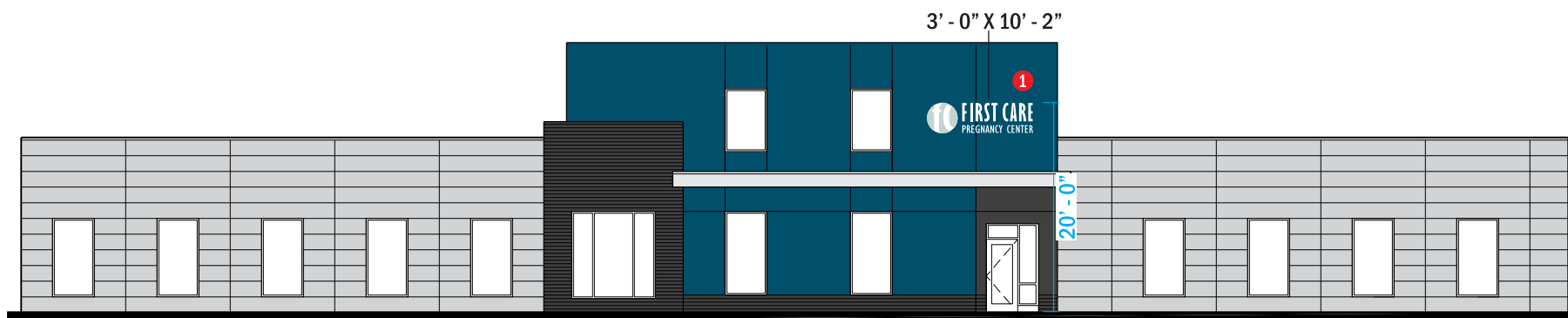
WEST ELEVATION



PANTONE COLORS TO BE VERIFIED  
PRIOR TO PRODUCTION



SOUTH ELEVATION

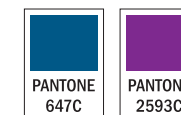


EAST ELEVATION

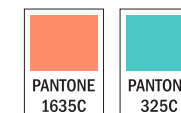
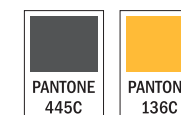
FIRST CARE COLORS



CC CLINICS COLORS



NEW LIFE COLORS



1 CHANNEL LETTERS AND FLAT CUT OUT LETTERS.

1 SCALE: 1/16" = 1' - 0"

17576 HEMLOCK AVENUE  
LAKEVILLE, MN 55044  
763.639.7766

SteveS@lmasigns.com  
lmasigns.com

**APPROVAL OF THIS DRAWING**  
HEREBY GIVES PERMISSION TO LANDMARK ARCHITECTURAL SIGNS TO BEGIN PRODUCTION OF THE SIGN(S) WITHIN THIS DOCUMENT. THE RECIPIENT AGREES THAT ALL THE COLORS, SPECIFICATIONS AND ELEVATIONS LISTED IN THIS DRAWING ARE CORRECT AND APPROVED. CHANGES MADE TO THIS DRAWING AFTER PRODUCTION HAS BEGUN WILL RESULT IN ADDITIONAL CHARGES.

FIRST CARE PREGNANCY CENTER  
COMMUNITY CARE CLINIC  
2011 & 2019 CHICAGO AVE  
MINNEAPOLIS, MN

PROJECT TYPE:

MAIN ID  
CHANNEL LETTERS

CUSTOMER APPROVAL:

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT CONTACT: STEVE SPRY

REVISION 1: 08.06.2020 MW

REVISION 2:

REVISION 3:

REVISION 4:

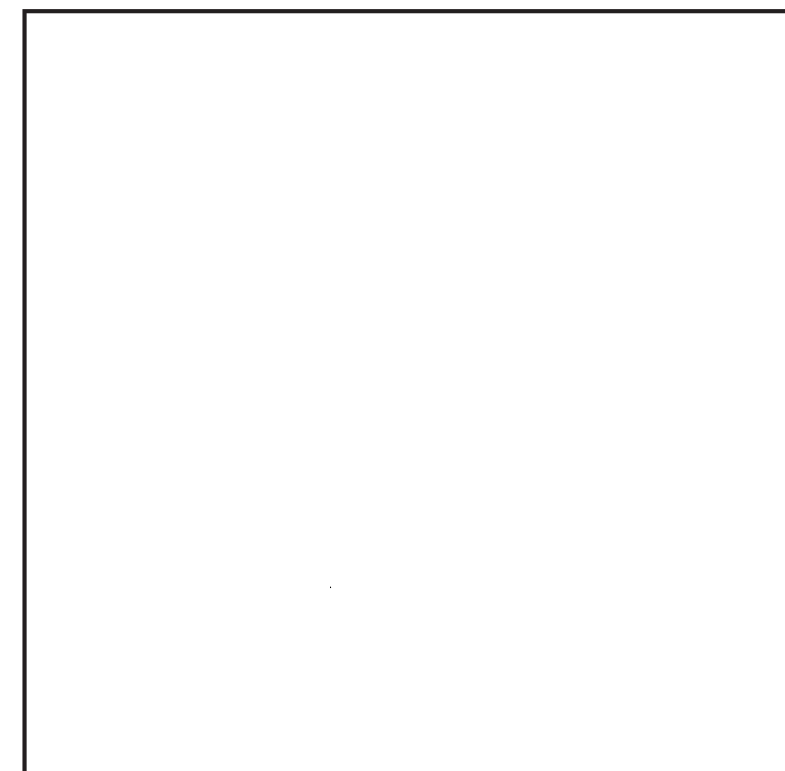
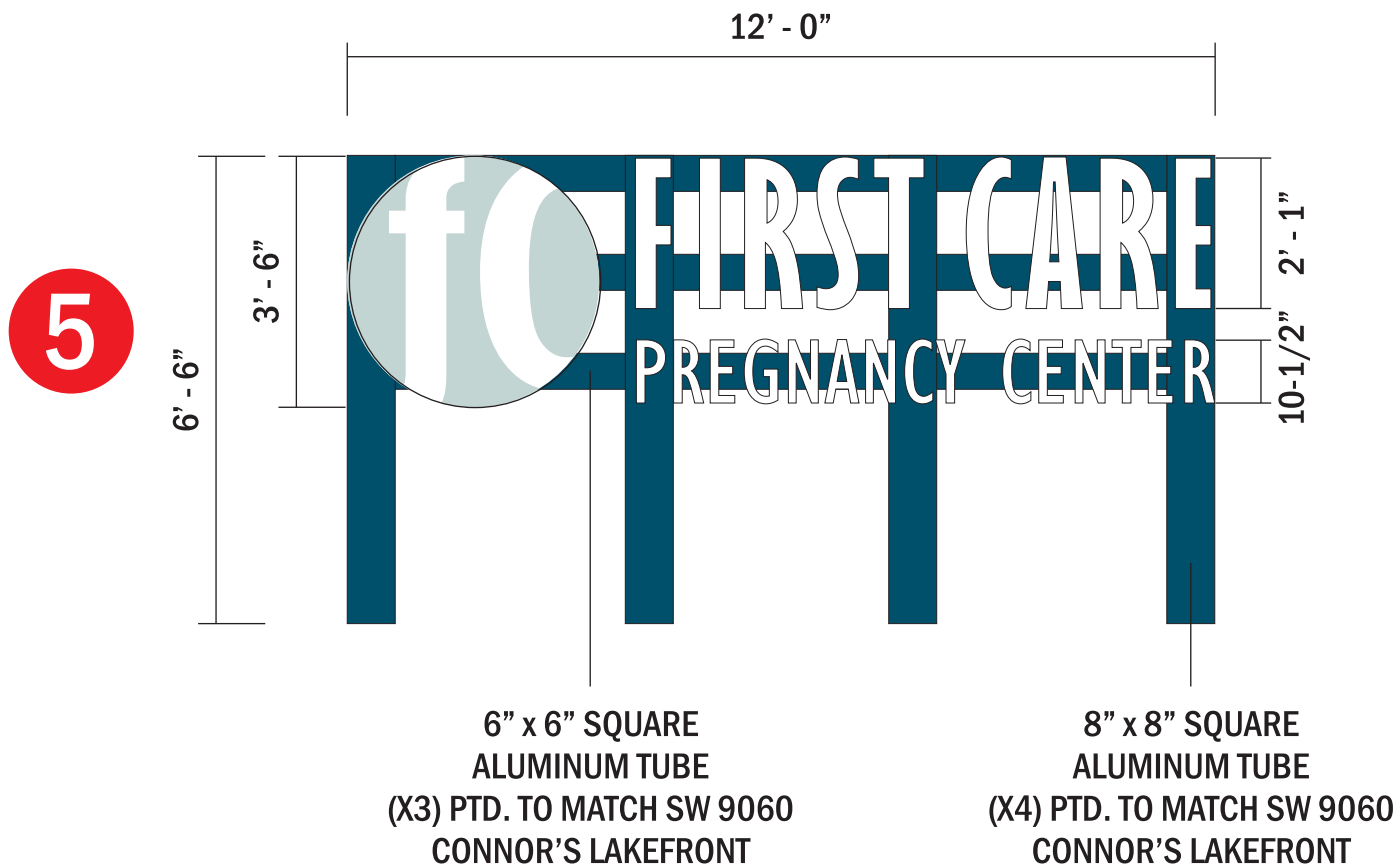
SALES: SS

DESIGN: MW

DATE: 07.22.2020

DWG: FIRST CARE

SURVEY REQUIRED TO DETERMINE FINAL MOUNTING STRUCTURE DETAILS



PANTONE COLORS TO BE VERIFIED PRIOR TO PRODUCTION



FIRST CARE COLORS



- 2 CHANNEL LETTERS AND FLAT CUT OUT LETTERS.
- 1 SCALE: 3/8" = 1' - 0"

17576 HEMLOCK AVENUE  
LAKEVILLE, MN 55044  
763.639.7766

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RESULT IN ADDITIONAL CHARGES.

FIRST CARE PREGNANCY CENTER  
COMMUNITY CARE CLINIC  
2011 & 2019 CHICAGO AVE  
MINNEAPOLIS, MN

PROJECT TYPE:

MAIN ID  
CHANNEL LETTERS

CUSTOMER APPROVAL:

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT CONTACT: STEVE SPRY

REVISION 1: 08.06.2020 MW

REVISION 2:

REVISION 3:

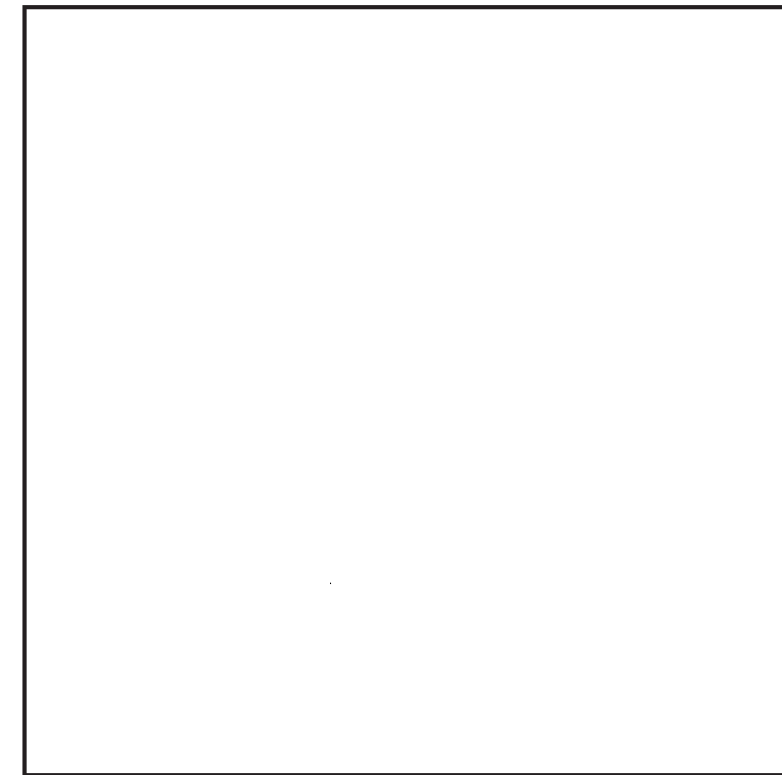
REVISION 4:

SALES: SS

DESIGN: MW

DATE: 07.22.2020

DWG: FIRST CARE



PANTONE COLORS TO BE VERIFIED  
PRIOR TO PRODUCTION

NEW LIFE COLORS



3



WEST ELEVATION  
FLAT CUT OUT  
DIMENSIONAL  
LETTERS

4



SOUTH ELEVATION  
FLAT CUT OUT  
DIMENSIONAL  
LETTERS

3  
1 FLAT CUT OUT LETTERS.  
SCALE: 3/8" = 1' - 0"

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COMMUNITY CARE CLINIC  
2011 & 2019 CHICAGO AVE  
MINNEAPOLIS, MN

PROJECT TYPE:

MAIN ID  
CHANNEL LETTERS

CUSTOMER APPROVAL:

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT CONTACT: STEVE SPRY

REVISION 1: 08.06.2020 MW

REVISION 2:

REVISION 3:

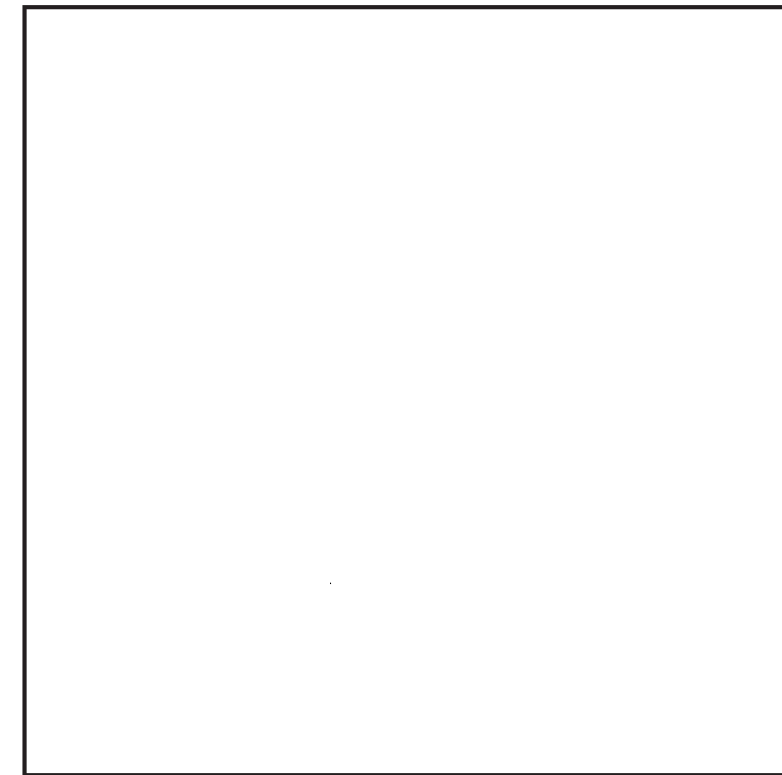
REVISION 4:

SALES: SS

DESIGN: MW

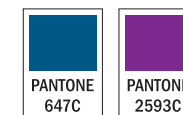
DATE: 07.22.2020

DWG: FIRST CARE



**PANTONE COLORS TO BE VERIFIED  
PRIOR TO PRODUCTION**

CC CLINICS COLORS



8' - 2"



26"

WEST ELEVATION  
FLAT CUT OUT  
DIMENSIONAL  
LETTERS

4' - 0"

7" CommunityCare Clinics 5-3/8"

5" Minnesota 4"

**NOTE:  
ARTWORK RECREATED  
FROM RASTER IMAGE.  
OFFICIAL VECTOR GRAPHICS  
FILE REQUIRED PRIOR TO  
FABRICATION.**

4 FLAT CUT OUT LETTERS.  
1 SCALE: 3/4" = 1' - 0"

# CERTIFICATE OF SURVEY

~for~ NEW LIFE FAMILY SERVICES  
 ~of~ 2011 AND 2019 CHICAGO AVENUE  
 MINNEAPOLIS, MN 55404

## VICINITY MAP

PART OF SEC. 35, TWP. 29, RNG. 24



HENNEPIN COUNTY, MINNESOTA  
 (NO SCALE)

## PROPERTY DESCRIPTION

[PER HENNEPIN COUNTY WARRANTY DEED DOC. NOS. 6477475 AND 7245574.]

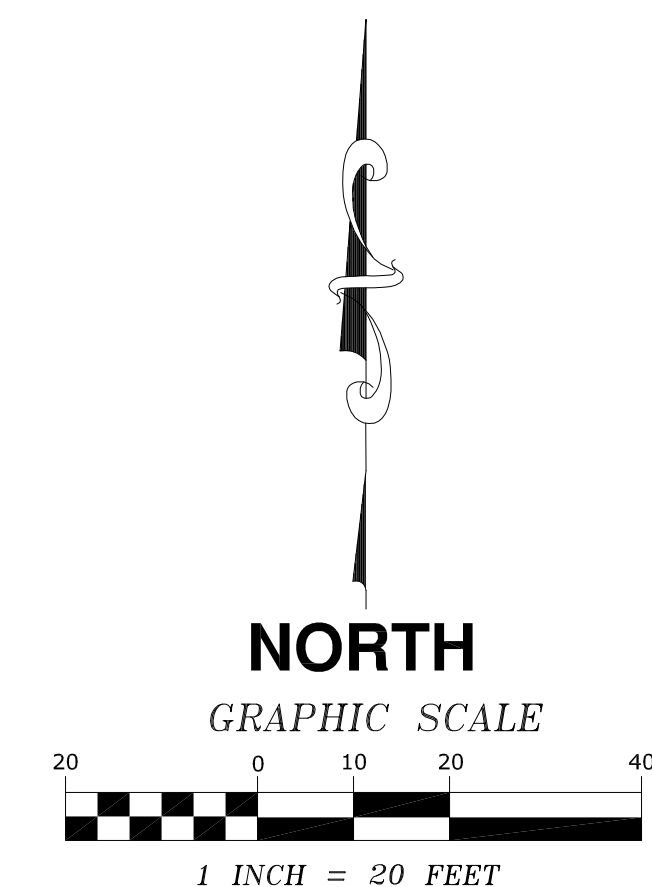
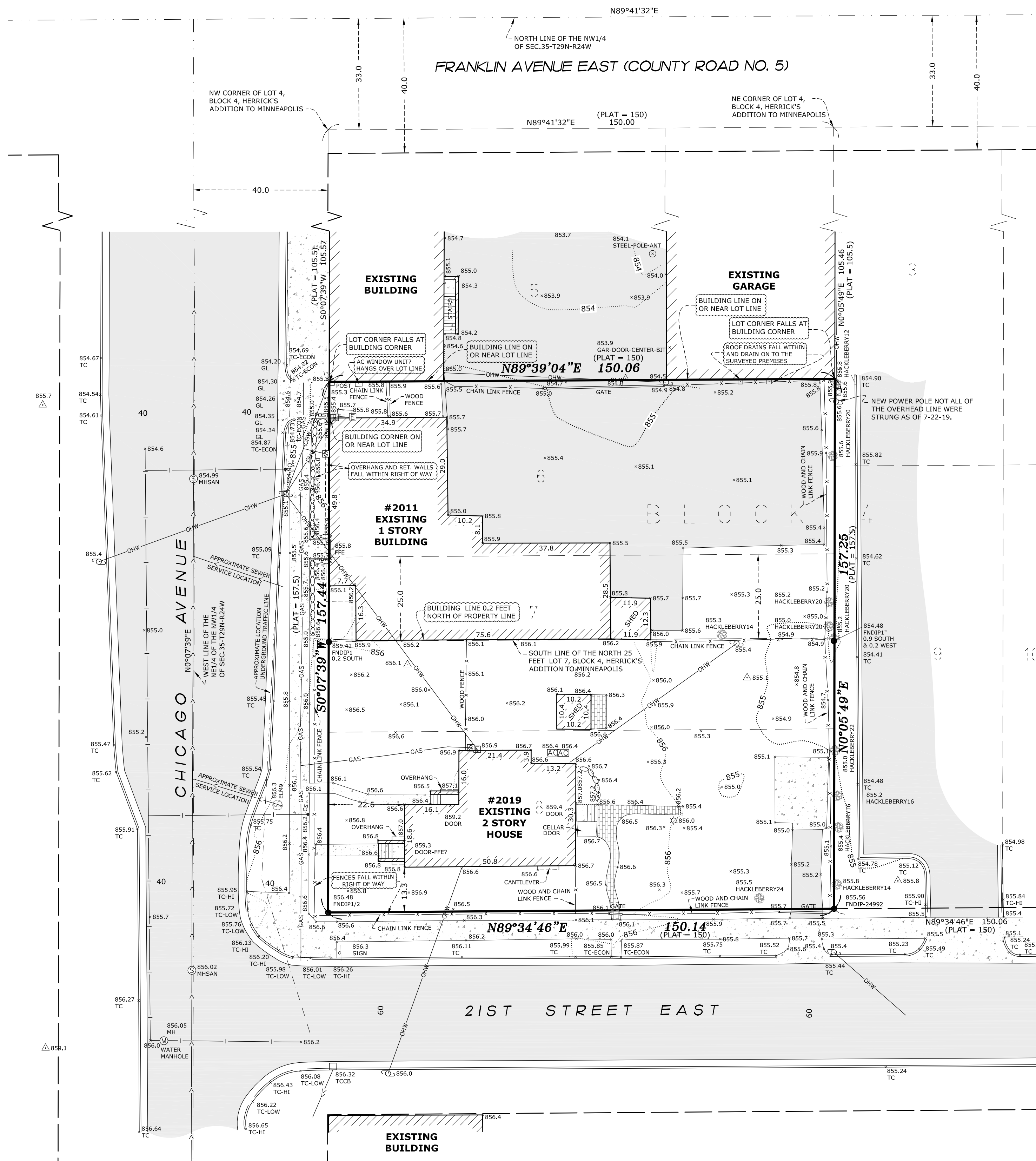
Lot 6 and the North 25 feet of Lot 7, Block 4, HERRICK'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof and situate in Hennepin County, Minnesota.

AND

Lot 8 and all of Lot 7, except the north 25 feet thereof, Block 4, HERRICK'S ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 07/22/19.
- Bearings shown are on an Hennepin County Coordinate System.
- Address of the surveyed premises: PARCEL ID NUMBER  
 2011 Chicago Avenue, Minneapolis, MN 55404 35-029-24-21-0204  
 2019 Chicago Avenue, Minneapolis, MN 55404 35-029-24-21-0087
- Boundary area of the surveyed premises: 23,616± sq. ft. (0.54 acres)
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Location of utilities existing on or serving the surveyed property determined by:
  - Observed evidence collected pursuant to Section 5.E.iv.
  - Markings requested by E.G. Rud & Sons, Inc. per Gopher State One Call Ticket Nos. 191910155 and 191910156.
  - Record drawings provided by the City of Minneapolis's engineering department.
  - Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.



## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES AIR CONDITIONING UNIT
- DENOTES CATCH BASIN
- DENOTES CABLE PEDESTAL
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GAS METER
- DENOTES LIGHT POLE
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES OVERHEAD WIRE
- DENOTES UNDERGROUND GAS LINE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES PAVER SURFACE

## TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*James E. Napier*  
 JAMES E. NAPIER  
 Date: 7/29/19 License No. 25343

## BENCHMARK

MNDOT GSID STATION #108790  
 MNDOT NAME: 2724 D  
 ELEVATION: 844.559 (NAVD88)

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: JEN	JOB NO: 19551BT	DATE: 07/29/19
CHECK BY: JEN	FIELD CREW: JH - CB	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

**STANDARD MINNEAPOLIS NOTES**

- STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTORS SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT. PLEASE CONTACT DAVE PREHALL AT (612) 673-5759 FOR FURTHER INFORMATION. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE. NOTE: N/A - NO STREET LIGHTS ARE PROPOSED.
- AN OBSTRUCTION PERMIT IS REQUIRED ANY TIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT-OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612) 673-2383 REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO [HTTP://MINNAPOLIS.MN.ROWAY.NET](http://MINNAPOLIS.MN.ROWAY.NET) FOR A PERMIT.
- ANY METERED PARKING SPACES NEEDED TO FACILITATE PROJECT WORK MUST BE HOODED AT PROJECT EXPENSE FOR THE LENGTH OF DISRUPTION REQUIRED. IF SIDEWALK IS REMOVED AND PARKING LANE IS CLOSED, THE METER AND SPACE DELINEATORS MUST BE REMOVED AND REINSTALLED UPON PROJECT COMPLETION AT PROJECT EXPENSE. THIS CAN BE REQUESTED AT THE SAME TIME THAT THE "OBSTRUCTION PERMIT" IS OBTAINED VIA [WWW.MINNEAPOLIS.MN.ROWAY.NET](http://WWW.MINNEAPOLIS.MN.ROWAY.NET). CONTACT SCOTT KRAMER AT [SCOTT.KRAMER@MINNEAPOLIS.MN.GOV](mailto:SCOTT.KRAMER@MINNEAPOLIS.MN.GOV) IF YOU HAVE ANY QUESTIONS REGARDING OBSTRUCTION PERMITS OR METER REMOVAL. NOTE: N/A - NO PARKING METERS AT THIS LOCATION.
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- PAVEMENT MARKINGS THAT EXIST PRIOR TO THE START OF THE PROJECT MUST BE RE-PLACED IN KIND. IF IT IS LATEX OR EPOXY PAINT THEN IT MUST GO BACK IN WITH THAT TYPE OF PAINT UNLESS OTHERWISE DIRECTED BY CITY OF MINNEAPOLIS TRAFFIC DIVISION. ALL COSTS ASSOCIATED WITH PAVEMENT MARKING REPLACEMENT SHALL BE BORNE BY THE CONTRACTOR AND/OR PROPERTY OWNER.
- ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC FACILITIES INCLUDING TRAFFIC SIGNAL SYSTEMS, STREET LIGHTING, TRAFFIC SIGNS, PARKING METERS, AND PAVEMENT MARKINGS SHALL BE BORNE BY THE CONTRACTOR AND/OR PROPERTY OWNER.
- CONTACT DOUG MADAY AT (612) 673-5755 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS OR PAVEMENT MARKINGS THAT MAY BE IN THE WAY OF CONSTRUCTION.
- ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE REDEVELOPMENT.
- SNOW STORAGE IS NOT PERMITTED IN THE PUBLIC RIGHT-OF-WAY.
- CONTACT PAUL CAO AT (612) 673-2943 FOR POSITION AND ALIGNMENT OF BIKE RACKS PROPOSED IN THE PUBLIC RIGHT-OF-WAY. IF THE RACKS ARE PRIVATELY OWNED, THEY WILL REQUIRE AN ENCROACHMENT PERMIT.
- ALL DRIVEWAY APRONS SHALL BE DESIGNED AND CONSTRUCTED TO CITY STANDARDS. ADD THE APPROPRIATE DETAILS FROM THE ROAD-2000 SERIES: DRIVEWAYS (ROAD-2000-R1, ROAD-2001-R1, ROAD-2002, ROAD-2003-R1) TO THE PLANS.
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**GENERAL NOTES**

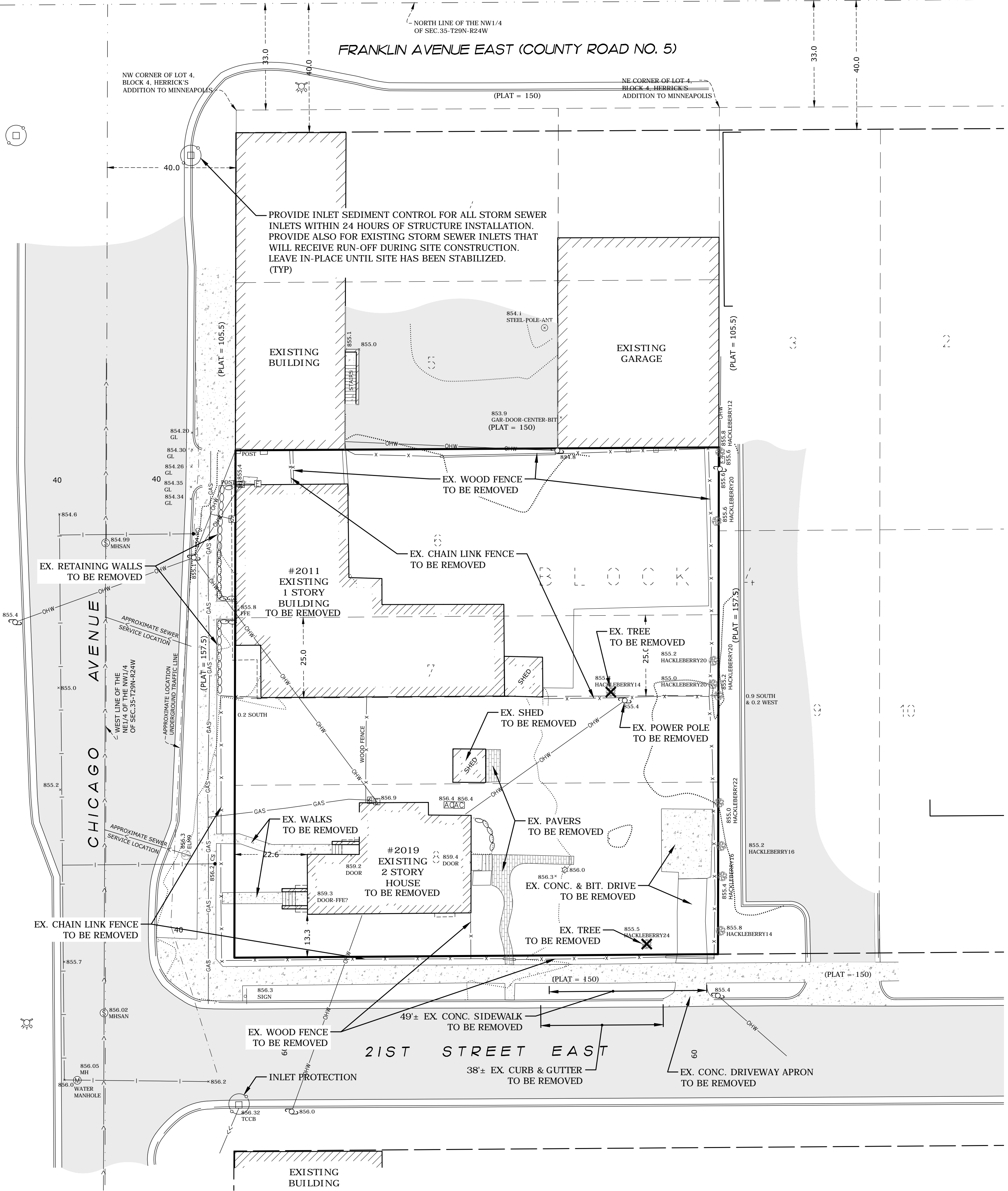
- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- CALL "811" AT LEAST 48 HOURS PRIOR TO ANY EXCAVATIONS FOR EXISTING UTILITIES LOCATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
- INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.

**EROSION & SEDIMENT CONTROL NOTES**

- CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLAN.
  - ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
  - CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
  - SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
- CONTRACTOR SHALL INSTALL A ROCK CONSTRUCTION ENTRANCE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC WILL ENTER ONTO EXISTING PAVED STREETS
- CONTRACTOR SHALL PERFORM REMOVALS AND SITE WORK ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
  - CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
- CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY REQUIREMENTS.
- CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING
- CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY

**LEGEND**

- DENOTES AIR CONDITIONING UNIT
- DENOTES CATCH BASIN
- DENOTES CABLE PEDESTAL
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GAS METER
- DENOTES LIGHT POLE
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES OVERHEAD WIRE
- DENOTES UNDERGROUND GAS LINE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CONTOURS
- DENOTES DRAINAGE DIRECTION



**811**  
Know what's below.  
Call before you dig.

**GRAPHIC SCALE**  
( IN FEET )  
1 INCH = 20 FT  
(22' x 34')

**NORTH**

**SITE PLANNING & ENGINEERING**  
**PLOWE ENGINEERING, INC.**  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

DRAWN BY: AG CHECK BY: CWP JOB NO.: 19-1859 DATE: 04-23-2020

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

**PRELIMINARY**  
CHARLES W. PLOWE License No. 18227  
Date: 04.24.2020

**COMMUNITY CARE / FIRST CARE CLINICS**  
**2011 & 2019 CHICAGO AVENUE**  
**CITY OF MINNEAPOLIS, MN**  
**REMOVALS PLAN**

PREPARED FOR: RONI TOUCHETTE

**SHEET**  
**C.001**



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**GENERAL NOTES**

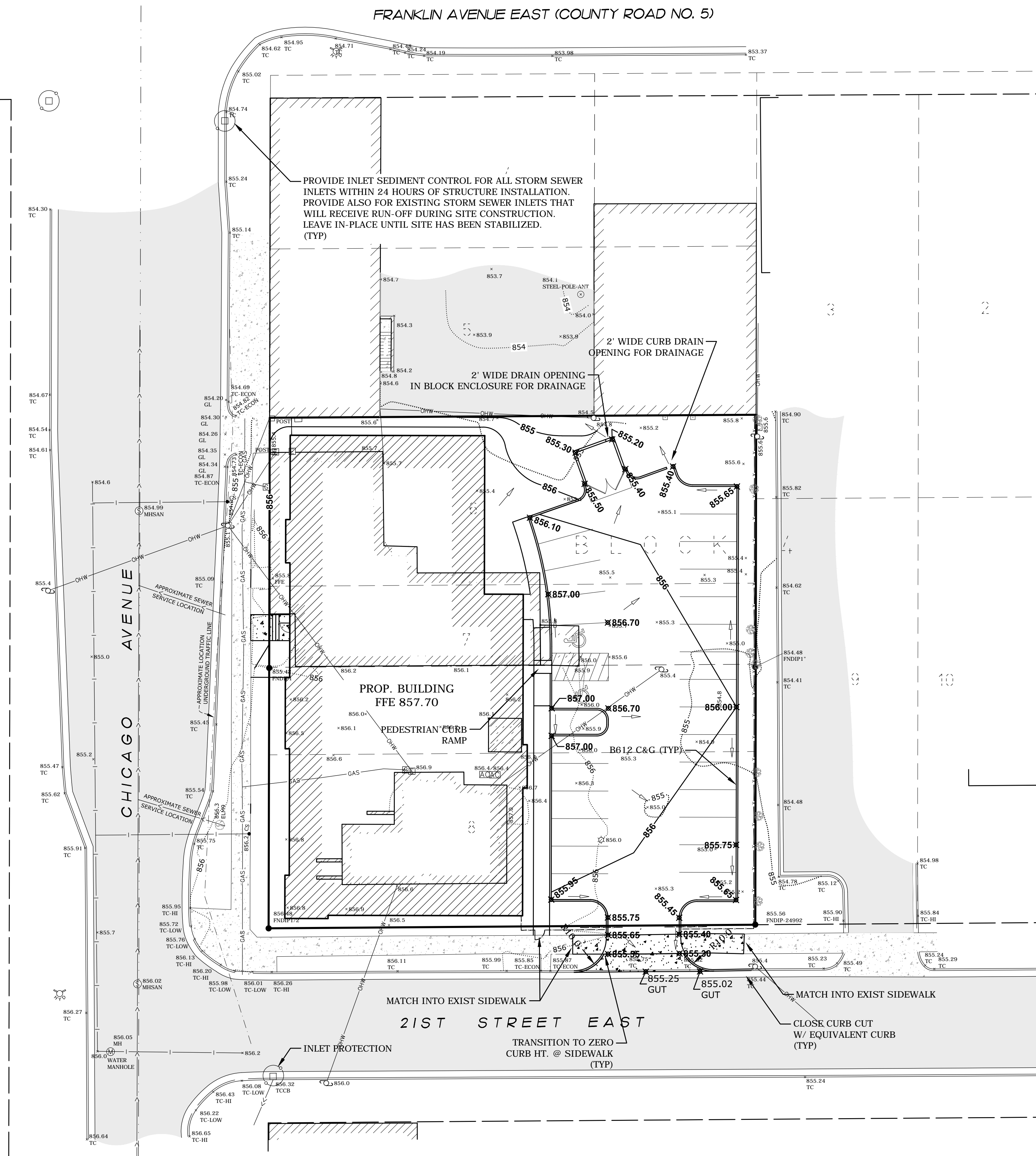
- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- CALL "811" AT LEAST 48 HOURS PRIOR TO ANY EXCAVATIONS FOR EXISTING UTILITIES LOCATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
- INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.


**EROSION & SEDIMENT CONTROL NOTES**

- CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLAN.
  - ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
  - CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
  - SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
- CONTRACTOR SHALL INSTALL A ROCK CONSTRUCTION ENTRANCE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC WILL ENTER ONTO EXISTING PAVED STREETS
- CONTRACTOR SHALL PERFORM REMOVALS AND SITE WORK ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
  - CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
- CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY REQUIREMENTS.
- CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING
- CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY

**LEGEND**

- DENOTES AIR CONDITIONING UNIT
- DENOTES CATCH BASIN
- DENOTES CABLE PEDESTAL
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GAS METER
- DENOTES LIGHT POLE
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES OVERHEAD WIRE
- DENOTES UNDERGROUND GAS LINE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CONTOURS
- DENOTES DRAINAGE DIRECTION





Know what's below.  
Call before you dig.

**GRAPHIC SCALE**

( IN FEET )  
1 INCH = 20 FT  
(22' x 34')

**NORTH**



**SITE PLANNING & ENGINEERING**

**PLOWE ENGINEERING, INC.**

6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014

PHONE: (651) 361-8210  
FAX: (651) 361-8701

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

**PRELIMINARY**

CHARLES W. PLOWE License No. 18227  
Date: 04.24.2020

**COMMUNITY CARE / FIRST CARE CLINICS**  
2011 & 2019 CHICAGO AVENUE  
CITY OF MINNEAPOLIS, MN

**GRADING & DRAINAGE PLAN**

PREPARED FOR: RON TOUCHETTE

SHEET  
**C.002**