
LAND USE APPLICATION SUMMARY

Property Location: 4601 Hiawatha Ave
Project Name: Hiawatha Holiday Stationstores Rebuild
Prepared By: Shanna Sether, Principal City Planner, (612) 673-2307
Applicant: Holiday Stationstores
Project Contact: Carol Lansing
Request: To reconstruct an automobile convenience facility and accessory car wash.

Non-Residential Uses	Automobile Convenience Facility: 3,917 sq. ft. Car Wash: 1,300 sq. ft.
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Required Applications:

Expansion and Alteration of a Nonconforming Use	To allow for the reconstruction of a nonconforming, automobile convenience facility and accessory car wash.
Conditional Use Permit	To allow for a dynamic sign.
Site Plan Review	For the reconstruction of an automobile convenience facility and accessory car wash.

SITE DATA

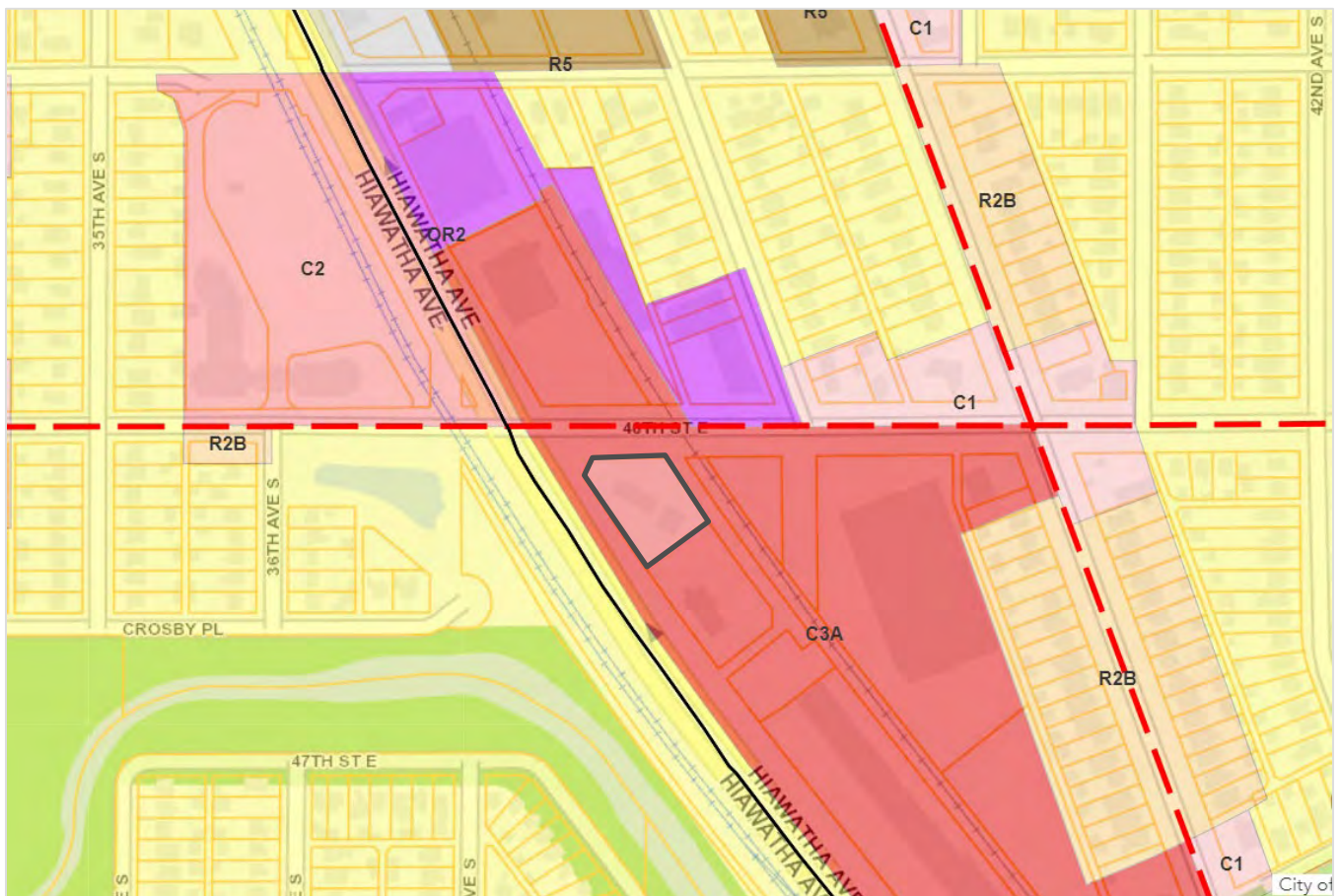
Existing Zoning	C3A Community Activity Center District AP Airport Overlay District PO Pedestrian Oriented Overlay District SH Shoreland Overlay District
Lot Area	28,364 square feet / .65 acres
Ward(s)	12
Neighborhood(s)	Longfellow Community Council, adjacent to Standish-Ericsson Neighborhood Association
Future Land Use	Destination Mixed Use
Goods and Services Corridor	46 th St E
Built Form	Transit 10

Date Application Deemed Complete	August 7, 2020	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	October 6, 2020	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. A filling station was originally constructed on the site in 1946. The original building was wrecked in 1987. A new gas station and attached car wash were constructed on the site in 1987. In 2002, Holiday Companies began operating the convenience store. The building was burned down during the civil unrest at the end of May 2020.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding area includes a large mix of uses and the site is located 550 feet from the 46th St E Blue Line LRT Station. 46th St E is a Goods and Services Corridor. The adjacent use to the southeast is a fast food restaurant, Burger King, and an auto-oriented shopping center. Several new mixed-use buildings have been recently constructed or are under construction near the area, including LOWA 46 to the east and Oaks Station Place northwest.



PROJECT DESCRIPTION. The property was rezoned to B3S-3 Community Business District to allow for an automobile convenience facility and car wash in 1987. In 1991, the property was rezoned to C2 Neighborhood Corridor Commercial District.

In 2005, the Pedestrian Oriented Overlay District was applied to properties near the proposed Light Rail Transit Stations. With the adoption of the PO Overlay District came regulations prohibiting automobile uses and the existing automobile convenience facility became nonconforming. The property was rezoned from C2 Neighborhood Corridor Commercial District to C3A Community Activity Center District in 2009, as part of the 46th Street Station Rezoning Study. Automobile convenience facilities are also prohibited in the C3A District.

The previous building was destroyed by fire during the civil unrest at the end of May 2020. The applicant is proposing to construct a new 3,917 sq. ft. convenience store at the corner of 46th and Hiawatha and a 1,300 sq. ft. accessory car wash in a separate building at the south end of the site. The reconstruction of the buildings will require an expansion or alteration of a nonconforming use.

The applicant is proposing to remove the existing monument sign at the corner and place a new wall sign on the proposed structure, facing Hiawatha Ave. The new wall sign will have dynamic changeable copy text for the gas prices and a dynamic sign advertising goods and services provided. A dynamic sign in the C3A District requires a conditional use permit.

The new construction and site layout for an automobile use requires site plan review.

RELATED APPROVALS.

Planning Case #	Application(s)	Description	Action
P-781	Petition to rezone the property from M1-1 Light Manufacturing District to B3S-3 Community Business District.	Rezoning to allow for a combination grocer/self-service automobile service station and car wash.	June 12, 1987, the City Council approved the rezoning, notwithstanding the recommendation of the Planning Commission.
C-1027	Conditional use permit to establish an automobile convenience facility 24 hours.	Conditional use permit to allow for a combination grocer/self-service automobile service station and car wash to operate 24 hours.	June 12, 1987, the City Council approved the conditional use permit.
BZZ-544	Conditional use permit for 24-hour operation and site plan review for a 468 sq. ft. building addition.	Conditional use permit for 24-hour operation and site plan review for a 468 sq. ft. building addition.	April 15, 2002, the applications were denied.
BZZ-4555	Expansion of a nonconforming use.	Applicant proposed a 270 sq. ft. addition to the existing building.	September 28, 2009, the City Planning Commission approved the application. The project was never constructed.
BZZ-5625	Conditional use permit for a dynamic sign.	Conditional Use Permit to allow a dynamic sign on an existing monument sign accessory to an automobile convenience facility	July 16, 2012, the City Planning Commission approved the CUP.

PUBLIC COMMENTS. Staff has not received public comments regarding the land use applications. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

EXPANSION OF A NONCONFORMING USE

The Department of Community Planning and Economic Development has analyzed the application for an expansion or alteration of a nonconforming use based on the following findings:

1. *A rezoning of the property would be inappropriate.*

The property was rezoned in 2005 to add the Pedestrian Oriented Overlay District as part of the Transit Station Area study for proposed Light Rail Transit. The PO Overlay District prohibits automobile uses. The property was rezoned from C2 Neighborhood Corridor Commercial District to C3A Community Activity Center District in 2009, as part of the 46th Street Station Rezoning Study. Automobile convenience facilities are also prohibited in the C3A District. *Minneapolis 2040*, the comprehensive plan became effective on January 1, 2020, and the future land use for the property is Destination Mixed Use. Rezoning the property to remove the PO Overlay District and to a zoning district that permits auto-oriented uses would be inconsistent with the policies of the comprehensive plan. The existing automobile convenience facility is allowed to remain as long as the use is not discontinued for more than one year.

2. *The enlargement, expansion, relocation, structural alteration or intensification will be compatible with adjacent property and the neighborhood.*

The applicant is proposing to reconstruct the exiting automobile convenience facility and car wash after the previous building was destroyed by fire during the civil unrest at the end of May 2020. The previous building was located at the center of the site, disconnected from the public sidewalk. The applicant is proposing to construct the new convenience store at the corner of the site, at Hiawatha and 46th St E, with a new principal entrance also facing the corner. The new store will meet the minimum window requirements on all four sides. The new site layout will be an improvement to the existing circulation for vehicles and safer for pedestrians and bicyclists. The applicant is proposing a new dynamic and dynamic changeable copy wall sign and eliminating the existing monument sign, moving towards conformity. The site is adjacent to auto-oriented uses including a fast food restaurant and a pharmacy with a drive-through. The proposed building will be compatible with the character of the surrounding area.

3. *The enlargement, expansion, relocation, structural alteration or intensification will not result in significant increases of adverse, off-site impacts such as traffic, noise, dust, odors, and parking congestion.*

The applicant is proposing to increase the off-street parking from seven spaces to nine with sufficient maneuvering spaces and the curb cut along Hiawatha Ave will remain in size, shape and location. Both CPED and Public Works staff have reviewed the proposed site layout, placing the new convenience store at the corner of the site and the new car wash in a separate building with the entrance facing east. The site can accommodate vehicle and gas truck maneuvering on-site, as well as car wash queueing spaces without creating off-site impacts to traffic or parking congestion. Both Holiday and Burger King have access to 46th St E from a frontage road, recently acquired by the City of Minneapolis-Public Works. Hennepin County has future plans to close access along 46th St E. at the frontage and direct vehicle traffic to the new signal at Snelling Ave and 46th St E. The proposed site plan for Holiday accommodates future changes to access points for the site. Staff finds that the reconstruction of the automobile convenience facility will not result in off-site impacts related to dust or odor.

4. *The enlargement, expansion, relocation, structural alteration or intensification, because of improvements to the property, will improve the appearance or stability of the neighborhood.*

The applicant is proposing to reconstruct the exiting automobile convenience facility and car wash after the previous building was destroyed by fire during the civil unrest at the end of May 2020. The previous building was located at the center of the site, disconnected from the public sidewalk. The applicant is proposing to construct the new convenience store at the corner of the site, at Hiawatha and 46th St E, with a new principal entrance also facing the corner. The new store will meet the minimum window requirements on all four sides. The new site layout will be an improvement to the existing circulation for vehicles and safer for pedestrians and bicyclists. The applicant is proposing additional landscaping along the street frontages, as well. The proposed plans are an improvement to the appearance and function of the property and provide pedestrian-friendly access to the site.

5. *In districts in which residential uses are allowed, the enlargement, expansion, relocation, structural alteration or intensification will not result in the creation or presence of more dwelling units on the subject property than is allowed by the regulations of the district in which the property is located.*

Residential uses are permitted in the C3A District; however, no dwelling units are proposed.

6. *The enlargement, expansion, relocation, structural alteration or intensification will not be located in the Floodway District.*

The property is not located in the Floodway District.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a dynamic sign based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed dynamic sign should not be detrimental to public health, safety, comfort or general welfare. The applicant is proposing to add a dynamic sign to a new wall sign mounted on the on the northwest corner of the property, similar to the previously approved dynamic monument sign. Dynamic signs are permitted in a PO District subject to approval of a conditional use permit unless located in the downtown entertainment area. The zoning code regulations related to dynamic signs includes specific standards adopted to address potential issues. The standards limit the location, size, height, duration of message, image characteristics and transition and the luminance. The proposed sign meets the specific standards for dynamic signs.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The surrounding area includes a large mix of uses and the site is located 550 feet from the 46th St E Blue Line LRT Station. 46th St E is a Goods and Services Corridor. The adjacent use to the southeast is a fast food restaurant, Burger King, and an auto-oriented shopping center. Several new mixed-use buildings have been recently constructed or are under construction near the area, including LOWA 46 to the east and Oaks Station Place northwest. The existing and proposed signs are, for the most part, not visible from that property due to the orientation of the sign and on-site landscaping. Staff is recommending that the planning commission require the applicant to turn off the sign when the business is closed. With the adoption of the staff recommended condition, the addition of a dynamic sign that meets all zoning code standards should have no negative impacts on surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The utilities, access, drainage, and other facilities are existing and adequate and should not be impacted by the proposed sign.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The addition of a dynamic sign should not have an impact on traffic congestion in the public streets. As required by section 543.340 of the zoning code, the sign message must remain static for a period of not less than sixty (60) seconds. Also, the transition from one (1) message to the next must be direct and immediate, without any special effects.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The following goals from Minneapolis 2040 (2020) apply to this proposal:

Goal 6. High-quality physical environment: In 2040, Minneapolis will enjoy a high-quality and distinctive physical environment in all parts of the city.

The following policies and action steps from Minneapolis 2040 (2020) apply to this proposal:

Policy 5. Visual Quality of New Development: Ensure a high-quality and distinctive physical environment in all parts of the city through building and site design requirements for both large and small projects.

h. Promote an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage; ensuring that signage is appropriately scaled to the pedestrian experience.

The proposed dynamic sign is pedestrian in scale and orientation without creating visual impacts that would be detrimental to residential uses or passing traffic.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the conditional use permit, the proposed sign would conform to the applicable district regulations. The minimum lot size for a dynamic sign is 12,000 square feet and the subject site is 28,343 square feet. One dynamic sign is allowed, and one is proposed. The sign is required to be a minimum of 100 feet from the nearest residence or office residence district and part of a lot that has 660 feet of contiguous commercial, downtown or industrial zoning on the same side of the street. Both of these requirements have been satisfied. The following additional provisions apply:

- *Height.* Notwithstanding Table 543-3, Specific Standards for Signs in the Downtown Districts, and 543-4, Specific Standards for Signs in the Industrial Districts, the maximum height of a dynamic sign attached to a building shall be fourteen (14) feet, or top of wall, whichever is less.

Staff comment: The sign will be attached to a building wall and as proposed would be nine feet, three inches to the top of the dynamic portion of the sign.

- *Size.* Dynamic signs shall not exceed thirty-two (32) square feet. Dynamic signs shall be included in the calculation of the total permitted sign area.

Staff comment: The dynamic sign would be 24 square feet in area.

- *Duration of message.* The sign message shall remain static for a period of not less than sixty (60) seconds. The transition from one (1) message to the next shall be direct and immediate, without any special effects.

Staff comment: The message will remain static for a minimum of 60 seconds and will transition with no special effects.

- *Image characteristics and transition.* Dynamic signs shall have a pitch of not greater than twenty (20) millimeters between each pixel. Special effects, including but not limited to dissolving, fading, scrolling, starbursts and wiping shall be prohibited.

Staff comment: The sign will have a pixel spacing of 19 mm and no special effects.

- *Luminance.* Between sunrise and sunset, the maximum luminance shall be five thousand (5,000) nits and between sunset and sunrise the maximum luminance shall be five hundred (500) nits. All signs with a dynamic display having illumination by means other than natural light must be equipped with an automatic dimmer control or other mechanism that automatically controls the sign's brightness to comply with this requirement. Except for Institutional and Public Uses, the dynamic sign shall not display messages or be illuminated when the use is closed.

Staff comment: The sign will have a maximum luminance of 5,000 nits between sunrise and sunset and 500 nits at all other times. The sign will be equipped with a light sensor and automatic dimmer control to comply with this requirement.

Additional Standards for Sign Adjustments

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when considering an adjustment to the number, type, height, area, or location of allowed signs on property located in an OR2 or OR3 District or a commercial, downtown, or industrial district:

1. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The applicant is proposing three wall identification signs, two car wash signs and canopy signs for the property; the applicant will be removing the existing monument sign. Staff finds that the proposed wall sign with dynamic message will not lead to sign clutter.

2. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

The sign will be professionally constructed and installed. The sign is a metal cabinet with internally illuminated copy face. The sign is in scale and design of the proposed building.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

Applicable Standards of Chapter 530, Site Plan Review

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The proposed project would comply with the building placement standards.

Principal entrances – Meets requirements

- The proposed project would comply with the principal entrance standards.

Visual interest – Meets requirements

- The proposed project would comply with the visual interest standards.

Exterior materials – Meets requirements

- The applicant is proposing brick, stone, and stucco as the building’s primary exterior materials. Exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.

Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West	Northwest
Brick (face)	100%	30%	23.5%	51%	35%	38%
Glass	100%	25.5%	29.5%	0%	19%	23.5%
Stone	100%	11.5%	12%	20%	14%	13%
Stucco	75%	33%	35%	29%	32%	25.5%

Windows – Meets requirements

- The proposed project would comply with the minimum window requirements.

Window Requirements for Non-Residential Uses

Floor	Code	Proposed
1st floor – facing Hiawatha	40% minimum 139 sq. ft.	40% 139 sq. ft.
1st floor – facing 46 th St E	40% minimum 229 sq. ft.	51.7% 296 sq. ft.
1 st floor – facing intersection	40% minimum 111 sq. ft.	40% 111 sq. ft.
1st floor – facing on-site parking area	30% minimum 217.5 sq. ft.	43% 313 sq. ft.

Ground floor active functions – Meets requirements

- The proposed project would comply with the ground floor active functions requirements.

Roof line – Meets requirements

- The principal roof line of the building is flat and would be similar to that of surrounding buildings.

Parking garages – Not applicable

- There are no parking garages proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There would be clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- The proposed project would comply with the vehicular access requirements.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- Less than 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 3,838 square feet of landscaping on site, or approximately 17 percent of the site not occupied by buildings. The applicant is seeking alternative compliance.
- The applicant is not proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 10 and the applicant is proposing a total of 12 trees; eight of which are canopy. The applicant is seeking alternative compliance.

Landscaping and Screening Requirements

Requirement	Required	Proposed
Lot Area	--	28,364 sq. ft.
Building Footprint	--	5,217 sq. ft.
Area Not Covered by Buildings	--	23,147 sq. ft.
Landscaped Area	4,630 sq. ft.	3,963 sq. ft.
Canopy Trees (1:500 sq. ft.)	10 trees	11 trees
Shrubs (1:100 sq. ft.)	47 shrubs	54 shrubs

Parking and loading landscaping and screening – Meets requirements

- The proposed project would comply with the parking and loading landscaping and screening requirements.

Additional landscaping requirements – Meets requirements

- The project appears to comply with the additional landscaping requirements in sections 530.180, 530.190, 530.200, and 530.210 of the zoning code.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Meets requirements

- The parking lot would be defined by a six-inch by six-inch continuous concrete curb.

Site context – Meets requirements

- The proposed project would comply with the site context requirements.

Crime prevention through environmental design – Meets requirements

- The proposed project would comply with crime prevention through environmental design (CPTED) standards.

Historic preservation – Not applicable

- This site is neither historically designated or located in a designated historic district, nor has it been determined to be eligible for designation.

Applicable Regulations of the Zoning Ordinance

The proposed use is nonconforming in the C3A and PO Districts.

Off-street Parking and Loading – Meets requirements

- The proposed project complies with the applicable vehicle parking, bicycle parking, and loading requirements.

Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Minimum	Maximum	Proposed
Automobile Convenience Facility	8	PO (2)	6	15	9

Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
Automobile Convenience Facility	4	Not less than 50%	--	4 short-term spaces

Loading Requirements (Chapter 541)

Use	Loading Requirement	Loading Spaces	Proposed
Automobile Convenience Facility	Medium	None	None

Building Bulk and Height – Meets requirements

- The proposed project does not comply with the minimum floor area ratio required in the PO Overlay District; however, the previous building was 1,800 sq. ft. in area and the new gross floor area is 5,217 sq. ft. and the project is moving towards conformity. The project meets the applicable bulk and height requirements.

Building Bulk and Height Requirements

Requirement	Code	Bonuses	Total	Proposed
Lot Area	12,000	--	--	28,364 sq. ft. / .65 acres
Gross Floor Area		--	--	5,217 sq. ft.
Min. Floor Area Ratio	1.0	--	--	.18
Max. Floor Area Ratio	1.7	--	--	.18
Max. Building Height	4 stories or 56 feet, whichever is less			1 story, 22 ft.

Lot Requirements – Not applicable

- The proposed project is not subject to lot requirements.

Yard Requirements – Not applicable

- There are no minimum yard requirements in the C3A District.

Signs – Requires conditional use permit

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- The applicant is proposing a dynamic sign, which requires a conditional use permit.

Signage Summary

Type	Max. Size Allocation	Max. Area Per Sign	Proposed Area	Max. Height	Proposed Height
Store Attached – facing Hiawatha	92.5 sq. ft.	180 sq. ft.	46 sq. ft.	No limit	17 ft.
Store Attached – facing 46 th St E	133.5 sq. ft.	180 sq. ft.	46 sq. ft.	No limit	17 ft.
Store Attached – facing on-site parking area	136 sq. ft.	180 sq. ft.	58 sq. ft.	No limit	18 ft. 8 in.
Canopy (3)	--	25 sq. ft.	7.75 sq. ft.	No Limit	19 ft. 10 in.
Car Wash Attached (2)	42 sq. ft.	180 sq. ft.	26.3 sq. ft.	No Limit	18 ft.

Screening of Mechanical Equipment – Meets requirements

- Mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements.

Refuse Screening – Meets requirements

- Refuse and recycling storage containers are subject to the screening requirements in Chapter 535.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code.
- The project is consistent with the applicable lighting requirements.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The proposed fencing meets the applicable standards.

Specific Development Standards – Meets requirements with Conditions of Approval

- The applicant’s proposal meets the specific development standards for an automobile convenience facility in Chapter 536.

PO Overlay District Standards – Meets requirements

- The proposal is moving towards compliance with the PO Overlay District standards.

Applicable Policies of the Comprehensive Plan

The proposed use would be consistent with the applicable guidance and policies of *Minneapolis 2040 (2020)*:

Future Land Use	Guidance	Staff Comment
Destination Mixed Use	Commercial retail uses are required at the street level of all development in this category to encourage pedestrian activity beyond the typical daytime business hours. Multi-story development is required. Contiguous expansion of commercial zoning is allowed.	The new location of the retail store for the automobile convenience facility is safer and better situated for pedestrian use. The new building will be located up to the intersection at Hiawatha Ave and 46 th St E, with a new principal entrance at the corner. The site is well-connected with pedestrian walkways and bicycle parking. Although the proposed building is not multiple-stories, the use is increasing in gross floor area.
Goods and Services Corridor	Guidance	Staff Comment
46th St E	Goods and Services Corridors serve two purposes: 1) To indicate where commercial uses should front in relation to properties guided for commercial future land uses, and 2) In addition to the guidance for the mixed use land use categories found in this section, Goods and Services Corridors identify where the establishment or expansion of commercial uses can be considered. Properties immediately adjacent to a Goods and Services Corridor may be considered for commercial activity, allowing for uses similar in scale and scope to the Neighborhood and Corridor Mixed Use categories.	The new location of the retail store for the automobile convenience facility is safer and better situated for pedestrian use. The new building will be located up to the intersection at Hiawatha Ave and 46 th St E, with a new principal entrance at the corner.
Built Form	Guidance	Staff Comment
Transit 10	New and remodeled buildings in the Transit 10 district should reflect a variety of building types on both moderate and large	Although the proposed building is one-story, the use is increasing in

	<p>sized lots. Building heights should be 2 to 10 stories. Building heights should be at least 2 stories in order to best take advantage of the access to transit, jobs, and goods and services provided by the Transit 10 district. Requests to exceed 10 stories will be evaluated on the basis of whether or not a taller building is a reasonable means for further achieving Comprehensive Plan goals.</p>	<p>gross floor area and moving towards conformity.</p>
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The following policies and action steps from *Minneapolis 2040 (2020)* apply to this proposal:

Policy 80. Development Near METRO Stations: Support development and public realm improvements near existing and planned METRO stations that result in walkable districts for living, working, shopping, and recreating.

- g. Orient buildings to the sidewalk.
- h. Focus active uses on the ground floor of buildings along main pedestrian routes leading to and facing METRO stations.
- j. Minimize the impact of automobiles near METRO stations by locating parking behind and under buildings, by sharing parking among area uses, by prohibiting the establishment of auto-oriented uses, and by prohibiting the establishment of stand-alone dedicated park-and-ride facilities.

The existing automobile convenience facility is nonconforming in the C3A and PO Districts. The proposed project improves the location of the retail functions, improves vehicular parking and circulation, and loading/gas truck movements. The proposed retail store has been moved from the south, center of the site, to the intersection of Hiawatha and 46th St E, with a principal entrance facing the corner and METRO Station. Staff finds that the project is moving towards conformity by increasing the height, gross floor area and building location from the previous site layout.

Alternative Compliance

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

Standard	Description	Staff Recommendation
<p>General Landscaping</p>	<p>The applicant is proposing 17% of the site as landscaped area, where 20% is required.</p>	<p>The proposed site layout has been evaluated for pedestrian and vehicle access and has moved towards conformity for building location, pedestrian access, and minimum FAR. The applicant has maximized landscaped areas where possible without requiring variances for maneuvering or queueing for the car wash. <u>Staff recommends granting alternative compliance.</u></p>

<p>Canopy Trees</p>	<p>The applicant is proposing twelve deciduous trees; eight of which meet the requirements for a canopy tree. Ten canopy trees are required.</p>	<p>The applicant is providing twelve deciduous trees. Eight of the twelve meet the requirements for a canopy tree; two of them will only grow to a mature height of 30 feet instead of 35 feet. <u>Staff recommends granting alternative compliance.</u></p>
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RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Carol Lansing for the property located at 4601 Hiawatha Ave:

A. Expansion of a Nonconforming Use.

Recommended motion: **Approve** the expansion of a nonconforming use application for the reconstruction of an automobile convenience facility and accessory car wash in the C3A Community Activity Center District and PO Pedestrian Oriented Overlay District.

A. Conditional Use Permit.

Recommended motion: **Approve** the conditional use permit to allow a dynamic sign, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The sign message shall remain static for a period of not less than sixty (60) seconds. The transition from one (1) message to the next shall be direct and immediate, without any special effects.
3. The dynamic sign shall have a pitch of not greater than twenty (20) millimeters between each pixel. Special effects, including but not limited to dissolving, fading, scrolling, starbursts and wiping shall be prohibited.
4. Between sunrise and sunset, the maximum luminance shall be five thousand (5,000) nits and between sunset and sunrise the maximum luminance shall be five hundred (500) nits. The sign shall be equipped with an automatic dimmer control or other mechanism that automatically controls the sign's brightness to comply with this requirement.
5. The sign shall be turned off when the business is not open.

B. Site Plan Review.

Recommended motion: **Approve** the site plan review for the reconstruction of an automobile convenience facility and accessory car wash, subject to the following conditions:

1. All site improvements shall be completed by September 21, 2022, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The project shall comply with the applicable specific development standards in Chapter 536 of the zoning code.

4. All signs shall comply with Chapter 543 of the zoning code. All signage requires a separate permit from CPED.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Survey
3. Site plan
4. Plans
5. Building elevations
6. Photos
7. PDR Report

**HOLIDAY STATIONSTORE
4601 Hiawatha Avenue**

STATEMENT OF PROPOSED USE AND DESCRIPTION OF THE PROJECT

A gas station and carwash were constructed at 4601 Hiawatha Avenue in 1987. Holiday Companies has operated the automobile convenience store and services there since 2002, providing essential service to the neighborhoods in Southeast Minneapolis. The store was burned and completely destroyed at the end of May. Holiday is requesting approvals to rebuild a larger store on the site that will be more compatible with the urban and pedestrian character of the area and provide improved goods and services for customers. Because the site is located in a Pedestrian-Oriented Overlay District, the longstanding automobile service uses are legally nonconforming. Holiday would be able to rebuild the existing facilities in essentially the same configuration as of right but requires approval of an expansion and alteration of a nonconforming use in order to replace the store that was destroyed with a store that will be located at the corner of the site, larger and better designed to serve the surrounding neighbors and traveling customers. A conditional use permit for a dynamic sign, a variance to increase the width of a reconfigured curb cut and site plan review approvals are also required.

The site is a small parcel on the southeast corner of Hiawatha Avenue and 46th Street. It currently has vehicular access from Hiawatha (right in only, no exit) and full ingress and egress to and from a frontage road that runs along the eastern property line of both the Holiday Stationstore and Burger King sites and which connects to both 46th Street and the new extension of Snelling Avenue to the south. No changes to access points are proposed, except for reconfiguration of the curb cuts along the frontage road.

Holiday proposes to construct a 3,913 SF store at the corner within a foot of both the Hiawatha and 46th rights-of-way. The former 1,048 SF convenience store, along with an attached car wash, was located near the south interior side lot line, far from either street. The new building will have an entrance at the corner from the public sidewalk and two entrances on the south side of the building facing the parking and the pumps. The corner entry will improve walkability to the store for pedestrians from the 46th Street LRT station and surrounding neighborhoods. The building will be faced with brick and stucco. All facades of the store will meet the percentage requirement for clear windows in the PO Overlay and site plan review regulations. The new store is designed to meet current ADA accessibility standards; the former store did not comply with ADA requirements. The larger store will also allow Holiday to provide an enhanced variety of the products and serve as a convenience “fill-in grocery” stop for residents on their way to or from home.

Fuel will be dispensed from six fueling points under a canopy supported by brick-faced pillars. The number of fueling points (two per pump) will be the same as before. Nine parking spaces will be provided between the store and the pump islands. The new, 1,304 SF car wash will be located along the south interior lot line, close to the location of the original car wash. The new, improved wash will be much faster, which will reduce cars stacking up and keep the stacking on

site. The materials will match those used on the store - brick and stucco. There will be fiberglass reinforced plastic windows on the north elevation to help the car wash blend in with the store design.

Landscaping will be provided on 20% of the site not occupied by buildings. The building and pump placements and the reconfiguration of the curb cuts allow for fuel tankers to maneuver through the site and for safe circulation of customer vehicles. Snow will not be stored on site; as occurs at other Holiday Stationstores in the Twin Cities area, it will be hauled off site.

The existing monument sign will be removed and no free-standing sign is proposed for the site. The dynamic element on the monument sign that displays gas prices will be incorporated into a wall sign on the northwest elevation of the store.

EXPANSION OR ALTERATION OF A NONCONFORMING USE
REQUIRED FINDINGS

As noted above, because the site is located in a Pedestrian-Oriented Overlay District, the longstanding automobile service uses are legally nonconforming. Holiday is proposing to replace the store that was destroyed with a store that will be located at the corner of the site, larger and better designed to serve the surrounding neighbors and traveling customers. The proposal is consistent with the required findings under § 531.50 of the Zoning Code for expansion and alteration of a nonconforming use.

1) *A rezoning of the property would be inappropriate.*

In order for the automobile convenience store and car wash to be reconstructed as a conforming use, the site would need to be rezoned from C3A, which does not allow auto services, to another commercial district that does and the existing PO Overlay District would need to be removed. Such changes in zoning within the 46th Street transit station area would be inappropriate.

2) *The enlargement, expansion, relocation or intensification will be compatible with adjacent property and the neighborhood.*

The site has contained the same automobile convenience services since 1987 and they have been operated in a manner that is compatible with and a service to the neighborhood. The retail goods and services provided in the store itself are conforming. Enlarging the store building will allow it to provide an enhanced variety and greater volume of goods for customers in this commercially-zoned area. The car wash will be larger, but also faster, to provide quicker service and reduce the chance that cars waiting for the wash will stack outside of the site. The number of fueling stations will remain the same. The site is separated from residential uses by streets and other commercial uses. The expansion and alteration of the nonconforming uses will be compatible with adjacent property and the neighborhood.

3) *The enlargement, expansion, relocation or intensification will not result in significant increases of adverse off-site impacts such as traffic, noise, dust, odors and parking congestion.*

The proposed expansion and alteration of the nonconforming use is not expected to significantly increase vehicle traffic to the site, as the same services will be provided and the number of fueling stations will remain the same. It is expected that the larger store, prominently placed at the corner, will be more convenient to pedestrians and will attract more walk-in traffic. Store sales volume per customer is also expected to increase due to the increase in product types that will be available. The faster car wash may decrease emissions from cars waiting to enter the wash. The expansion and alteration of the use will not result in increases in adverse off-site impacts.

4) *The enlargement, expansion, relocation or intensification, because of improvements to the property, will improve the appearance or stability of the neighborhood.*

The construction of a larger store placed at the corner will improve the pedestrian character of the site. The new building, faced with brick and stucco and including 40% windows facing the street, will significantly improve the appearance of the site and neighborhood. Reconstructing the Holiday store and automobile services is important to the stability of the neighborhood, which is greatly in need of the essential services the facilities provide.

5) *In districts in which residential uses are allowed, the enlargement, expansion, relocation or intensification will not result in the creation or presence of more dwelling units or rooming units on the subject property than is allowed by the regulations of the district in which the property is located.*

The project does not include dwelling units.

6) *The enlargement, expansion, relocation or intensification will not be located in the floodway district.*

The project site is not located in a floodway district.

CONDITIONAL USE PERMIT FOR DYNAMIC SIGN
REQUIRED FINDINGS

A changeable copy dynamic sign panel will be incorporated into a wall sign to be installed on the northwest façade of the store. The dynamic sign will be used to display gas prices. The request meets the required findings for the issuance of a conditional use permit under § 525.340 and the additional considerations for a sign adjustment.

1) *That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The wall sign of which the dynamic sign will be a component will replace an existing monument sign with the same dynamic component for displaying gas prices. The design and operation of the sign will comply with all standards established in the Code for dynamic signs, including those related to size, number of signs, duration of message, image characteristics and luminance. The proposed dynamic sign will not be detrimental to or endanger the public health, safety, comfort or general welfare.

2) *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district or substantially diminish property value.*

The proposed dynamic sign will not be injurious to the use or enjoyment of nearby property, nor impact the orderly development of surrounding property. The sign will face northwest to the street and will be distant from residential and other surrounding uses. It will replace an existing dynamic sign that has dynamic signs on both sides, facing north and south. The existing sign has not be injurious or detrimental to the use and enjoyment of property or development in the area.

3) *Adequate utilities, access roads, drainage, necessary facilities and other measures have been or will be provided.*

Existing utilities, drainage, and access roads are adequate for the use of the site and will not be impacted by relocation of the dynamic sign from a freestanding structure to the wall.

4) *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The relocation of the dynamic sign on the site will not impact traffic on the adjacent streets or within the site.

5) *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The following policy of the 2040 Plan relates to signage:

Policy 5. Visual Quality of New Development: Ensure a high-quality and distinctive physical environment in all parts of the city through building and site design requirements for both large and small projects.

h . Promote an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage; ensuring that signage is appropriately scaled to the pedestrian experience.

The proposed dynamic sign complies with this policy.

6) *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With approval of the other zoning applications for the Project, it will conform to the applicable regulations of the C3A District.

Additional considerations for sign adjustments:

(1) The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.

The proposed sign will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located. The dynamic sign will be incorporated into a wall sign attached to the building. The number, size and type of signs on the site will comply with the sign regulations applicable in the C3A and PO Districts.

(2) The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.

The dynamic sign and the wall sign of which it will be part will relate in shape, materials, color, character, and illumination to the other elements of the store and automobile service facilities.

VARIANCE FOR DRIVEWAY WIDTH
REQUIRED FINDINGS

The existing curb cut that provides access between the site and the frontage road is 62.8 feet wide, almost double the maximum-allowed width of 35 feet. The plan is to divide the access in two, with a 26-foot wide curb cut opening on the north and a 48.75-foot curb cut opening on the south, separated by an island. There is no pedestrian sidewalk along the frontage road, so the design is not intended to be a pedestrian improvement, but it will improve the flow of vehicular traffic into and out of the site while accommodating a truck turning movement for fuel tankers to exit to the frontage road. The variance request to increase the width of a curb cut from 35 feet to 49.75 feet is consistent with the required findings under § 525.500 of the Zoning Code.

1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The small size of the site does not allow room for a tanker truck to maneuver out of the lot through a 35-foot wide curb cut. A gas station has been operated on the site since 1987. When the use was established, the frontage road was a driveway easement over land owned by the

Soo Line Railroad. It only became public right-of-way subject to the curb cut width regulation fairly recently. The historic gas station use and the small size of the site create practical difficulties in complying with the newly-applicable restrictions related to curb cut width. These circumstances were not created by the applicant or property owner.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed curb cut arrangement is reasonable and an improvement from the existing condition of a single, 62.8-foot curb cut along the frontage road. The purpose of limitations on the width of curb cuts is to provide a safer environment for pedestrians that must cross the driveway opening and to regulate the location of vehicle access to the public street. The frontage road does not have sidewalks and is not intended as a pedestrian route. Pedestrians access the site directly from public sidewalks along 46th Street or Hiawatha Avenue. The proposed alignment of curb cuts is more in keeping with the spirit and intent of the ordinance than the existing condition.

3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality, be injurious to the use or enjoyment of other property in the vicinity or be detrimental to the public or those using the site or nearby properties. The proposed alignment of curb cuts will divide a very large opening into two smaller openings. As noted above, the frontage road is not intended for pedestrian use. It continues to function primarily as access to the Holiday and Burger King sites. The proposed 48.75-foot curb cut is

From: Lansing, Carol <carol.lansing@faegredrinker.com>
Sent: Friday, August 7, 2020 1:43 PM
To: melanie@longfellow.org; office@standish-ericsson.org; Andrew.Johnson@minneapolismn.gov
Cc: Peter Onken; Jim Goeppner (jim.goeppner@holidaycompanies.com)
Subject: Notification of land use applications submitted by Holiday Companies for reconstruction of Holiday Stationstore at 4601 Hiawatha

Hello Ms. Majors, Ms. Miller Lopez and Council Member Johnson.

I am working with Holiday Companies to prepare land use applications for reconstruction of the Holiday Stationstore at 4601 Hiawatha that was destroyed by fire at the end of May. Holiday is eager to return to the neighborhood and reopen the store, gas station and car wash with expanded and improved services. The main improvements will be a larger convenience store located at the corner of 46th Street and Hiawatha Avenue and a new, faster car wash. Because the site is located in the C3A and Pedestrian-Oriented Overlay Districts, the automobile services are nonconforming uses, so the proposed relocation and expansion of the store and car wash require approval of an Expansion and Alteration of a Nonconforming Use. The project will also require approval of a Conditional Use Permit for a dynamic sign (the existing dynamic monument sign will be replaced with a dynamic wall sign to display gas prices), a Variance to allow a curb cut wider than 35 feet between the site and the frontage road, and Site Plan Review. We hope to have the applications scheduled for public hearing before the Planning Commission on September 21, 2020.

Jim Goeppner is Holiday's development manager for this project. He may be contacted at jim.goeppner@holidaycompanies.com or (952) 830-8080. I am the applicant's representative for submission and processing of the applications and my contact information is below. I understand that Jackie Cherryhomes has been in touch with both LCC and SENA and is working with you to schedule a time for us to present the project to your organizations. In the meantime, don't hesitate to let me know if you have any questions.

Thank you.

Carol Lansing

Counsel

carol.lansing@faegredrinker.com

Connect: vCard

+1 612 766 7005 direct

Faegre Drinker Biddle & Reath LLP

2200 Wells Fargo Center, 90 South Seventh Street
Minneapolis, Minnesota 55402, USA

46th St Station

WALGREENS

Oaks Hiawatha Station

VENN BREWING COMPANY

E 46th St

E 46th St

HOLIDAY

APTS.

Falls Liquor
Liquor store

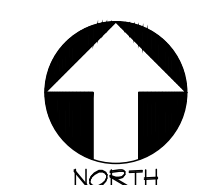
BURGER KING

Cub

Dreamers Vault
Games Minneapolis
Game store



LOCATION MAP



HOLIDAY STATIONSTORE

**4601 HIAWATHA AVE.
MINNEAPOLIS, MN**

SHEET INDEX

- T1 TITLE SHEET
- AS1 ALTA SURVEY
- SP1.0 SITE DIMENSION PLAN
- SP1.1 SITE KEYNOTE PLAN
- SP1.2 SITE CIRCULATION PLAN
- SP2 GRADE PLAN
- SP3 STORM SEWER PLAN
- SP4 UTILITY PLAN
- SP4.1 UTILITY NOTES
- SP4.2 STORM SEWER NOTES AND DETAILS
- SP5 SITE DETAILS
- SWP1 EROSION CONTROL PLAN
- SWP2 EROSION CONTROL NOTES
- SWP3 EROSION CONTROL NOTES
- SWP4 EROSION CONTROL DETAILS
- L1.0 LANDSCAPE PLAN IMPERVIOUS AREA
- L1.1 LANDSCAPE PLAN
- RL-6888-SI-R2 SITE PHOTOMETRIC
- A1 FLOOR PLAN
- A2 EXTERIOR ELEVATIONS
- A3 EXTERIOR ELEVATIONS
- A4 BUILDING MATERIALS

PROJECT DIRECTORY

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER:

OWNER

HOLIDAY STATIONSTORES, INC.
4567 AMERICAN BLVD. WEST
MINNEAPOLIS, MN 55437-1123
CONTACT: TRAVIS COMER
(952) 830-8713 (PHONE)
(952) 830-1678 (FAX)
tcomer@circlek.com

ARCHITECT

ARCHITECTURAL CONSORTIUM L.L.C.
901 NORTH 3RD STREET, SUITE 220
MINNEAPOLIS, MN 55401
CONTACT: BRETT LOFTSNES
(612) 436-0735
(612) 692-9960 (FAX)
bloftsnes@archconsort.com

**CIVIL ENGINEER &
LANDSCAPE ARCHITECT**

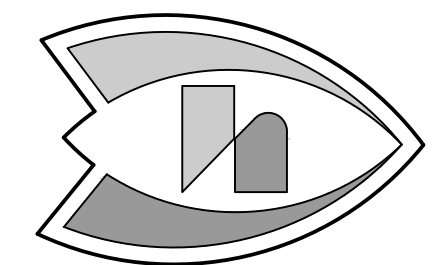
CIVIL: SUNDE ENGINEERING
10830 NESBITT AVENUE SOUTH
BLOOMINGTON, MN 55437
(952) 881-3344

LANDSCAPE ARCHITECT: INSITES
3030 HARBOR LANE, SUITE 131
PLYMOUTH, MN 55447

CONTACT: BOB MUELLER
(763) 383-8400
(763) 383-8440 (FAX)
bob@insitesinc.net

**ARCHITECTURAL
CONSORTIUM L.L.C.**

901 North Third Street, Suite 220 612-436-4030
Minneapolis, MN 55401 Fax 612-692-9960



**Holiday
STATIONSTORE
#0332
MINNEAPOLIS, MN**

PROJECT NUMBER:	20-1046-01
DRAWN BY:	BL
CHECKED BY:	KA
MARK:	REVISION / ISSUE: DATE:
	CITY SUBMITTAL 08-07-20

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES CONSTRUCTION MANAGER:

TRAVIS COMER
4567 AMERICAN BLVD. WEST
MINNEAPOLIS, MN 55437-1123
(952) 830-8713 (PHONE)
(952) 830-1678 (FAX)
tcomer@circlek.com

TITLE SHEET

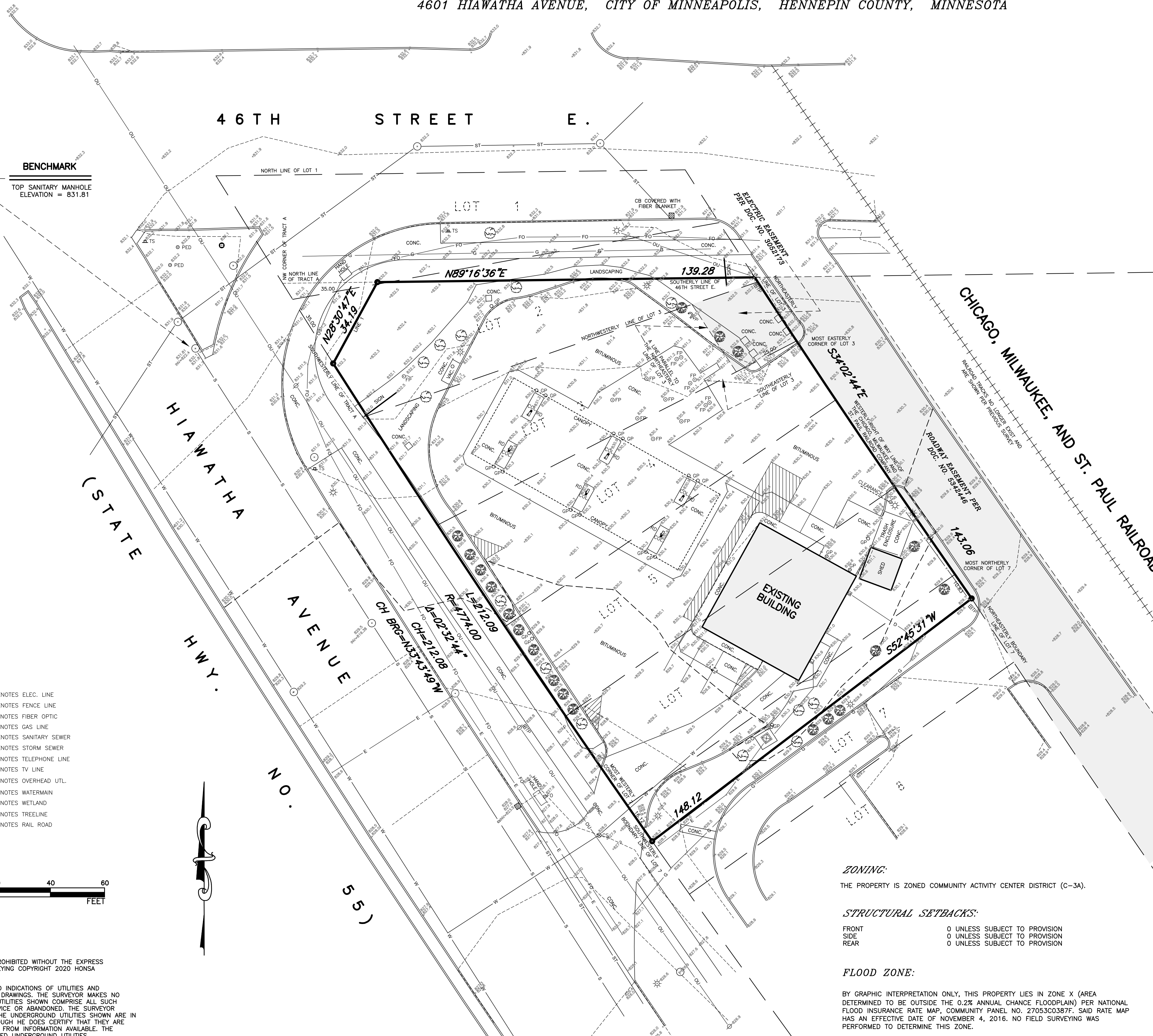
T1

LEGEND

- FIRE HYDRANT
 - ⊙ WATER VALVE
 - MANHOLE
 - ⊠ CATCH BASIN
 - ⊙ POWERPOLE
 - ⊙ LIGHT POLE
 - GUY
 - ⊠ TRANSFORMER
 - ⊠ ELECTRIC METER
 - ⊠ TV PEDESTAL
 - ⊠ TELEPHONE PEDESTAL
 - ⊠ AIR CONDITIONER
 - ⊠ HAND HOLE
 - SEMAPHORE
 - ⊠ GAS METER
 - S SANITARY SEWER
 - ST STORM SEWER
 - W WATERMAIN
 - G UNDERGROUND GAS MAIN
 - T UNDERGROUND TELEPHONE
 - E UNDERGROUND ELECTRIC
 - TV UNDERGROUND CABLE T.V.
 - OU OVERHEAD UTILITY LINES
 - IRON MONUMENT FOUND
 - IRON PIPE MONUMENT SET
 - EXISTING SPOT ELEVATION
 - SOIL BORING
 - △ SIGN
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - DENOTES TREE AND BRUSH LIMITS
 - DENOTES FLARED END SECTION
 - DENOTES FRENCH DRAIN
 - CS CURB STOP
 - CLEAN OUT
 - MW MONITORING WELL
 - ⊠ BBQ BARBECUE GRILL
 - ⊠ AUTO SPRINKLER
 - ⊠ BASKETBALL HOOP
 - ⊠ BENCH
 - ⊠ WATER SPIGOT
 - ⊠ TRENCH DRAIN
 - ⊠ TRAFFIC CONTROL PANEL
 - ⊠ STORM DISPATER
 - ⊠ SATELLITE DISH
 - ⊠ TELEPHONE
 - ⊠ ELECTRIC PEDESTAL
 - ⊠ FLAG POLE
 - ⊠ GROUND LITE
 - ⊠ MAILBOX
 - ⊠ ROOF DRAIN
 - ⊠ TRANSMISSION TOWER
 - ⊠ VENT PIPE
 - ⊠ WELL
-
- E DENOTES ELEC. LINE
 - X DENOTES FENCE LINE
 - FO DENOTES FIBER OPTIC
 - G DENOTES GAS LINE
 - S DENOTES SANITARY SEWER
 - ST DENOTES STORM SEWER
 - T DENOTES TELEPHONE LINE
 - TV DENOTES TV LINE
 - OU DENOTES OVERHEAD UTL.
 - W DENOTES WATERMAIN
 - WETLAND DENOTES WETLAND
 - DENOTES TREELINE
 - DENOTES RAIL ROAD

ALTA SURVEY FOR: HOLIDAY STATIONSTORES

4601 HIAWATHA AVENUE, CITY OF MINNEAPOLIS, HENNEPIN COUNTY, MINNESOTA



BENCHMARK
TOP SANITARY MANHOLE
ELEVATION = 831.81

LEGAL DESCRIPTION:

LOTS 1, 2 AND 3, BLOCK 7, CROSBY INVESTMENT COMPANY'S FIRST ADDITION TO MINNEAPOLIS, HENNEPIN COUNTY, MINNESOTA, EXCEPTING THEREFROM THE NORTH 40.00 FEET THEREOF AND EXCEPTING THEREFROM THAT PART OF TRACT A DESCRIBED BELOW:

TRACT A, THAT PART LOTS 1 AND 2, BLOCK 7, CROSBY INVESTMENT COMPANY'S FIRST ADDITION, ACCORDING TO THE PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE COUNTY RECORDER IN AND FOR HENNEPIN COUNTY, MINNESOTA, LYING SOUTHERLY OF THE SOUTHERLY RIGHT OF WAY LINE OF EAST 46TH STREET AS NOW LOCATED AND ESTABLISHED;

WHICH LIES NORTHWESTERLY OF LINE 1 DESCRIBED BELOW:

LINE 1.

BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF TRACT A HEREIN BEFORE DESCRIBED DISTANT 35 FEET SOUTHEASTERLY OF THE NORTHWEST CORNER THEREOF; THENCE RUN NORTHEASTERLY TO A POINT ON THE NORTH LINE OF SAID TRACT A, DISTANT 35 FEET EAST OF SAID NORTHWEST CORNER THERE TERMINATING.

(ABSTRACT PROPERTY)

AND

LOTS 4, 5 AND 6;

THAT PART OF LOT 7, LYING NORTHWESTERLY OF A LINE BEGINNING AT A POINT ON THE SOUTHWESTERLY BOUNDARY LINE OF SAID LOT 7 DISTANT 16.12 FEET SOUTHWESTERLY OF THE MOST WESTERLY CORNER THEREOF; THENCE RUNNING NORTHEASTERLY TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SAID LOT 7 DISTANT 10.83 FEET SOUTHEASTERLY OF THE MOST NORTHERLY CORNER THEREOF;

BLOCK 7, "CROSBY INVESTMENT COMPANY'S FIRST ADDITION TO MINNEAPOLIS".

(TORRENS PROPERTY, CERTIFICATE NO. 740428)

AREA:

THE PROPERTY CONTAINS 28,364 SQUARE FEET OR 0.66 ACRES.

SCHEDULE "B" NOTES:

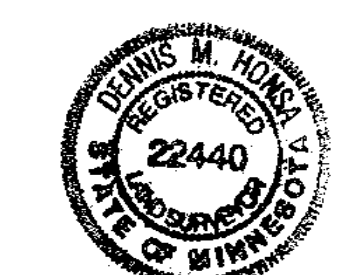
- 9.) RESERVATION BY THE STATE OF MINNESOTA OF ALL MINERALS AND MINERAL RIGHTS AS SHOWN BY RECITAL ON THE CERTIFICATE OF TITLE. (NOT MAPPED)
- 10.) ELECTRIC TRANSMISSION LINE EASEMENT ACQUIRED BY NORTHERN STATES POWER COMPANY AS DESCRIBED IN JUDGMENT AND DECREE FILED JANUARY 31, 1957, AS DOCUMENT NO. 3052173 (ABSTRACT). (MAPPED)
- 11.) ROADWAY EASEMENT - TERMS AND CONDITIONS OF THAT CERTAIN INSTRUMENT DATED AUGUST 21, 1987, FILED NOVEMBER 3, 1987, AS DOCUMENT NO. 5342446 (ABSTRACT). (MAPPED)
- 12.) DECLARATION OF COVENANTS AND RESTRICTIONS DATED OCTOBER 30, 1987, FILED OCTOBER 30, 1987, AS DOCUMENT NO. 1884523 (TORRENS). (NOT MAPPED)
- 13.) MAINTENANCE AND COMMON AREA AGREEMENT DATED OCTOBER 30, 1987, FILED OCTOBER 30, 1987, AS DOCUMENT NO. 1884524 (TORRENS). (NOT MAPPED)
- 14.) CONDITIONS CONTAINED IN CONDITIONAL USE PERMIT ISSUED BY THE CITY OF MINNEAPOLIS, A CERTIFIED COPY OF WHICH WAS RECORDED SEPTEMBER 10, 2012, AS DOCUMENT NOS. A9838940 (ABSTRACT) AND T4991235 (TORRENS). (NOT MAPPED)
- 15.) UNRECORDED LEASE DATED AUGUST 9, 2002, BY AND BETWEEN JACK'S GAS & SERVICE, INC., A MINNESOTA CORPORATION, AS LANDLORD, AND HOLIDAY STATIONSTORES, INC., A MINNESOTA CORPORATION, AS TENANT, AS EVIDENCED BY MEMORANDUM OF LEASE DATED AUGUST 9, 2002, RECORDED AUGUST 21, 2002, AS DOCUMENT NO. 3592115 (TORRENS). (NOT MAPPED)
- 16.) RIGHTS OF TENANTS UNDER UNRECORDED LEASES. (NOT MAPPED)

CERTIFICATION:

I HEREBY CERTIFY TO HOLIDAY STATIONSTORES LLC, FIRST AMERICAN TITLE INSURANCE COMPANY AND CIRCLE K STORES INC. THAT THIS A TRUE AND CORRECT REPRESENTATION OF A SURVEY OF THE ABOVE REAL PROPERTY CONTAINED IN FIRST AMERICAN TITLE COMMITMENT FILE NUMBER NCS-1018801-MPLS DATED MAY 29, 2020 AND THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA AND THE SURVEY ON WHICH IT IS BASED IT IS MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL FOR ALTA/ACM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016 AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11 AND 16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION

SIGNED THE 30TH DAY OF JUNE 2020.

Dennis M. Honsa



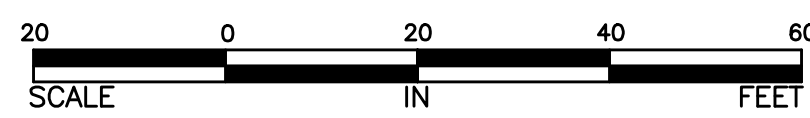
DENNIS M. HONSA
MINNESOTA LICENSE NO. 22440
FOR: HONSA SURVEYING

REVISED: 2020-07-20 INVERT AND CURB STOP

JOB NO. 127105

HONSA SURVEYING

1592 PACIFIC AVENUE, EAGAN, MN 55122 (651) 492-6725



ALTERATIONS TO THIS DRAWING ARE PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF HONSA SURVEYING COPYRIGHT 2020 HONSA SURVEYING.

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM ASBUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

ZONING:

THE PROPERTY IS ZONED COMMUNITY ACTIVITY CENTER DISTRICT (C-3A).

STRUCTURAL SETBACKS:

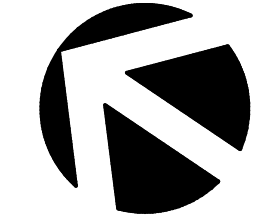
FRONT 0 UNLESS SUBJECT TO PROVISION
SIDE 0 UNLESS SUBJECT TO PROVISION
REAR 0 UNLESS SUBJECT TO PROVISION

FLOOD ZONE:

BY GRAPHIC INTERPRETATION ONLY, THIS PROPERTY LIES IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 27053C0387F. SAID RATE MAP HAS AN EFFECTIVE DATE OF NOVEMBER 4, 2016. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

SITE PLAN NOTES

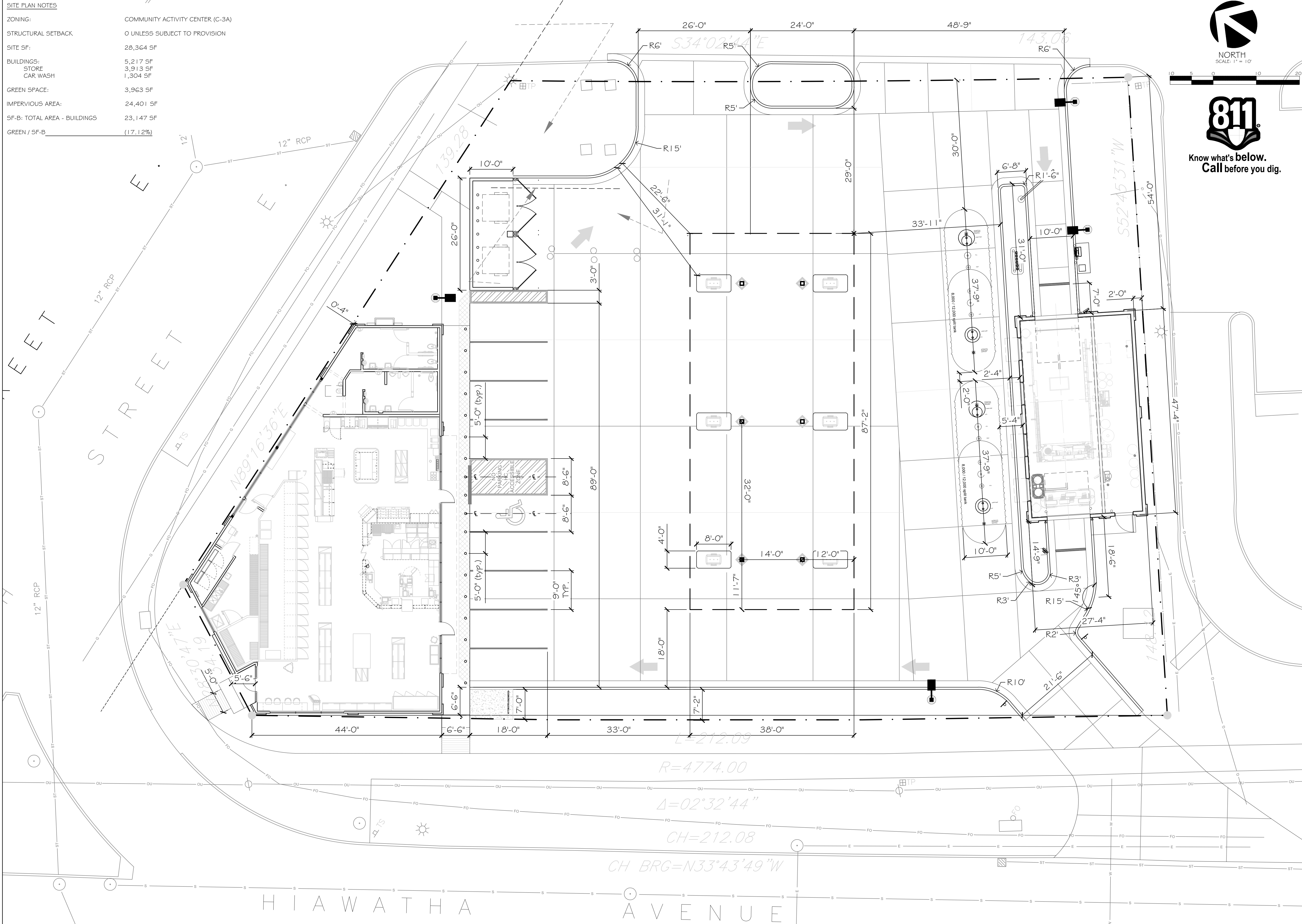
ZONING: COMMUNITY ACTIVITY CENTER (C-3A)
 STRUCTURAL SETBACK: 0 UNLESS SUBJECT TO PROVISION
 SITE SF: 28,364 SF
 BUILDINGS: 5,217 SF
 STORE: 3,913 SF
 CAR WASH: 1,304 SF
 GREEN SPACE: 3,963 SF
 IMPERVIOUS AREA: 24,401 SF
 SF-B: TOTAL AREA - BUILDINGS: 23,147 SF
 GREEN / SF-B: (17.12%)



NORTH
SCALE: 1" = 10'



Know what's below.
Call before you dig.



INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3131 Ferndale Lane North, Suite 260
 Plymouth, Minnesota 55447
 763.383.8400
 fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: XXJULY20 Reg. No. 19306

Holiday
STATIONSTORE
#0332
 HIAWATHA AVE
 MINNEAPOLIS, MN

PROJECT NUMBER:	20-0332
DRAWN BY:	X
CHECKED BY:	X
MARK:	REVISION / ISSUE: DATE:
	CITY SUBMITTAL: 8-7-2020

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER:
TRAVIS COMER
 4567 AMERICAN BLVD. WEST
 MINNEAPOLIS, MN 55427-1123
 952.830.8713
 TCOMER@holidaycompanies.com

SITE DIMENSION PLAN

SP1.0

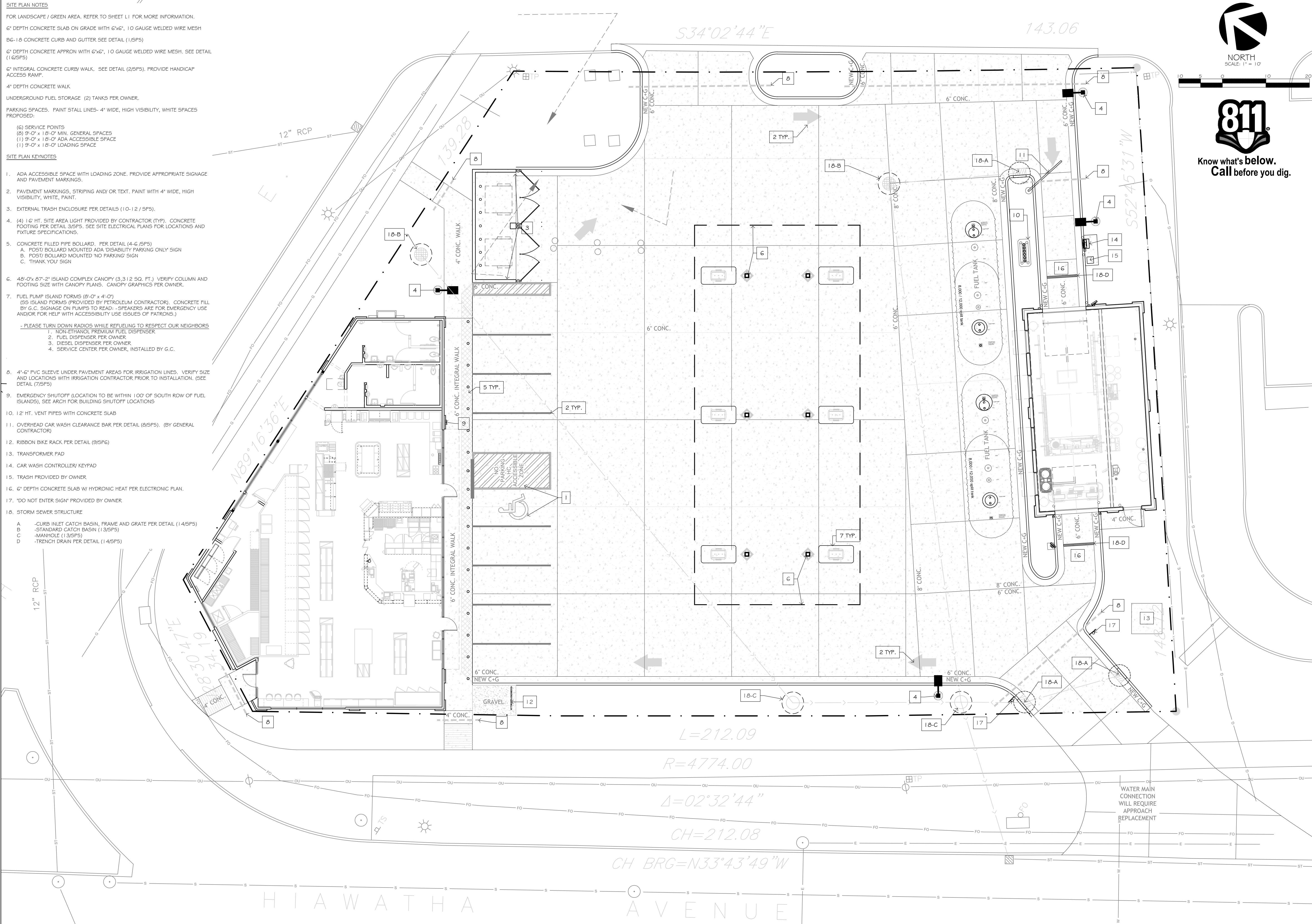
SITE PLAN NOTES

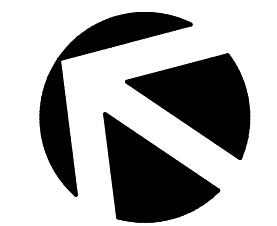

- FOR LANDSCAPE / GREEN AREA. REFER TO SHEET L1 FOR MORE INFORMATION.
- 6" DEPTH CONCRETE SLAB ON GRADE WITH 6"x6", 10 GAUGE WELDED WIRE MESH
 - 6"-18" CONCRETE CURB AND GUTTER SEE DETAIL (1/5P5)
 - 6" DEPTH CONCRETE APRON WITH 6"x6", 10 GAUGE WELDED WIRE MESH. SEE DETAIL (1/6P5)
 - 6" INTEGRAL CONCRETE CURB WALK. SEE DETAIL (2/5P5). PROVIDE HANDICAP ACCESS RAMP.
 - 4" DEPTH CONCRETE WALK
 - UNDERGROUND FUEL STORAGE (2) TANKS PER OWNER.
 - PARKING SPACES. PAINT STALL LINES- 4" WIDE, HIGH VISIBILITY, WHITE SPACES PROPOSED.
 - (6) SERVICE POINTS
 - (8) 9'-0" x 18'-0" MIN. GENERAL SPACES
 - (1) 9'-0" x 18'-0" ADA ACCESSIBLE SPACE
 - (1) 9'-0" x 18'-0" LOADING SPACE

SITE PLAN KEYNOTES

1. ADA ACCESSIBLE SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS.
2. PAVEMENT MARKINGS, STRIPING AND/OR TEXT. PAINT WITH 4" WIDE, HIGH VISIBILITY, WHITE, PAINT.
3. EXTERNAL TRASH ENCLOSURE PER DETAILS (1/0-1/2 / 5P5).
4. (4) 16 HT. SITE AREA LIGHT PROVIDED BY CONTRACTOR (TYP.). CONCRETE FOOTING PER DETAIL 3/5P5. SEE SITE ELECTRICAL PLANS FOR LOCATIONS AND FIXTURE SPECIFICATIONS.
5. CONCRETE FILLED PIPE BOLLARD. PER DETAIL (4-6/5P5)
 - A. POST/ BOLLARD MOUNTED ADA (DISABILITY) PARKING ONLY SIGN
 - B. POST/ BOLLARD MOUNTED NO PARKING SIGN
 - C. THANK YOU SIGN
6. 48'-0" x 87'-2" ISLAND COMPLEX CANOPY (3,312 SQ. FT.). VERIFY COLUMN AND FOOTING SIZE WITH CANOPY PLANS. CANOPY GRAPHICS PER OWNER.
7. FUEL PUMP ISLAND FORMS (8'-0" x 4'-0")
 - (55) ISLAND FORMS (PROVIDED BY PETROLEUM CONTRACTOR). CONCRETE FILL BY G.C. SIGNAGE ON PUMPS TO READ: - SPEAKERS ARE FOR EMERGENCY USE AND/OR FOR HELP WITH ACCESSIBILITY USE ISSUES OF PATRONS.)
 - PLEASE TURN DOWN RADIOS WHILE REFUELING TO RESPECT OUR NEIGHBORS
 - 1. NON-ETHANOL PREMIUM FUEL DISPENSER
 - 2. FUEL DISPENSER PER OWNER
 - 3. DIESEL DISPENSER PER OWNER
 - 4. SERVICE CENTER PER OWNER, INSTALLED BY G.C.
8. 4"-6" PVC SLEEVE UNDER PAVEMENT AREAS FOR IRRIGATION LINES. VERIFY SIZE AND LOCATIONS WITH IRRIGATION CONTRACTOR PRIOR TO INSTALLATION. (SEE DETAIL (7/5P5))
9. EMERGENCY SHUTOFF (LOCATION TO BE WITHIN 100' OF SOUTH ROW OF FUEL ISLANDS). SEE ARCH FOR BUILDING SHUTOFF LOCATIONS
10. 12" HT. VENT PIPES WITH CONCRETE SLAB
11. OVERHEAD CAR WASH CLEARANCE BAR PER DETAIL (8/5P5). (BY GENERAL CONTRACTOR)
12. RIBBON BIKE RACK PER DETAIL (9/5P5)
13. TRANSFORMER PAD
14. CAR WASH CONTROLLER/ KEYPAD
15. TRASH PROVIDED BY OWNER
16. 6" DEPTH CONCRETE SLAB W/ HYDRONIC HEAT PER ELECTRONIC PLAN.
17. "DO NOT ENTER SIGN" PROVIDED BY OWNER
18. STORM SEWER STRUCTURE

- A - CURB INLET CATCH BASIN, FRAME AND GRATE PER DETAIL (1/4/5P5)
- B - STANDARD CATCH BASIN (1/3/5P5)
- C - MANHOLE (1/3/5P5)
- D - TRENCH DRAIN PER DETAIL (1/4/5P5)




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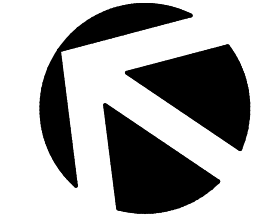
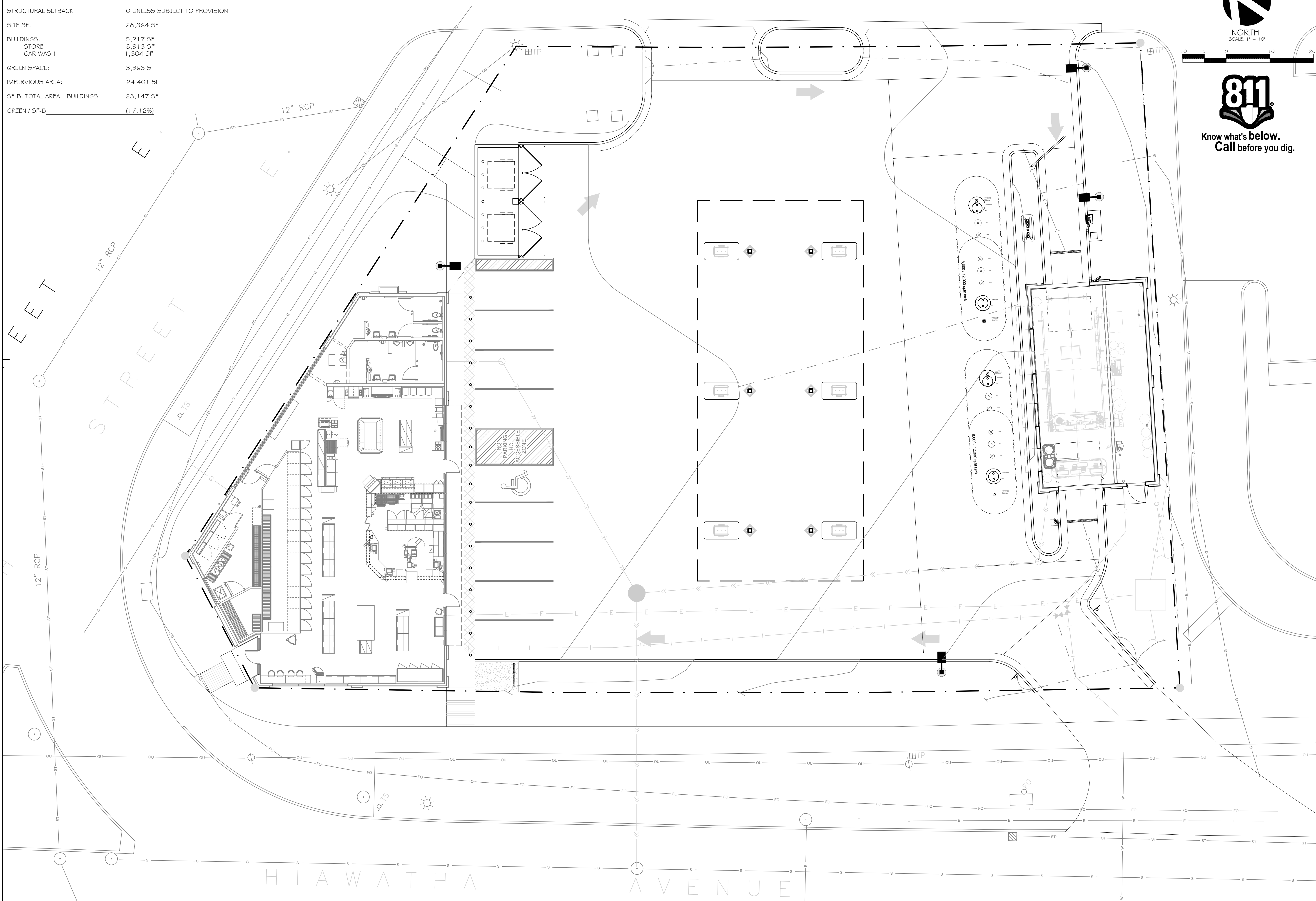
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 MINNEAPOLIS, MN 55427-1123
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SITE KEYNOTE
PLAN

SP1.1

SITE PLAN NOTES

ZONING: COMMUNITY ACTIVITY CENTER (C-3A)
 STRUCTURAL SETBACK: 0 UNLESS SUBJECT TO PROVISION
 SITE SF: 28,364 SF
 BUILDINGS: 5,217 SF
 STORE: 3,913 SF
 CAR WASH: 1,304 SF
 GREEN SPACE: 3,963 SF
 IMPERVIOUS AREA: 24,401 SF
 SF-B: TOTAL AREA - BUILDINGS: 23,147 SF
 GREEN / SF-B: (17.12%)



NORTH
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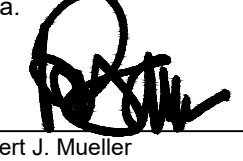


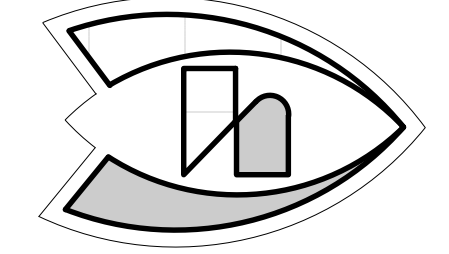
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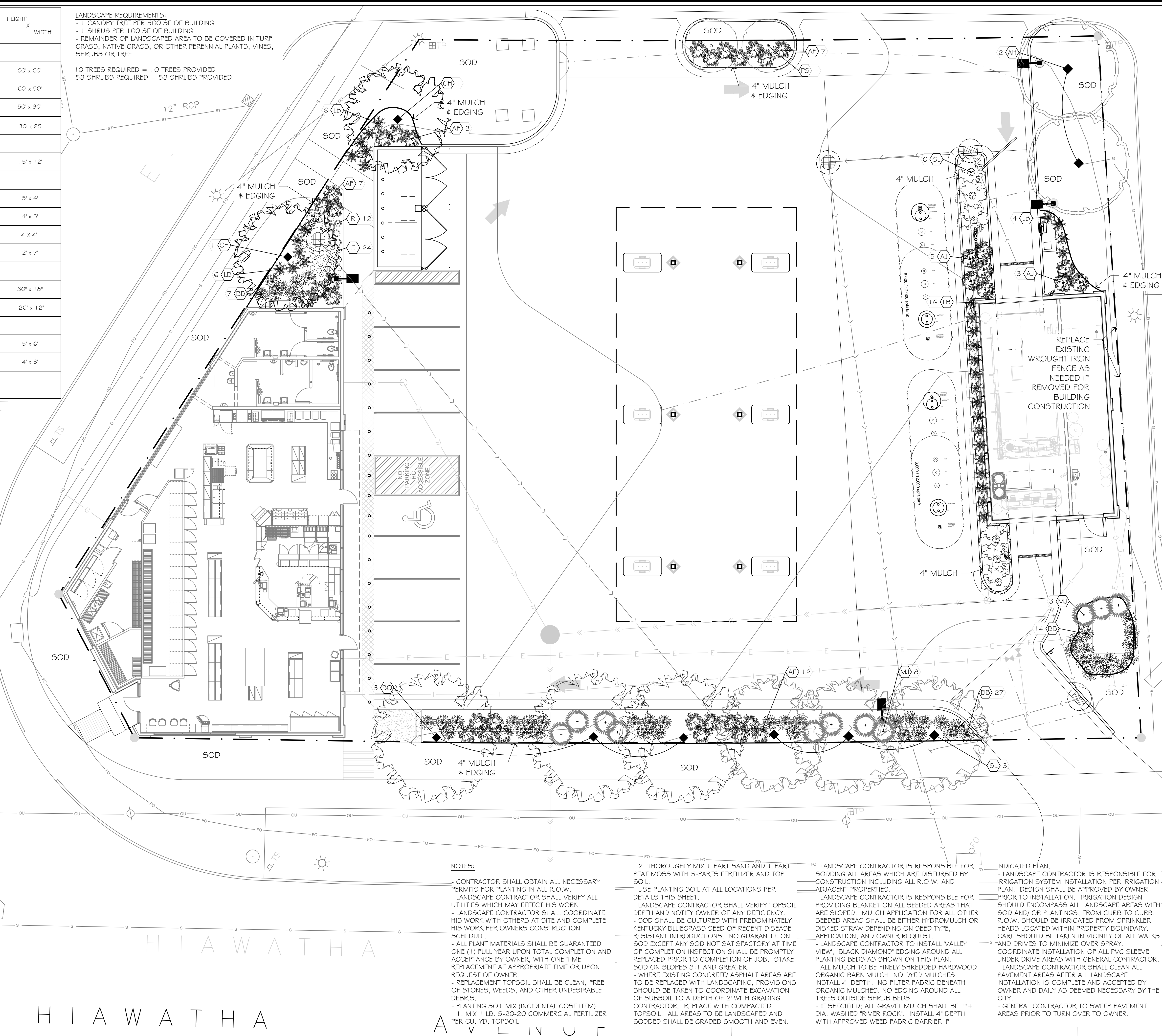
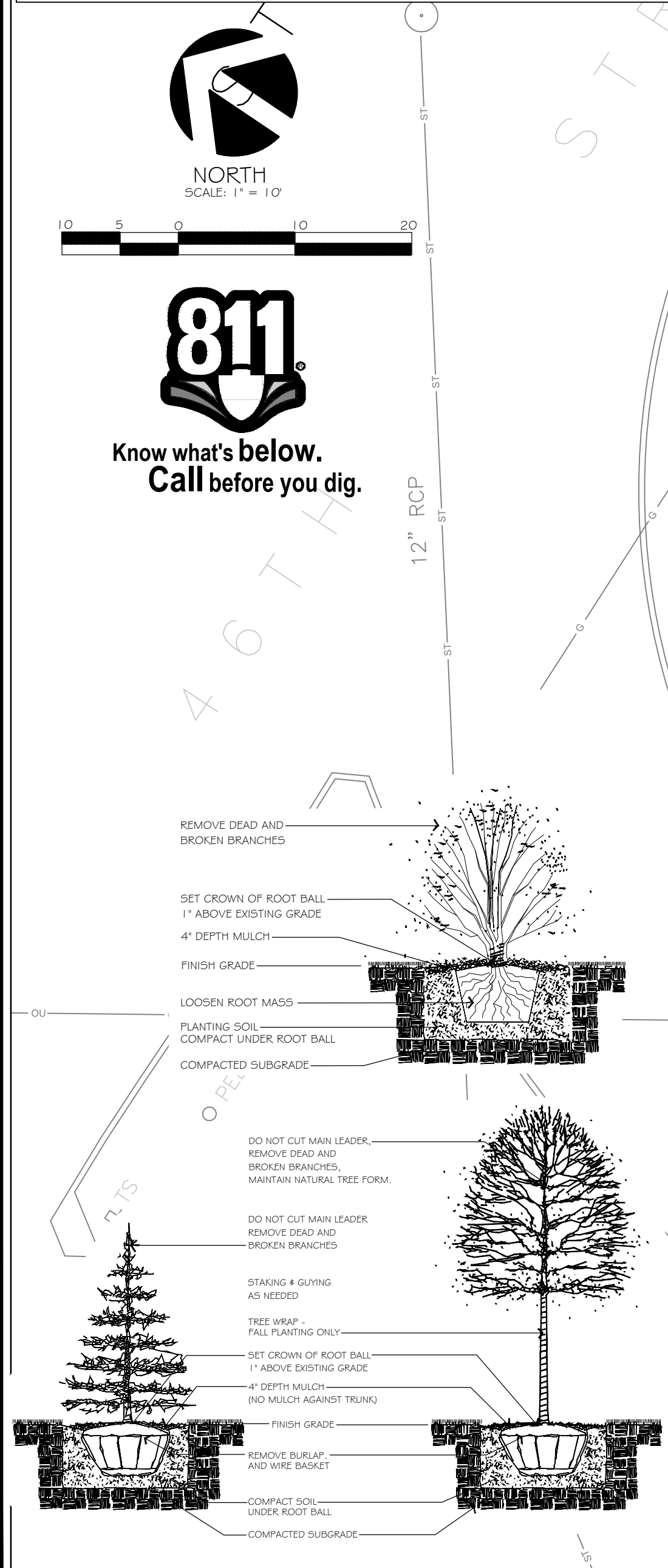
LANDSCAPE PLAN
IMPERVIOUS AREA

L1.0

PLANT MATERIAL					
	QUANTITY	SIZE	ROOT TYPE	COMMON NAME BOTANICAL NAME	HEIGHT X WIDTH
OVERSTORY TREES					
BO	3	2.5' CAL.	B&B	BUR OAK <i>Quercus macrocarpa</i>	60' x 60'
CH	2	2.5' CAL.	B&B	COMMON HACKBERRY <i>Celtis occidentalis</i>	60' x 50'
SL	3	2.5' CAL.	B&B	SKYLINE HONEYLOCUST <i>Gleditsia tricanthos var. inermis 'Skycole'</i>	50' x 30'
AH	2	2.5' CAL.	B&B	AMERICAN HORNBEAM <i>Carpinus betulus 'Pendula'</i>	30' x 25'
UNDERSTORY TREES					
PS	2	2' CAL.	B&B	PINK SPIRES CRAB <i>Malus 'Pink Spires'</i>	15' x 12'
SHRUBS					
AJ	8	#3 CONT	pot	AMBER JUBILEE NINEBARK <i>Physocarpus opulifolius 'Jefam'</i>	5' x 4'
MJ	11	#3 CONT	pot	MANEY JUNIFER <i>Juniperus chinensis 'Maney'</i>	4' x 5'
AF	29	#3 CONT	pot	ARCTIC FIRE DOGWOOD <i>Cornus stolonifera 'Farrow'</i>	4 x 4'
GL	6	#3 CONT	pot	GRO-LOW FRAGRANT SUMAC <i>Rhus aromatica 'Gro-Low'</i>	2' x 7'
PERENNIALS					
R	12	#1 CONT	pot	GOLDSTRUM RUDBECKIA <i>Rudbeckia 'Goldstrum'</i>	30" x 18"
E	24	#1 CONT	pot	FATAL ATTRACTION CONEFLOWER <i>Echinacea purpurea 'Fatal Attraction'</i>	26" x 12"
GRASSES					
BB	48	#1 CONT	pot	BIG BLUESTEM <i>Andropogon gerardii</i>	5' x 6"
LB	32	#1 CONT	pot	LITTLE BLUE STEM <i>Schizachyrium scoparium</i>	4' x 3"

LANDSCAPE REQUIREMENTS:
 - 1 CANOPY TREE PER 500 SF OF BUILDING
 - 1 SHRUB PER 100 SF OF BUILDING
 - REMAINDER OF LANDSCAPED AREA TO BE COVERED IN TURF GRASS, NATIVE GRASS, OR OTHER PERENNIAL PLANTS, VINES, SHRUBS OR TREE

10 TREES REQUIRED = 10 TREES PROVIDED
 53 SHRUBS REQUIRED = 53 SHRUBS PROVIDED



NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY EFFECT HIS WORK.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND COMPLETE HIS WORK PER OWNERS CONSTRUCTION SCHEDULE.
- ALL PLANT MATERIALS SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME OR UPON REQUEST OF OWNER.
- REPLACEMENT TOPSOIL SHALL BE CLEAN, FREE OF STONES, WEEDS, AND OTHER UNDESIRABLE DEBRIS.
- PLANTING SOIL MIX (INCIDENTAL COST ITEM) 1. MIX 1 LB. 5-20-20 COMMERCIAL FERTILIZER PER CU. YD. TOPSOIL
- 2. THOROUGHLY MIX 1-PART SAND AND 1-PART PEAT MOSS WITH 5-PARTS FERTILIZER AND TOP SOIL.
- USE PLANTING SOIL AT ALL LOCATIONS PER DETAILS THIS SHEET.
- LANDSCAPE CONTRACTOR SHALL VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD SHALL BE CULTURED WITH PREDOMINATELY KENTUCKY BLUEGRASS SEED OF RECENT DISEASE RESISTANT INTRODUCTIONS. NO GUARANTEE ON SOD EXCEPT ANY SOD NOT SATISFACTORY AT TIME OF COMPLETION INSPECTION SHALL BE PROMPTLY REPLACED PRIOR TO COMPLETION OF JOB. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING CONCRETE/ ASPHALT AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 2' WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE EITHER HYDROMULCH OR DISKED STRAW DEPENDING ON SEED TYPE, APPLICATION, AND OWNER REQUEST.
- LANDSCAPE CONTRACTOR TO INSTALL 'VALLEY VIEW' 'BLACK DIAMOND' EDGING AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
- ALL MULCH TO BE FINELY SHREDDED HARDWOOD ORGANIC BARK MULCH. NO DYED MULCHES. INSTALL 4" DEPTH. NO FILTER FABRIC BENEATH ORGANIC MULCHES. NO EDGING AROUND ALL TREES OUTSIDE SHRUB BEDS.
- IF SPECIFIED, ALL GRAVEL MULCH SHALL BE 1"+ DIA. WASHED 'RIVER ROCK'. INSTALL 4" DEPTH WITH APPROVED WEED FABRIC BARRIER IF INDICATED PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SYSTEM INSTALLATION PER IRRIGATION PLAN. DESIGN SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND/OR PLANTINGS, FROM CURB TO CURB. R.O.W. SHOULD BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY.
- CARE SHOULD BE TAKEN IN VICINITY OF ALL WALKS AND DRIVES TO MINIMIZE OVER SPRAY.
- COORDINATE INSTALLATION OF ALL PVC SLEEVE UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER AND DAILY AS DEEMED NECESSARY BY THE CITY.
- GENERAL CONTRACTOR TO SWEEP PAVEMENT AREAS PRIOR TO TURN OVER TO OWNER.

INSITES
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 Plymouth, Minnesota 55547
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Signed:
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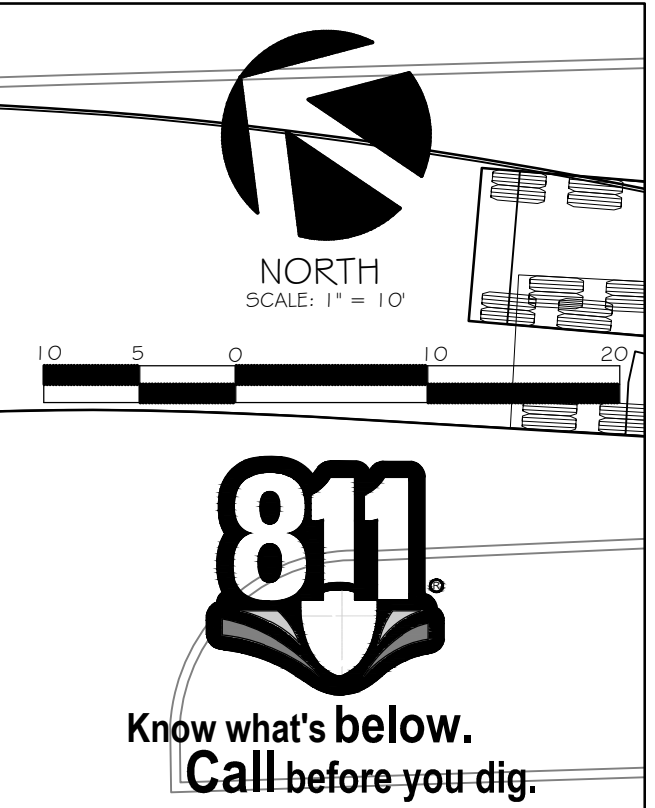
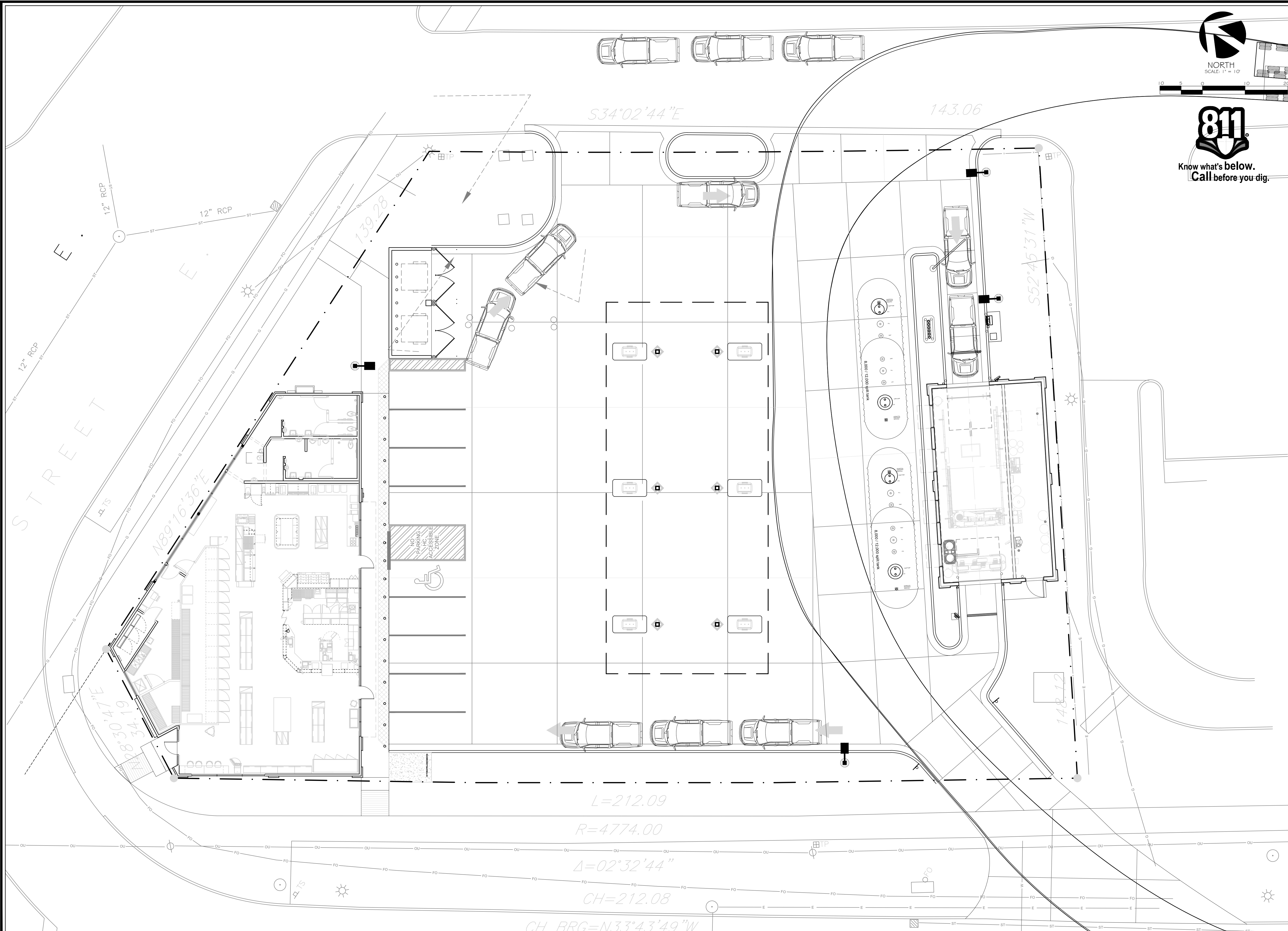
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LANDSCAPE PLAN

L1.1



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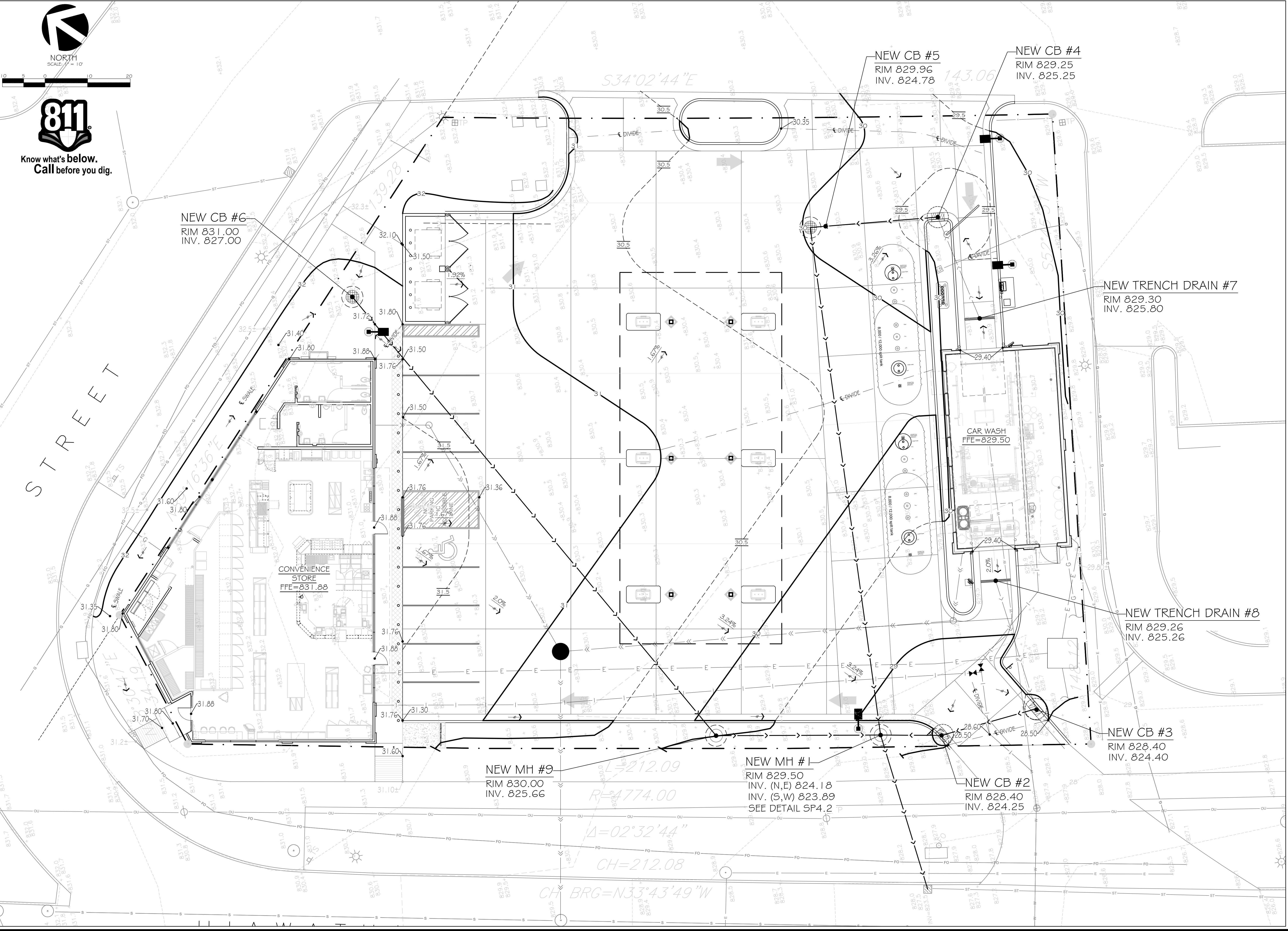
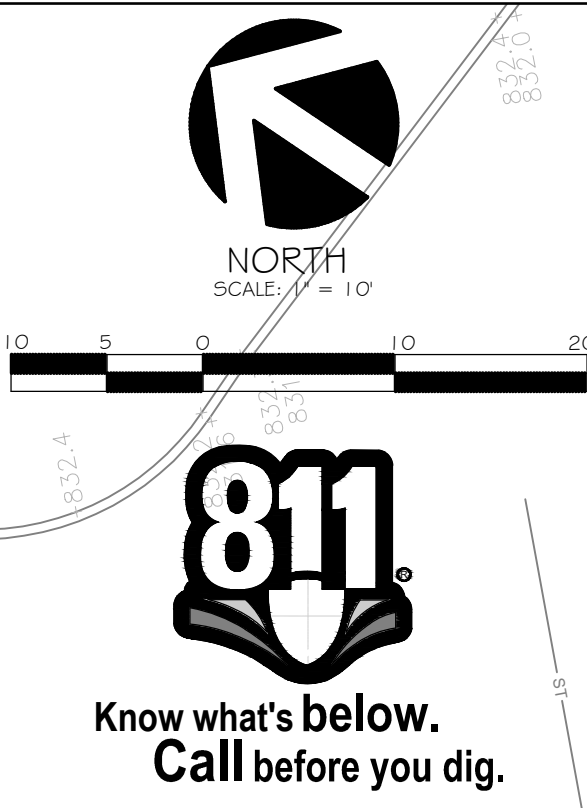
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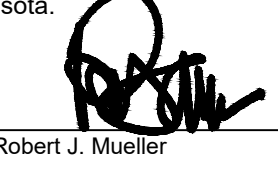
SITE CIRCULATION PLAN

SP1.2



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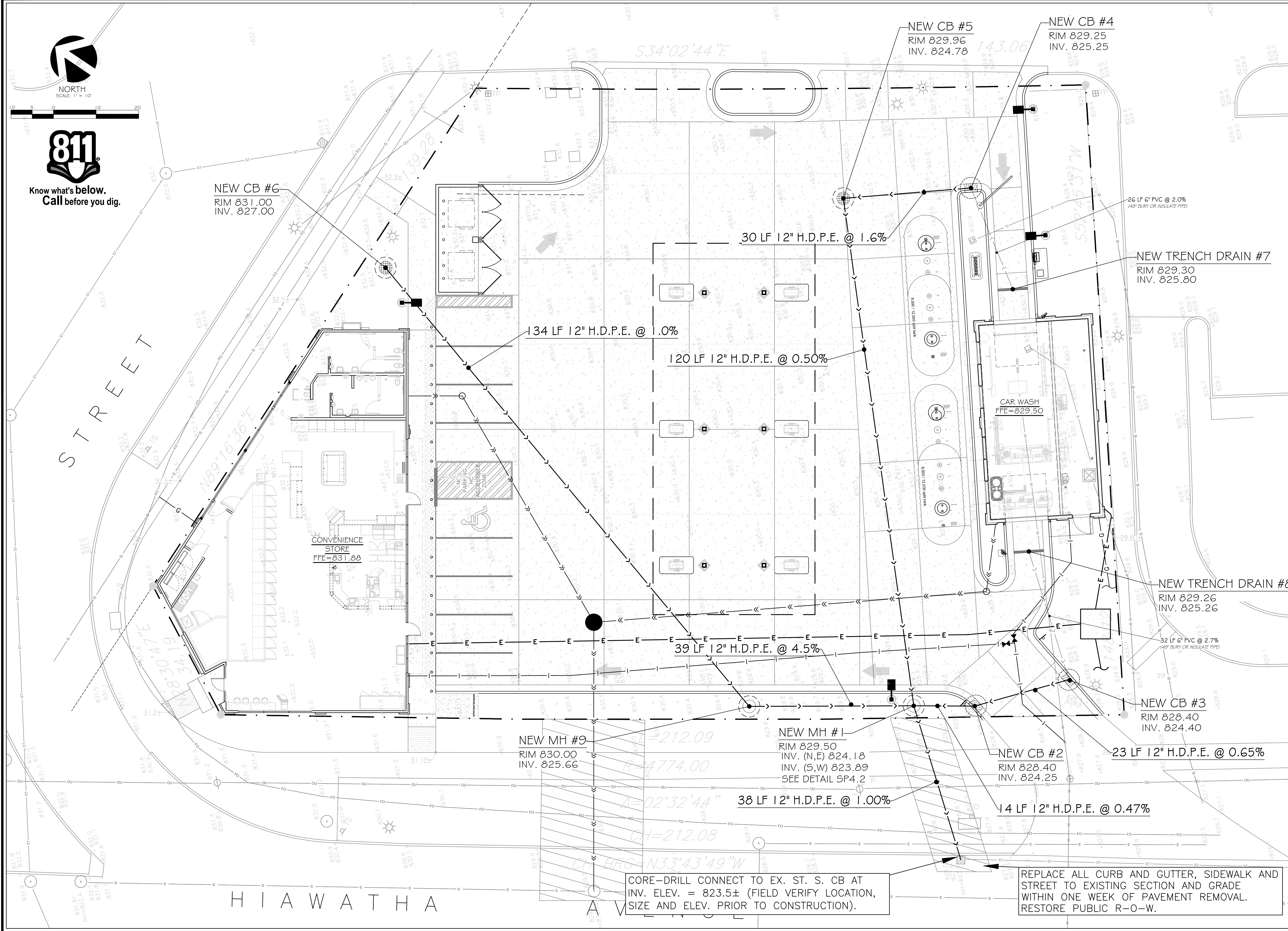


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GRADE PLAN

SP2



NEW CB #6
RIM 831.00
INV. 827.00

NEW CB #5
RIM 829.96
INV. 824.78

NEW CB #4
RIM 829.25
INV. 825.25

30 LF 12" H.D.P.E. @ 1.6%

NEW TRENCH DRAIN #7
RIM 829.30
INV. 825.80

134 LF 12" H.D.P.E. @ 1.0%

120 LF 12" H.D.P.E. @ 0.50%

CAR WASH
FFE=829.50

NEW TRENCH DRAIN #8
RIM 829.26
INV. 825.26

39 LF 12" H.D.P.E. @ 4.5%

NEW CB #3
RIM 828.40
INV. 824.40

NEW MH #9
RIM 830.00
INV. 825.66

NEW MH #1
RIM 829.50
INV. (N,E) 824.18
INV. (S,W) 823.89
SEE DETAIL SP.4.2

NEW CB #2
RIM 828.40
INV. 824.25

23 LF 12" H.D.P.E. @ 0.65%

38 LF 12" H.D.P.E. @ 1.00%

14 LF 12" H.D.P.E. @ 0.47%

CORE-DRILL CONNECT TO EX. ST. S. CB AT
INV. ELEV. = 823.5± (FIELD VERIFY LOCATION,
SIZE AND ELEV. PRIOR TO CONSTRUCTION).

REPLACE ALL CURB AND GUTTER, SIDEWALK AND
STREET TO EXISTING SECTION AND GRADE
WITHIN ONE WEEK OF PAVEMENT REMOVAL.
RESTORE PUBLIC R-O-W.

Sunde
Engineering, PLLC.

SUNDE ENGINEERING, PLLC.
10300 NESSITT AVENUE SOUTH
BLOOMINGTON, MINNESOTA 55437
(952) 881-3344 TELEPHONE
(952) 881-1913 FAX
www.sundeiv.com

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I AM
A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MINNESOTA.

Brian H. Muckstock
Brian H. Muckstock
DATE: 08/07/20 REG. NO.: 23468

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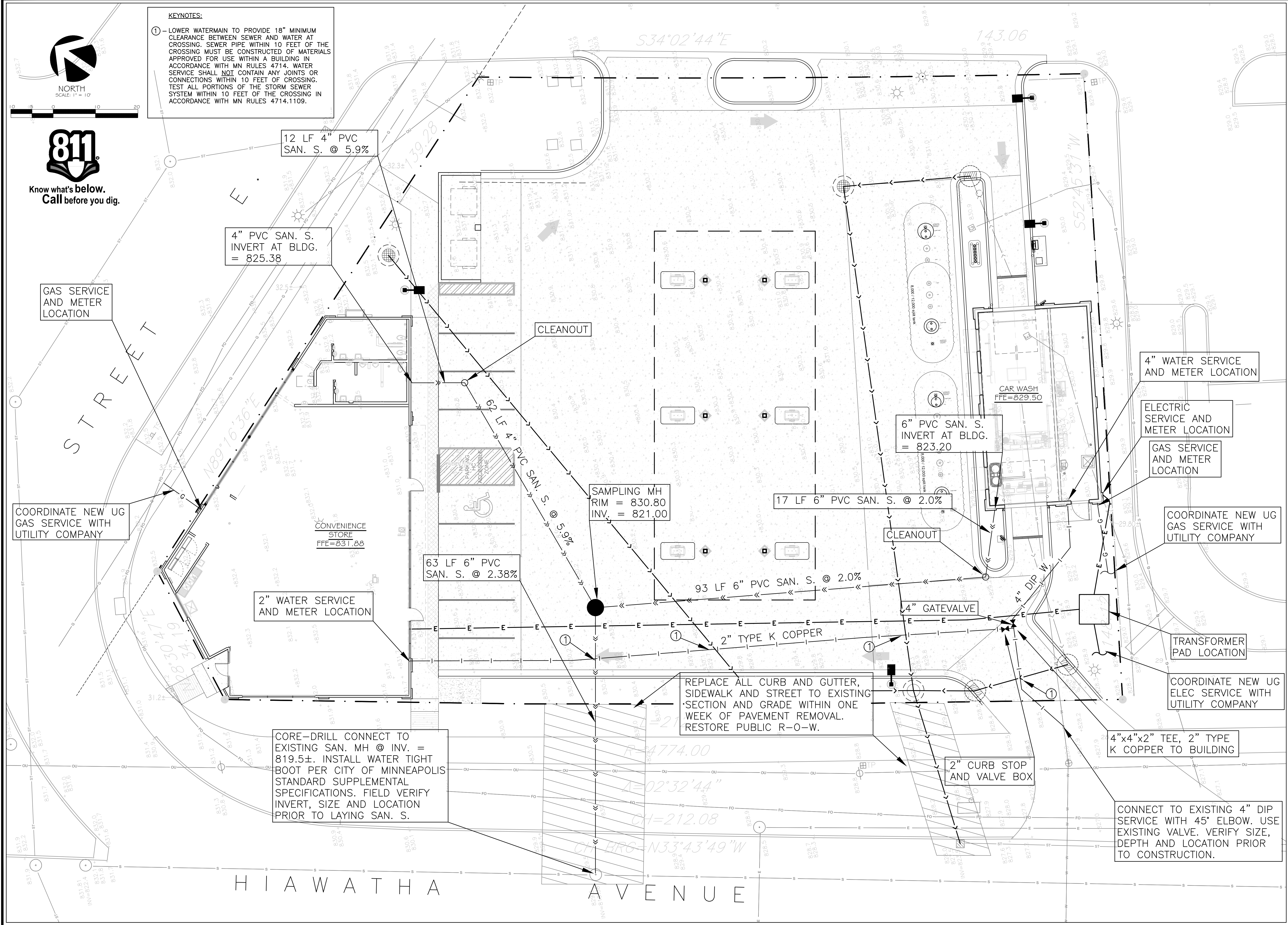
**STORM SEWER
PLAN**

SP3



KEYNOTES:

① - LOWER WATERMAIN TO PROVIDE 18" MINIMUM CLEARANCE BETWEEN SEWER AND WATER AT CROSSING. SEWER PIPE WITHIN 10 FEET OF THE CROSSING MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING IN ACCORDANCE WITH MN RULES 4714. WATER SERVICE SHALL NOT CONTAIN ANY JOINTS OR CONNECTIONS WITHIN 10 FEET OF CROSSING. TEST ALL PORTIONS OF THE STORM SEWER SYSTEM WITHIN 10 FEET OF THE CROSSING IN ACCORDANCE WITH MN RULES 4714.1109.



Sunde Engineering, PLLC.
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 (952) 881-1813 FAX
 www.sundeecivil.com

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UTILITY PLAN

SP4

G E N E R A L :

- 1. Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Henry Sundt & Sons, LLC, dated 06/30/2010. The Engineer is not responsible for inaccuracies related to the survey information.
2. Perform all construction work in accordance with State and Local requirements.
3. Perform all construction activity in accordance with the Minnesota Pollution Control Agency GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY issued August 1, 2018 and all subsequent amendments thereto.
4. Comply with all applicable local, state, and federal safety regulations. Comply with the work safety practices specified by the Occupational Safety and Health Administration (OSHA). OSHA prohibits entry into confined spaces, such as manholes and inlets (see 29 CFR Section 1910.146), without undertaking certain specific practices and procedures.
5. Safety is solely the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the Work.
6. The Engineer shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work.
7. Examine all local conditions at the site, and assume responsibility as to the grades, contours, and the character of the earth, existing conditions, and other items that may be affected during excavation work above or below the existing grades.
8. Refer to the architectural plans for building and stoop dimensions, site layout and dimensions, pavement sections and details, striping, and other site features.
9. A licensed surveyor shall perform construction staking. The Contractor shall provide and be responsible for the staking.
10. Provide temporary fences, barricades, coverings, and other protections in order to preserve existing items to remain, and to prevent injury or damage to person or property.
11. Provide all traffic control required in order to construct the proposed improvements.
12. Connect to existing sanitary sewer MH's by corereading.
13. Completely remove existing concrete and masonry structures that are located within the proposed building and future building expansion areas.
14. Testing and Inspections: All plumbing installations, including water and sewer services, must be inspected in accordance with the requirements of the Minnesota Plumbing Code (Minnesota Rules Chapter 4714).
15. Coordinate building utility connection locations at 2 ft. out from the proposed building with the Interior Plumbing Contractor prior to construction.
16. The subsurface utility information shown on this plan is utility Quality Level D.
17. The locations of existing utilities shown on this plan are from record information.
18. The Contractor is solely responsible for all utility locations.
19. Patholve to verify the positions of existing underground facilities at a sufficient number of locations in order to assure that no conflict with the proposed work exists and that sufficient clearance is available.
20. Where existing gas, electric, cable, or telephone utilities conflict with the Work, coordinate the abandonment, relocation, offset, or support of the existing utilities with the appropriate local utility companies.
21. When working near existing telephone or electric poles, brace the poles for support.
22. Temporary support systems are the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the temporary support systems.
23. Arrange for and secure suitable disposal areas off-site.
24. Store and protect existing site features that need to be removed and replaced in connection with the Work.
25. Straight line saw-cut existing bituminous or concrete surfacing at the perimeter of

- pavement removal areas. Use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system.
26. Relocate overhead power, telephone, and cable lines as required.
27. All materials required for this work shall be new material conforming to the requirements for class, kind, grade, size, quality, and other details specified herein or as shown on the Plans.
28. Reconstruct driveways and patch street to match existing pavement section and grade.
29. Cut turf edges in order to allow for a uniform straight edge at locations where new sod meets existing turf.
30. Document existing conditions (photographs, video, field survey, etc.) in order to enable restoration to match existing conditions and in order to ensure that restored areas have positive drainage similar to existing conditions.
31. Provide positive drainage away from buildings at all times.
32. Protect all structures and landscaping not labeled for demolition from damage during construction.
33. Protect sub grades from damage by surface water runoff.
34. Full design strength is not available in bituminous pavement areas until the final lift of asphalt is compacted into place.
35. When sawing or drilling concrete or masonry, use saws that provide water to the blade.
36. Adjust all public and private structures including curb stops, valve boxes, maintenance hole castings, catchbasin castings, cleanout covers, and similar items to finished grade.
37. 2% maximum slope in all directions in handicapped accessible parking areas.
38. Install all pipe with the ASTM identification numbers on the top for inspection.
39. Obtain and pay for all permits, tests, inspections, etc. required by agencies that have jurisdiction over the project including the NPDES permit from the State.
40. Measure pipe lengths from center-of-structure to center-of-structure, or to the end of aprons.
41. Obtain permits from the City for work in the public right-of-way.
42. Refer to the geotechnical report by the Soils Engineer for dewatering requirements.
43. Test boring data shown on the plans were accumulated for designing and estimating purposes.
44. The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet.
45. Insulate utility lines at locations indicated on the plans.
46. Construct sanitary sewer, watermain, and storm sewer utilities in accordance with the City Engineer's Association of Minnesota Standard Specifications sections 2600, 2611, and 2621 dated 2013, or the latest revised edition.
47. These plans, prepared by Sunde Engineering, PLLC, do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents, or representatives in the performance of the work.
48. Existing utilities shown on this plan are located as accurately as possible.
49. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade.
50. See architectural for building waterproofing and foundation drainage.
51. Place #3 rebar at 3' on center in all 6" thick concrete pavement locations.
52. Place #4 x 2'-0" tie bar at 3' on center in all concrete curb and gutter.
53. Record as-built information as construction progresses or at appropriate construction intervals.
54. Test reports required for project close-out include, but are not limited to: density test reports, bacteriological tests on the water system, pressure tests on the water system, leak tests on the sewer system, deflection tests on all HDPE pipe.

W A T E R D I S T R I B U T I O N S Y S T E M :

- 1. Bring all site utilities to 2' outside of the building line with the exception of the water service.
2. Separation of Water and Sewer: Construct sewer and water services in accordance with Minnesota Rules, part 4714.0721 and Uniform Plumbing Code (UPC) parts 720.0 and 721.0.
3. Watermain Depth: Maintain 8-foot of cover over the top of the water lines to the finished grade.
4. Disinfection: Disinfect all completed watermain in accordance with AWWA Standard C651.
5. Testing: Pressure test and perform bacteriological tests on all water lines under the supervision of the City Public Works Department.
6. All water supply piping connected to municipal water main must have a 150 psi minimum pressure rating.
7. Copper tube for water services must comply with ASTM B88 and shall have a weight not less than Type L (in accordance with Minnesota Rules part 4714.0604 and UPC part 604.0.)
8. Ductile iron pipe (DIP) water services must comply with AWWA C151/ANSI A21.51 or AWWA C115/ANSI A21.15.
9. Polyvinyl Chloride (PVC) Building Water Services must comply with ASTM D1785, ASTM D2241, or AWWA C900; pressure rated for water (See Minnesota Rules part 4714.0604 and UPC part 604.0.).
10. Polyvinyl Chloride (PVC) Watermain: Use AWWA C900 for all PVC watermain furnished with integral elastomeric bell and spigot joints.
11. Use mechanical joint restraint devices for joint restraint on all watermain bends having a vertical or horizontal deflection of 22-1/2 degrees or greater.
12. Watermain Valves: At all valve locations which require a 12" or smaller valve, install gate valves which are one of the compression resilient seated (CRS) type.
13. Curb Valves and Boxes: Use Mueller H-10334 extension type curb box with Minneapolis pattern base, or approved equal, at all 2" through 24" curb stop locations.
14. Do not connect new watermain to existing until the new water main is pressure tested and nonconductive.
15. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade.
16. Threaded hose connections including hose bibbs and hydrants must include a back flow prevention device in accordance with Minnesota Rules, part 4714.0603 and UPC part 603.0.
17. All newly installed or replacement pipes, pipe fittings, plumbing fittings and fixtures, including backflow preventers, that are installed on potable water systems or systems that are designed to distribute water for potable use, are required to meet the Reduction of Lead in Drinking Water Act, which establishes a maximum lead content of 0.25 percent by weighted average of the wetted surfaces.
18. Do not exceed the manufacturer's specifications for curvature of pipe and deflection at pipe joints.
19. Insulate the watermain at locations indicated on the plans.
20. Construct sanitary sewer, watermain, and storm sewer utilities in accordance with the City Engineer's Association of Minnesota Standard Specifications sections 2600, 2611, and 2621 dated 2013, or the latest revised edition.
21. Street lighting installed as part of the project shall be inspected by the City.
22. An obstruction permit is required anytime construction work is performed in the Public right-of-way.
23. Contact Alan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
24. All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
25. Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
26. The Contractor, Property Owner or Responsible Party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or restriction related to or in the location of the proposed Stormwater Management BMP.
27. Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings.
28. No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit.
29. Permits and approval are required from Environmental Services for the following activities:
30. Record as-built information as construction progresses or at appropriate construction intervals.

C I T Y O F M I N N E A P O L I S N O T E S :

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10. Record as-built information as construction progresses or at appropriate construction intervals.

S A N I T A R Y S E W E R :

- 1. Unless otherwise indicated, use reinforced, precast, concrete maintenance holes conforming to ASTM C478, furnished with precast bases.
2. All joints and connections in the sewer system shall be gastight or watertight.
3. The building sewer starts 2 feet outside of the building.
4. The exterior sanitary sewer piping must comply with the following requirements:
5. Pipe: Use solid-core, Schedule 40 Polyvinyl Chloride (PVC) Plastic Pipe for all designated PVC sanitary sewer services outside of the building.
6. Cleanouts: Install cleanouts on all sanitary sewer services in accordance with UPC part 719.0 and 1101.12.
7. Testing: Pressure test all sanitary sewer lines in accordance with the Minnesota Rules parts 4714.0712 and 4714.0723 and UPC parts 712.0 and 723.0.
8. Install flexible watertight frame/chimney seals on all sanitary sewer maintenance holes in order to seal the outside of the chimney from the cast iron frame down to the cone.
9. Use Neenoh Foundry Co. R-1642 coating with self-sealing, solid, type B lid, or approved equal, on all sanitary sewer maintenance holes.
10. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade.
11. The minimum depth of cover for sanitary sewer without insulation is 5 feet.
12. Install all pipe with the ASTM identification numbers on the top for inspection.
13. All saddle tee or wye fittings must provide an integrally molded pipe stop in the branch for positive protection against service pipe insertion beyond the inside of the sewer main pipe wall.
14. Terminate all new sewer stubs with a water-tight gasketed cap properly braced in order to withstand the infiltration-exfiltration test.
15. Teleview all existing lines prior to connection.

Sunde Engineering, PLLC logo with contact information: 10630 NESBITT AVENUE SOUTH BLOOMINGTON, MINNESOTA 55447 (952) 881-3344 TELEPHONE (952) 881-1913 FAX www.sundeincvl.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Signature of Brian H. Kudstock, Date: 08/07/20, REG. NO.: 23468

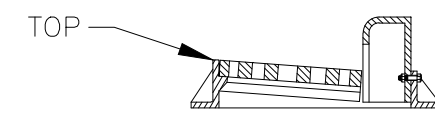
Holiday Station Store #0332
10630 Nesbitt Avenue South, Minneapolis, MN
PROJECT NUMBER: 20-0332
DRAWN BY: X
CHECKED BY: X
MARK: REVISION / ISSUE: DATE: 6-7-2020

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER: TRAVIS COMER 4567 AMERICAN BLVD, WEST MINNEAPOLIS, MN 55437-1123 (952) 881-8715 TCOMER@holidaycompanies.com

UTILITY NOTES
SP4.1
Insities Site Planning Landscape Architecture Inc. 20-026

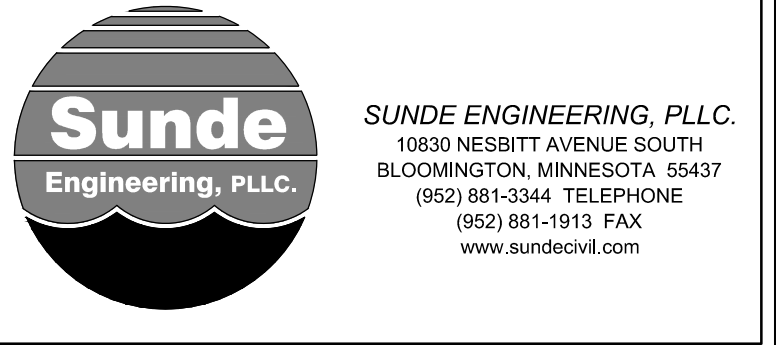
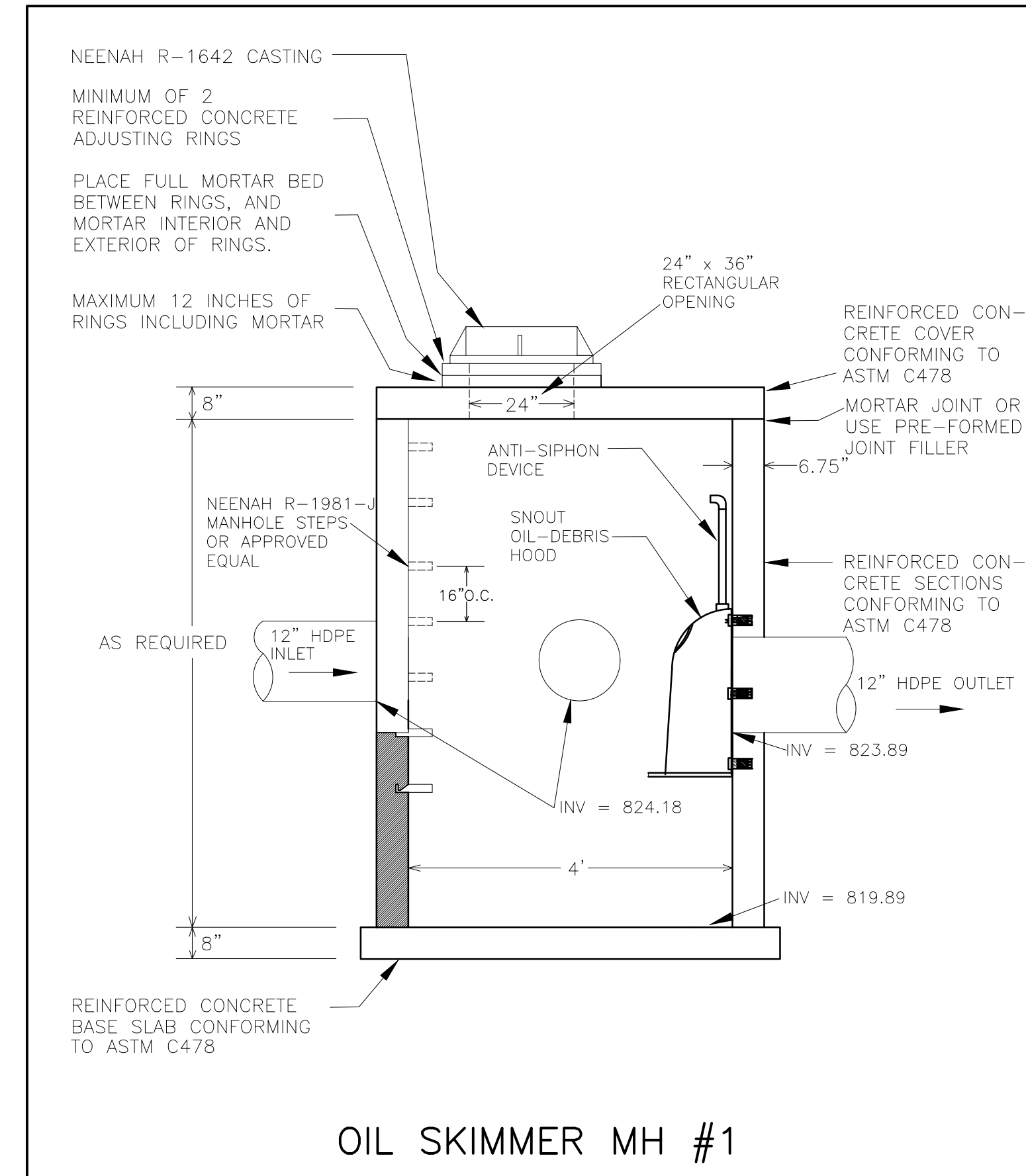
STORM DRAINAGE :

- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches.
- Install catchbasin castings with specified top elevation at the front rim.
- All joints and connections in the storm sewer system shall be gastight or watertight. Use flexible compression joints to make watertight connections to manholes in accordance with Minnesota Rules part 4714.0719.6. Where permitted by the administrative authority, approved resilient rubber seals or waterstop gaskets may be used in order to make watertight connections to manholes, catchbasins, and other structures. Use Fernco "Concrete Manhole Adaptors" or "Large Diameter Waterstops", Press-Seal "Waterstop Grouting Rings", or approved equal. Cement mortar joints alone are not allowed unless making repairs or connections to existing lines having such joints.
- The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.
- The exterior storm water piping must comply with the following requirements: (A) Double wyes may not be used for drainage fittings in the horizontal position (see Minnesota Rules, Chapter 4714, Section 310.5), because proper pipe slope cannot be maintained on both of the lateral branches. (B) Changes in direction in drainage piping must be made by appropriate use of wyes and bends (see Minnesota Rules, Chapter 4714, Section 706.0). When connecting any vertical drop to a horizontal run, use a wye and a 1/8 bend (45 deg), or a sanitary combo. A sanitary combo is a combination wye and a 1/8 bend combined in a single fitting. The reason is to form a long radius bend in order to insure that the waste is directed in the downstream direction as it enters the horizontal run. Tees are not allowed where the direction of flow changes from either vertical to horizontal or horizontal to horizontal.
- PVC Pipe (Outside of the Building):** Use solid-core, Schedule 40 Polyvinyl Chloride (PVC) Plastic Pipe for all designated PVC storm sewer services outside of the building. The PVC pipe shall meet or exceed the industry standards and requirements as set forth by the American Society for Testing and Materials (ASTM) D1785 and D2665. Fittings must comply with ASTM D1866, D2665, or F794. Joints must be approved mechanical or push-on utilizing an elastomeric seal. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of ASTM F656 purple primer and cement in accordance with Uniform Plumbing Code (UPC), part 605.13.2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. The installation must comply with ASTM D2321, which requires open-trench installation on a continuous granular bed.
- Cleanouts:** Install cleanouts on all roof drains. Cleanouts shall be installed at every wye, sweep, and bend. Install cleanouts on all storm sewer services in accordance with UPC part 719.0 and 1101.12. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 4-inch and over in size. Cleanouts shall be of the same nominal size as the pipes they serve. Include frost sleeves and concrete frame and pipe support. Install a meter box frame and solid lid (Neehah R-1914-A, or approved equal) over all cleanouts. Provide cleanouts at the base of the roof leader connections at the gas island pump stations.
- Fittings:** Provide directional fittings for the storm piping serving the gas island pump stations. All changes in direction of flow in drain piping shall be made by the appropriate use of 45 degree wyes, long or short sweep quarter bends, sixth, eighth, or sixteenth bends, or by a combination of these or other equivalent fittings.
- RCP:** Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C75, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Joints shall be made up of concrete surfaces with a groove on the spigot for an O-ring rubber gasket (also referred to as a confined O-ring type joint) in accordance with ASTM C361. These joints are normally used in gravity sewers where exceptional tightness is required. This type of joint provides excellent inherent water tightness in both the straight and deflected position and meets all the joint requirements of ASTM C443.
- RC Aprons:** Install a reinforced concrete apron on the free end of all daylighted RCP storm sewer pipes. Tie the last three sections (including apron) of all daylighted RCP storm sewer with a minimum of two tie bolt fasteners per joint. This requirement applies to both upstream and downstream pipe inlets and outlets. For concrete culverts, tie all joints. Ties to be used only to hold the pipe sections together, not for pulling the sections tight. Nuts and washers are not required on inside of 675 mm (27 inch) or less diameter pipes.
- Grates on horizontal pipes:** Install safety-trash grates on all horizontal inlets/outlets greater than 6 inches in diameter. The grates shall be placed so that the rods or bars are not more than 3 inches downstream of the inlet/outlet. Rods or bars shall be spaced so that the openings do not permit the passage of a 6-inch sphere.
- Testing:** Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated in accordance with the Minnesota Rules part 4714.1109 and UPC part 1109.0. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
- Drain tile:** In accordance with Minnesota Rules part 4714.1102.5, use perforated polyvinyl chloride PVC (ASTM D2729) or corrugated polyethylene PE (ASTM F405) on all drain tile 3-inches to 6-inches in diameter. Install drain tile with high permittivity circular knit polymeric filament filter sock per ASTM D6707-01. MnDot 3733 Type I sewn seam non-woven fabric shall not be used. Drain tile pipe directly connected to the storm sewer is classified as storm sewer. Drain tile inlet elevations to the catch basins must be above the storm sewer outlet elevations.
- Use a Neehah R-1733 frame with Type "C" radial grate, or approved equal, on CB #5 and CB#6.
- Use Neehah R-3067-DR/DL casting with curb box, or approved equal, on CB #2, CB #3, and CB #4. Casting shall include the "NO DUMPING, DRAINS TO RIVER." environmental notice.
- Use Zurn Z886 trench drain model 8606N with black acid resistant epoxy coated ductile grate - Class C for proposed trench drain.
- Use Neehah Foundry Co. R-1642 casting with self-sealing, solid, type B lid, or approved equal, on all storm sewer maintenance holes. Covers shall bear the "Storm Sewer" label.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.
- The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
- Clean sediment and debris from sewers, sumps and stormwater basins prior to final owner acceptance.
- Televise all existing lines prior to connection.
- Install finger drains at each and every proposed catchbasin (see detail). Finger drains around catch basin inlets shall not be installed below the crown of the storm drain piping.



HDPE REQUIREMENTS :

- Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan. High-density polyethylene (HDPE) storm sewers must meet ASTM F714 (see Minnesota Rules, Chapter 4714 and Installation Standard 1).
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter. Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 (virgin PE material) for pipe sizes 12-inch to 60-inch diameter.
- All fittings must comply with ASTM Standard D3212.
- Water-tight joints must be used at all connections (including structures) in conformance with ASTM F2510.**
- HDPE pipe connections into all concrete structures must be made with water tight materials utilizing Nyoplast "Manhole Adaptors" along with Press-Seal or Kor-N-Seal "Watertight Connector", Cast-A-Seal "Precast Watertight Connector", or approved equals. Where the alignment precludes the use of the above approved watertight methods, Con Seal 231 WaterStop sealant, or approved equal will only be allowed as approved by the Administrative Authority.
- Lay all HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water-tight joints.
- Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.



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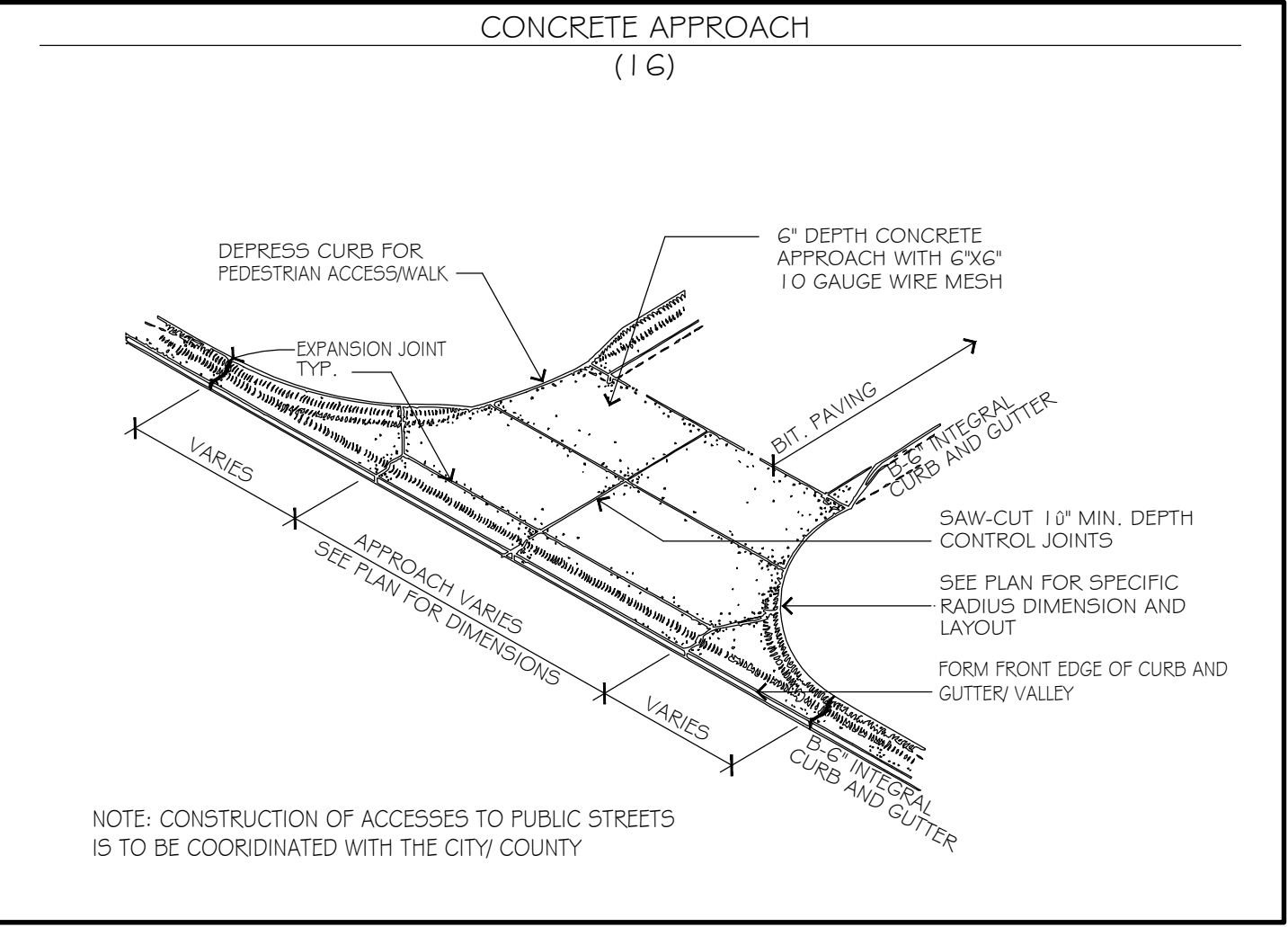
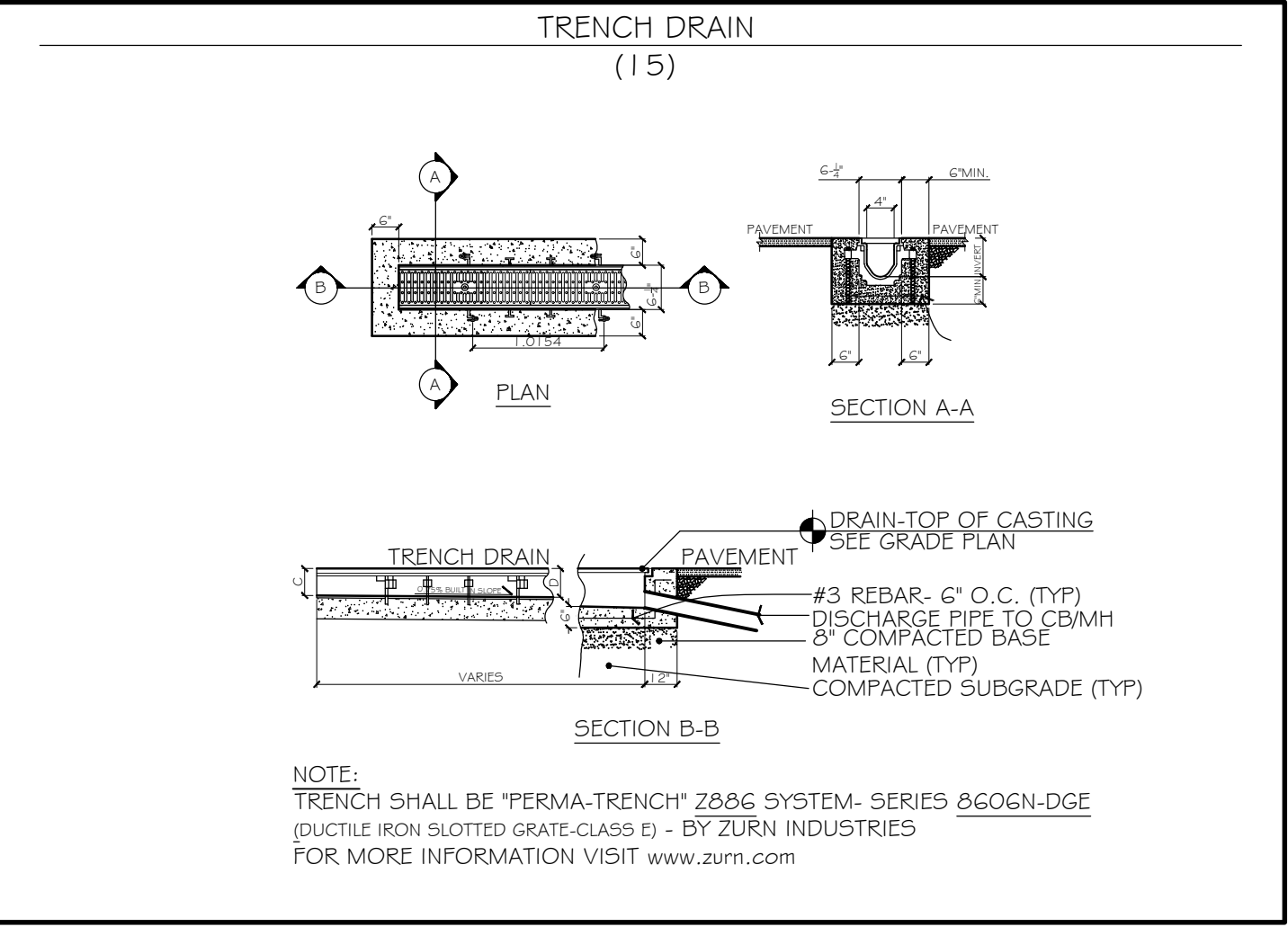
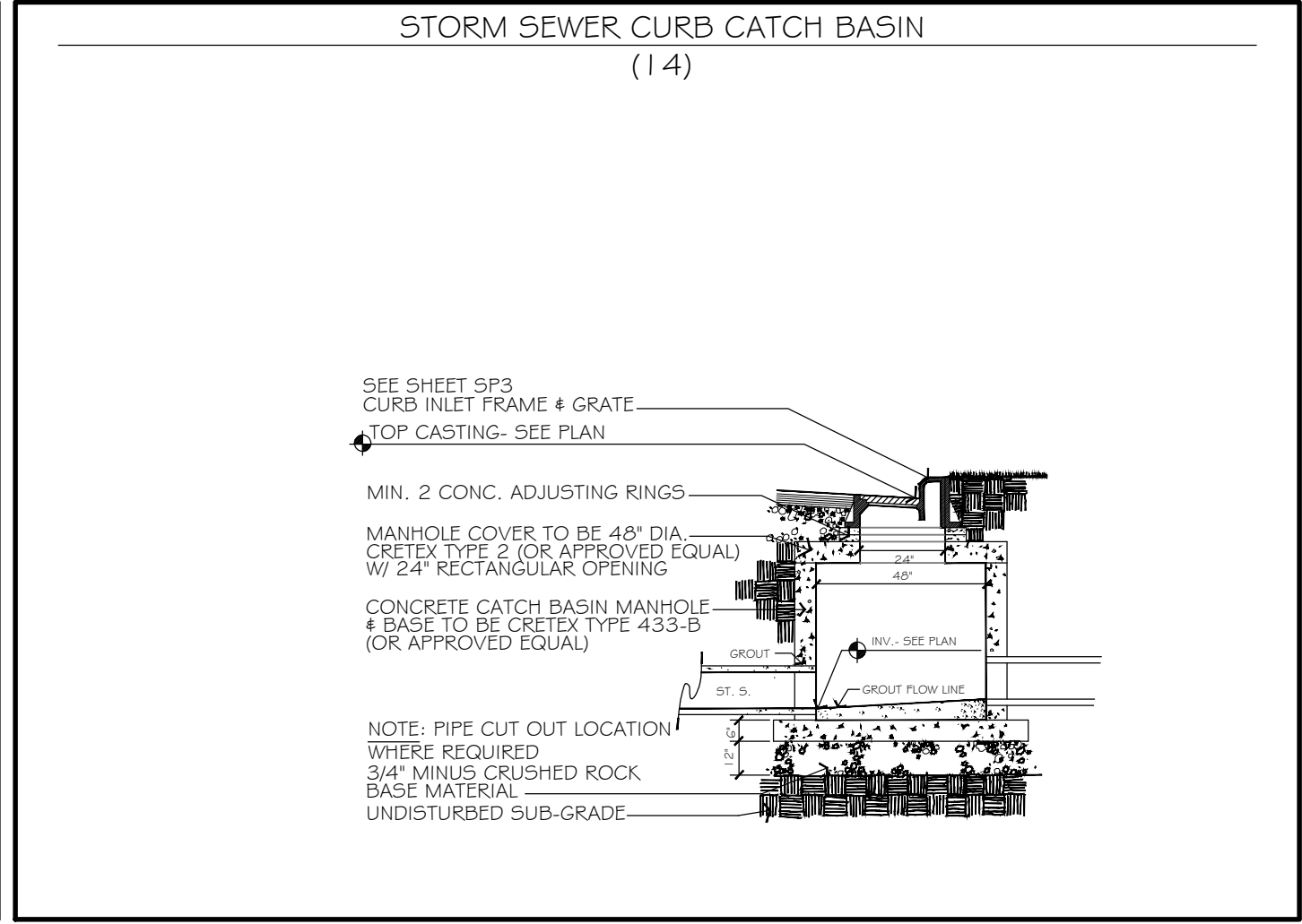
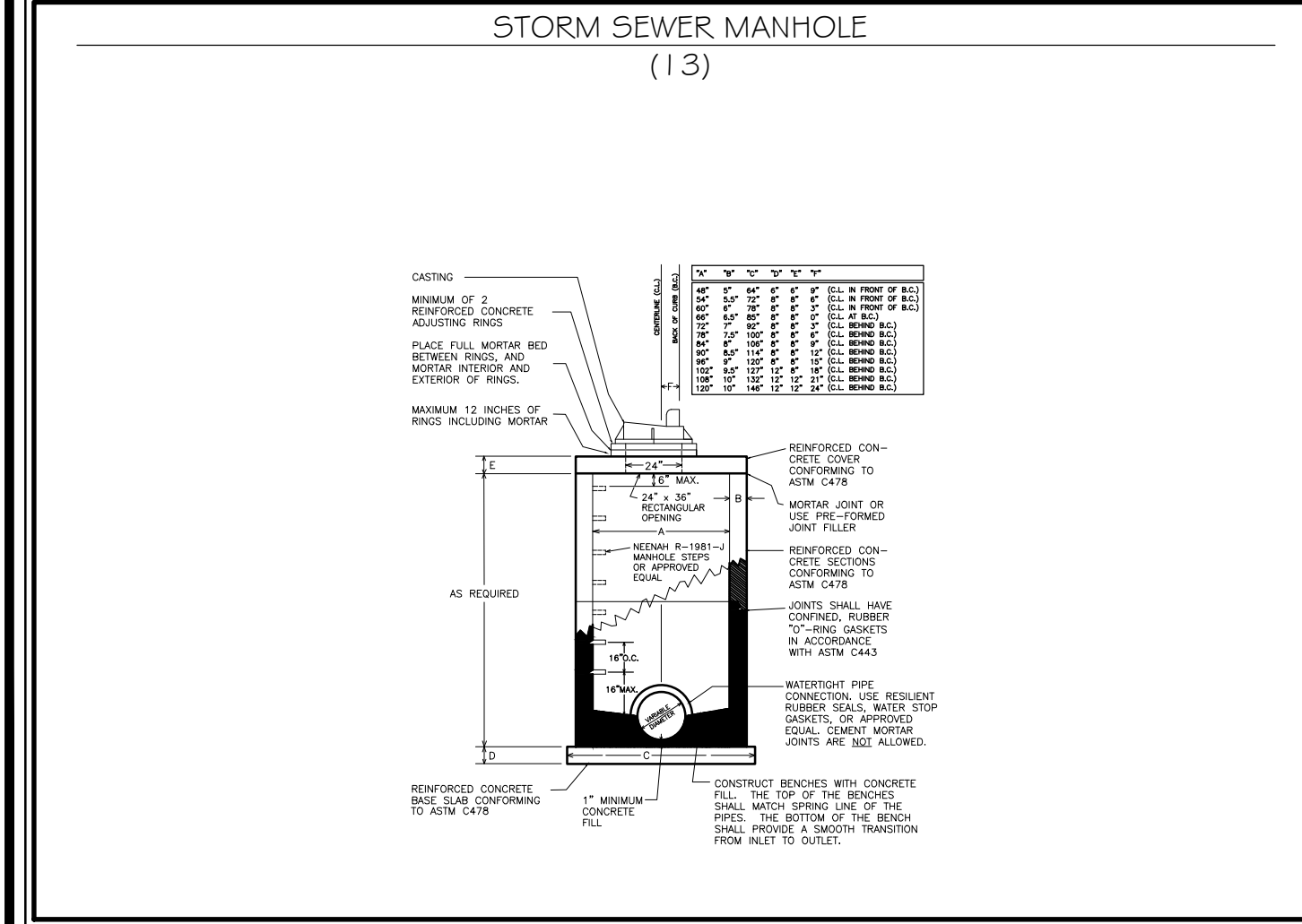
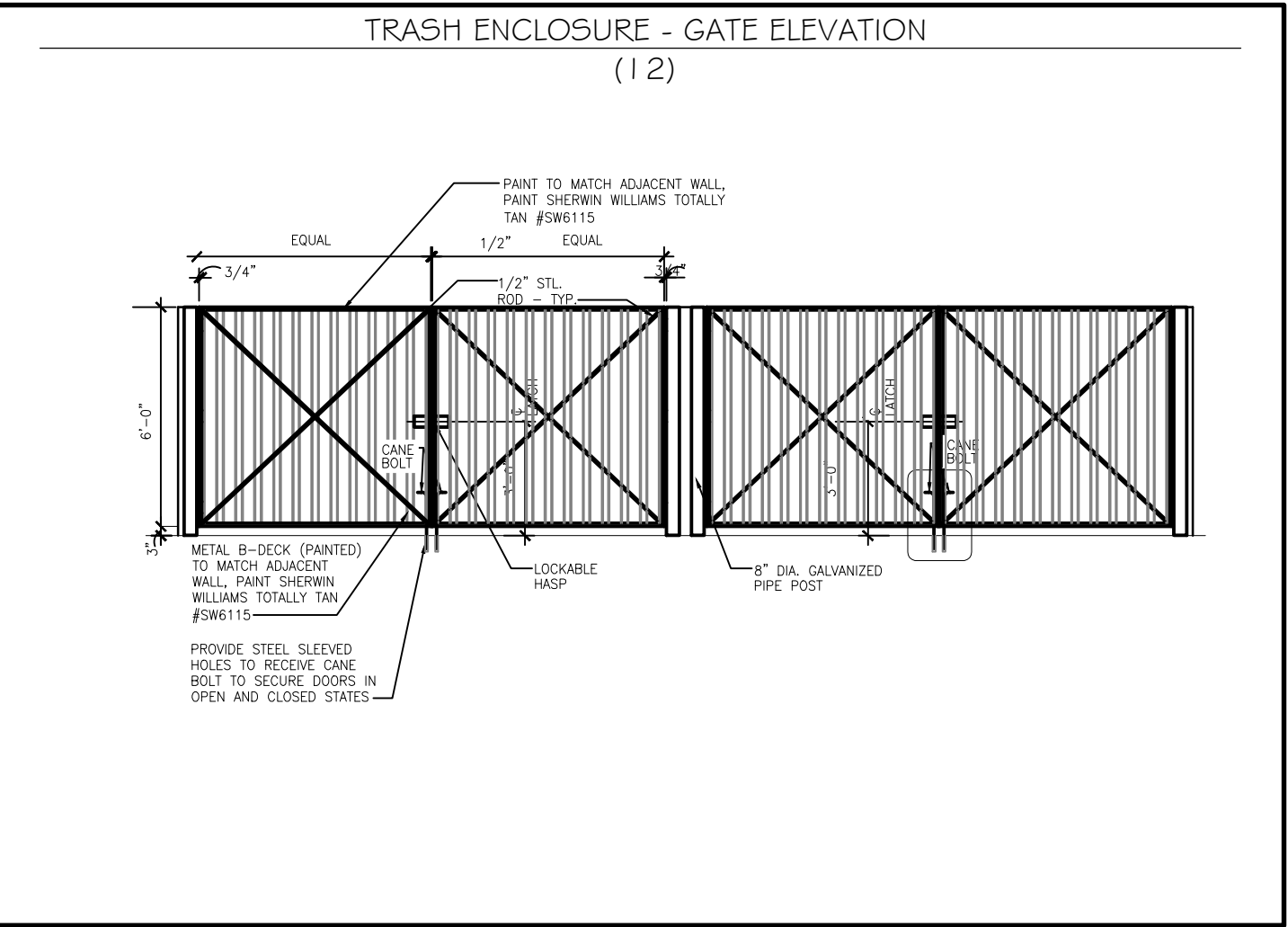
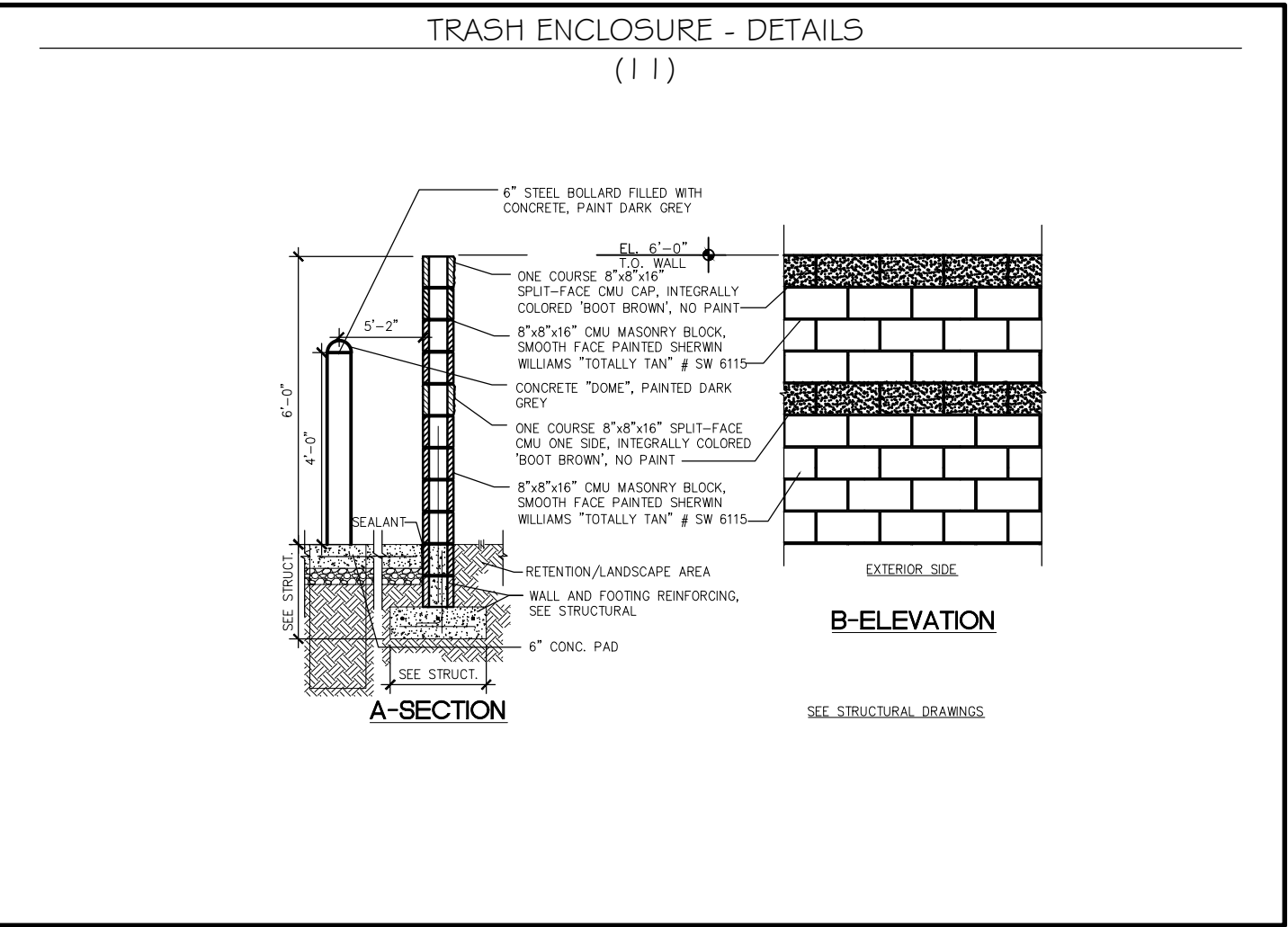
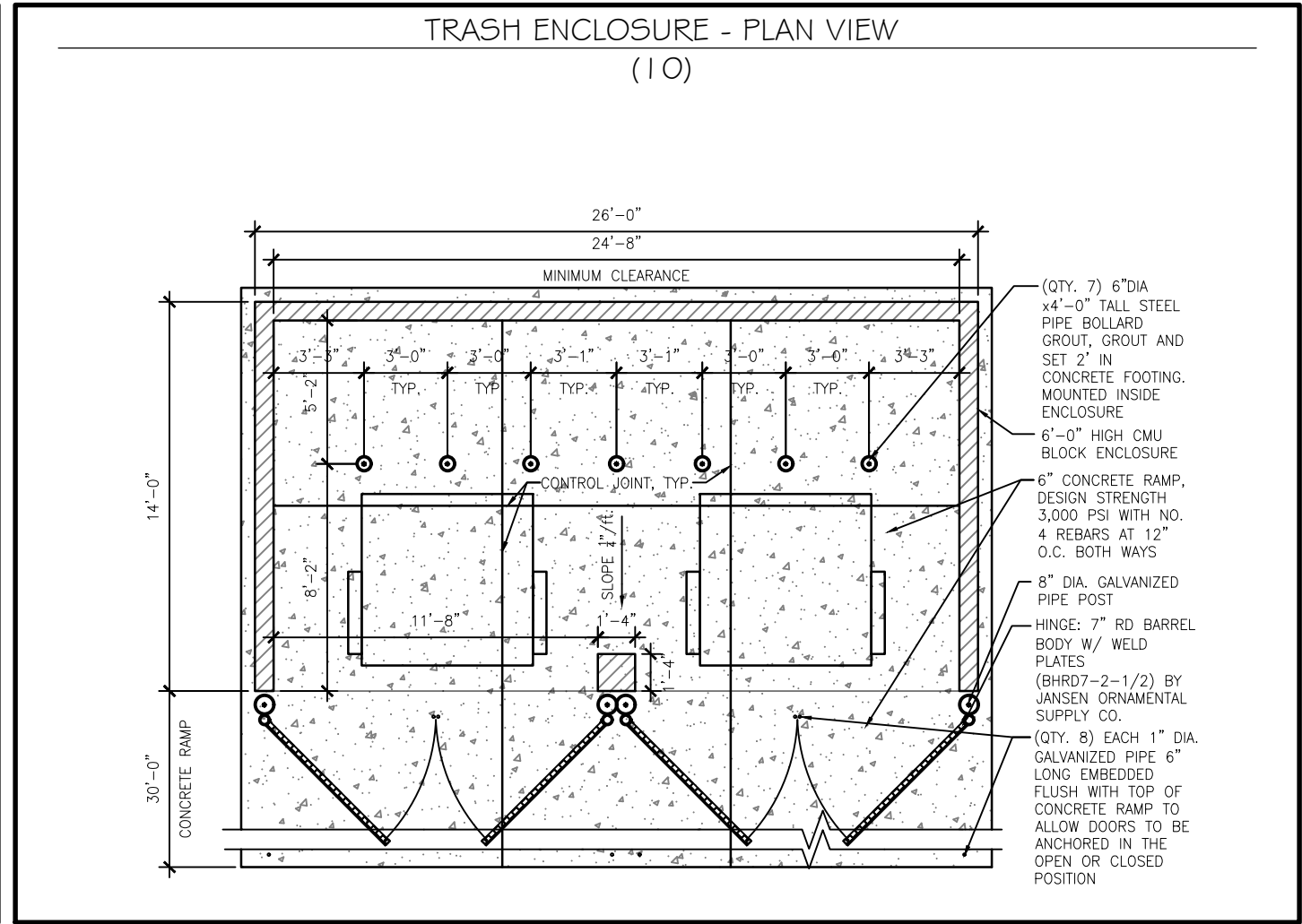
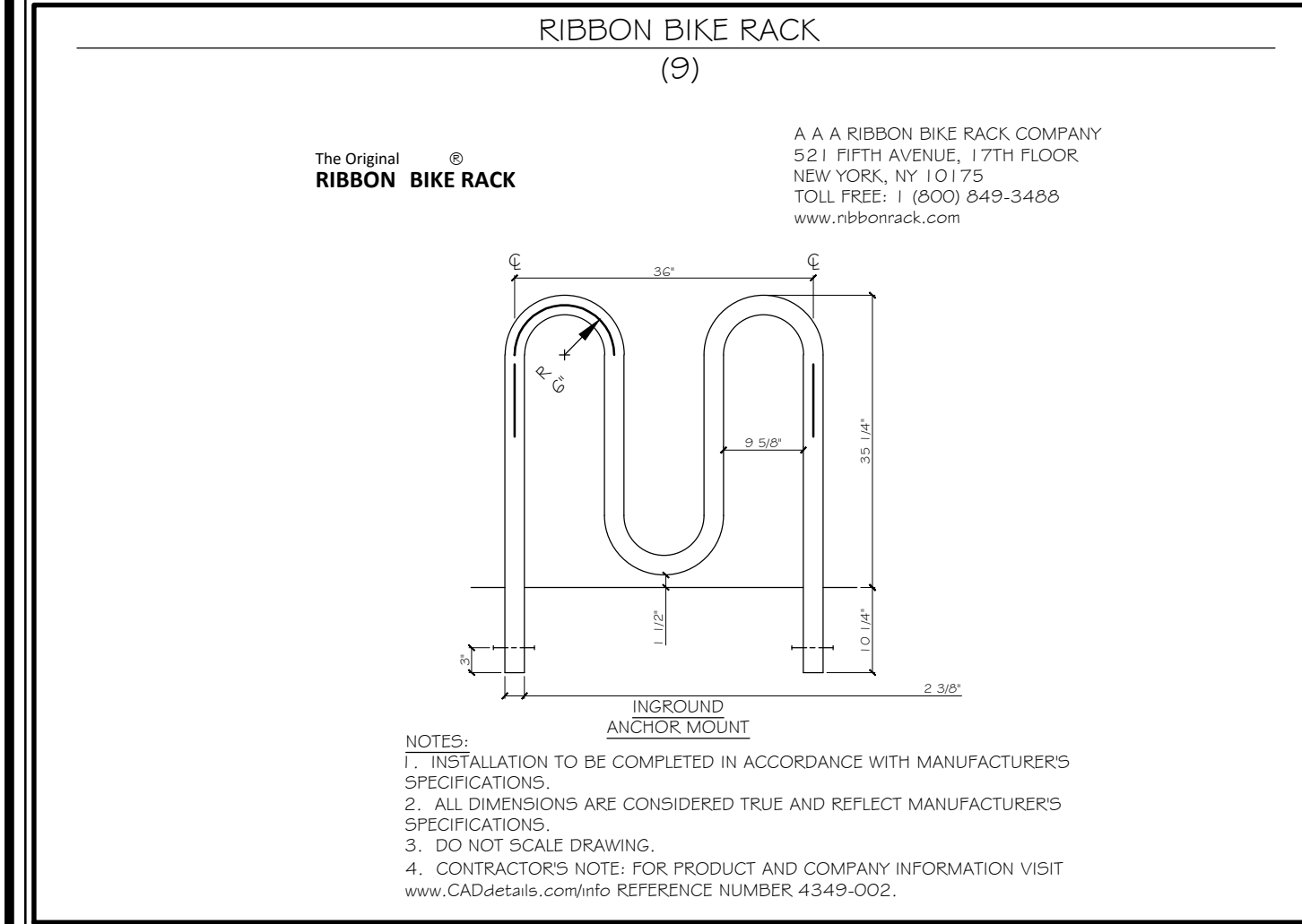
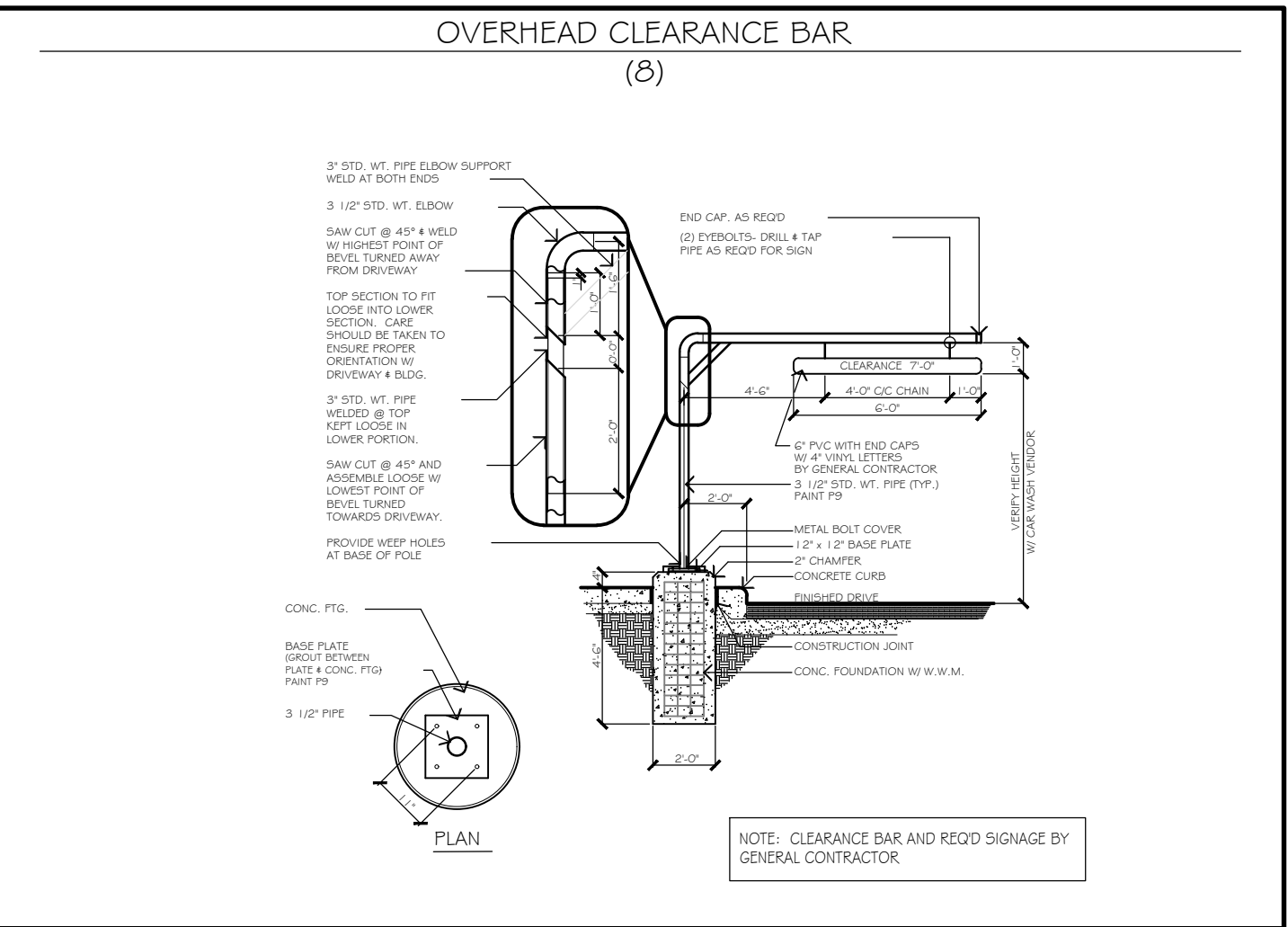
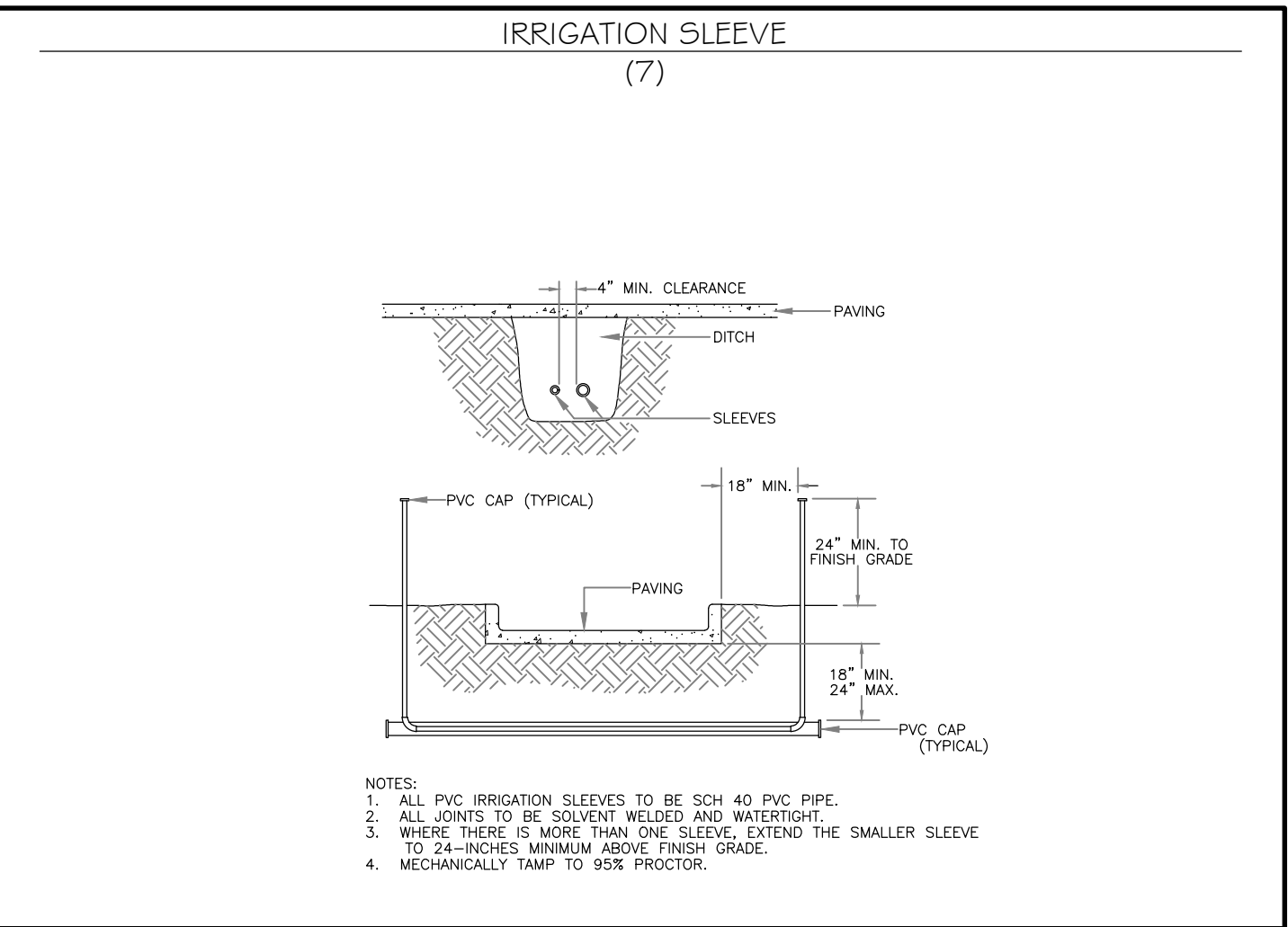
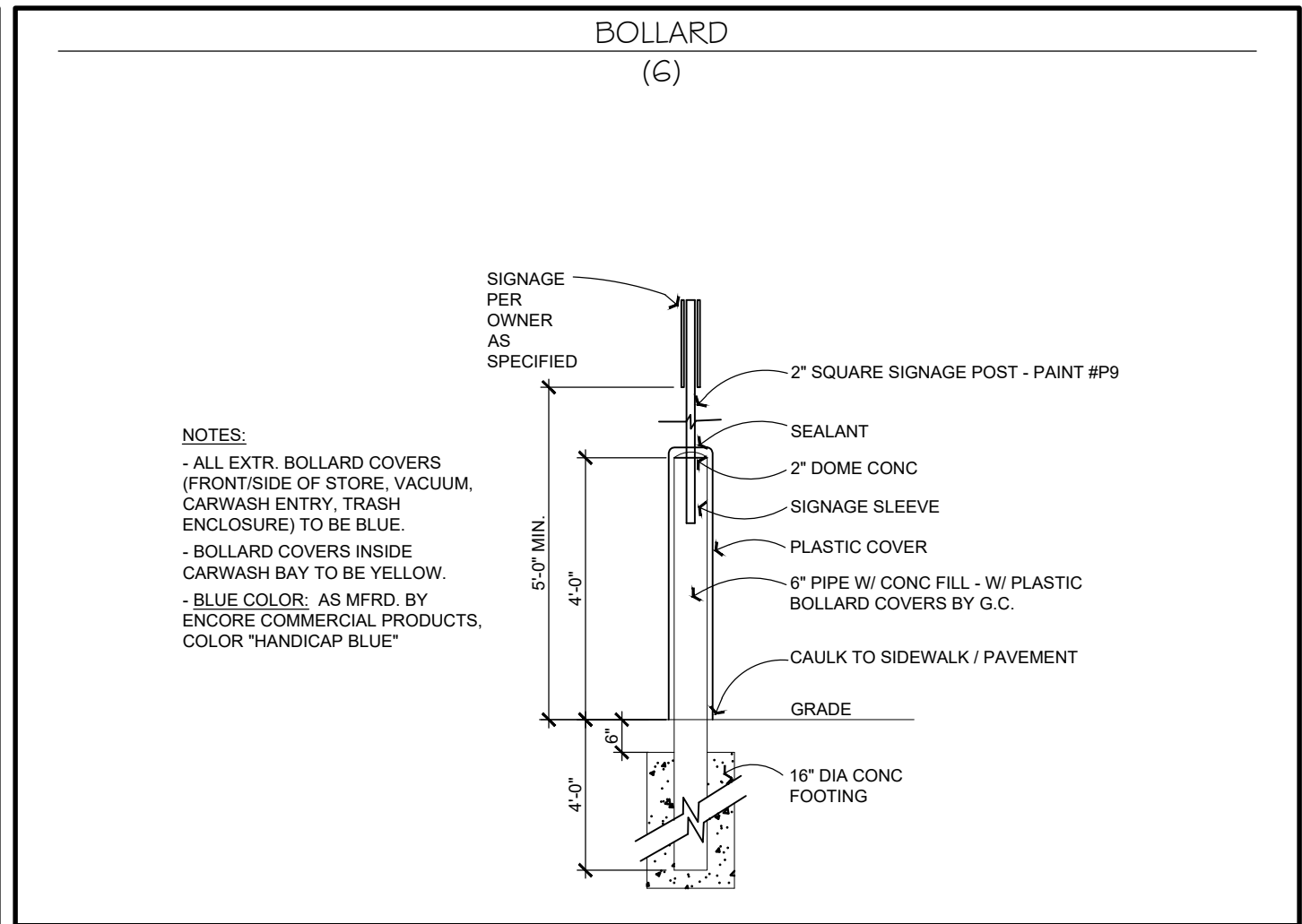
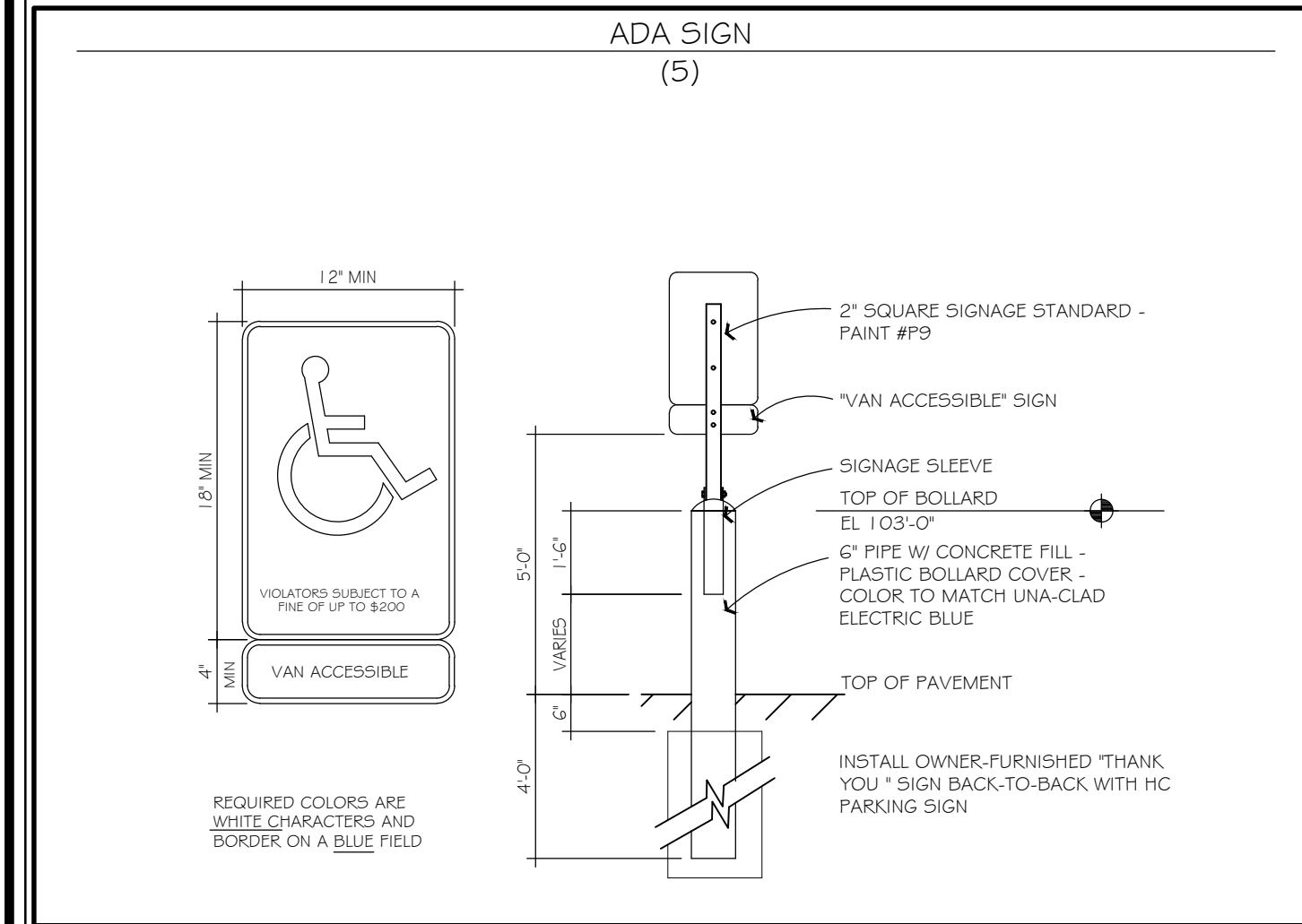
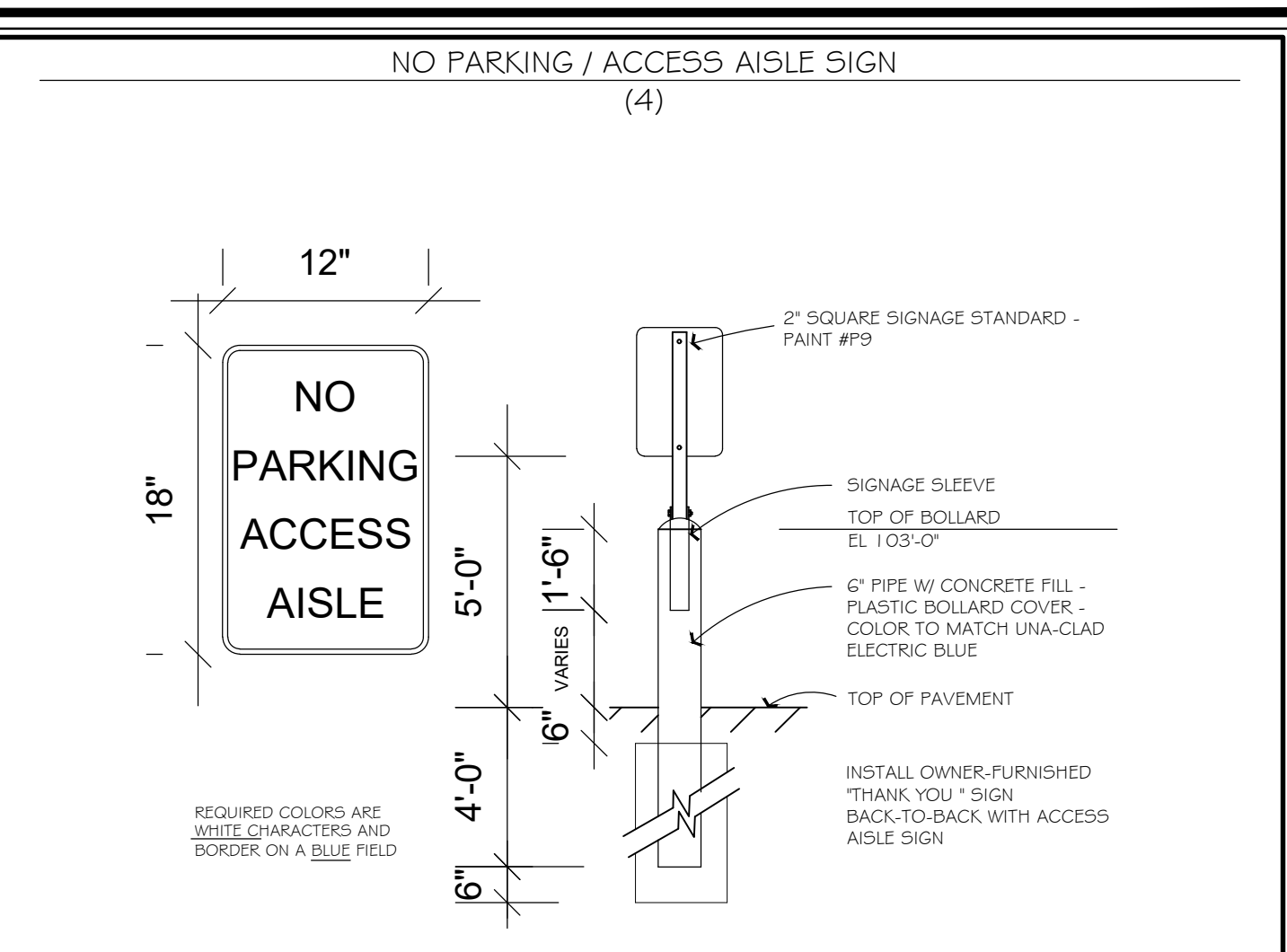
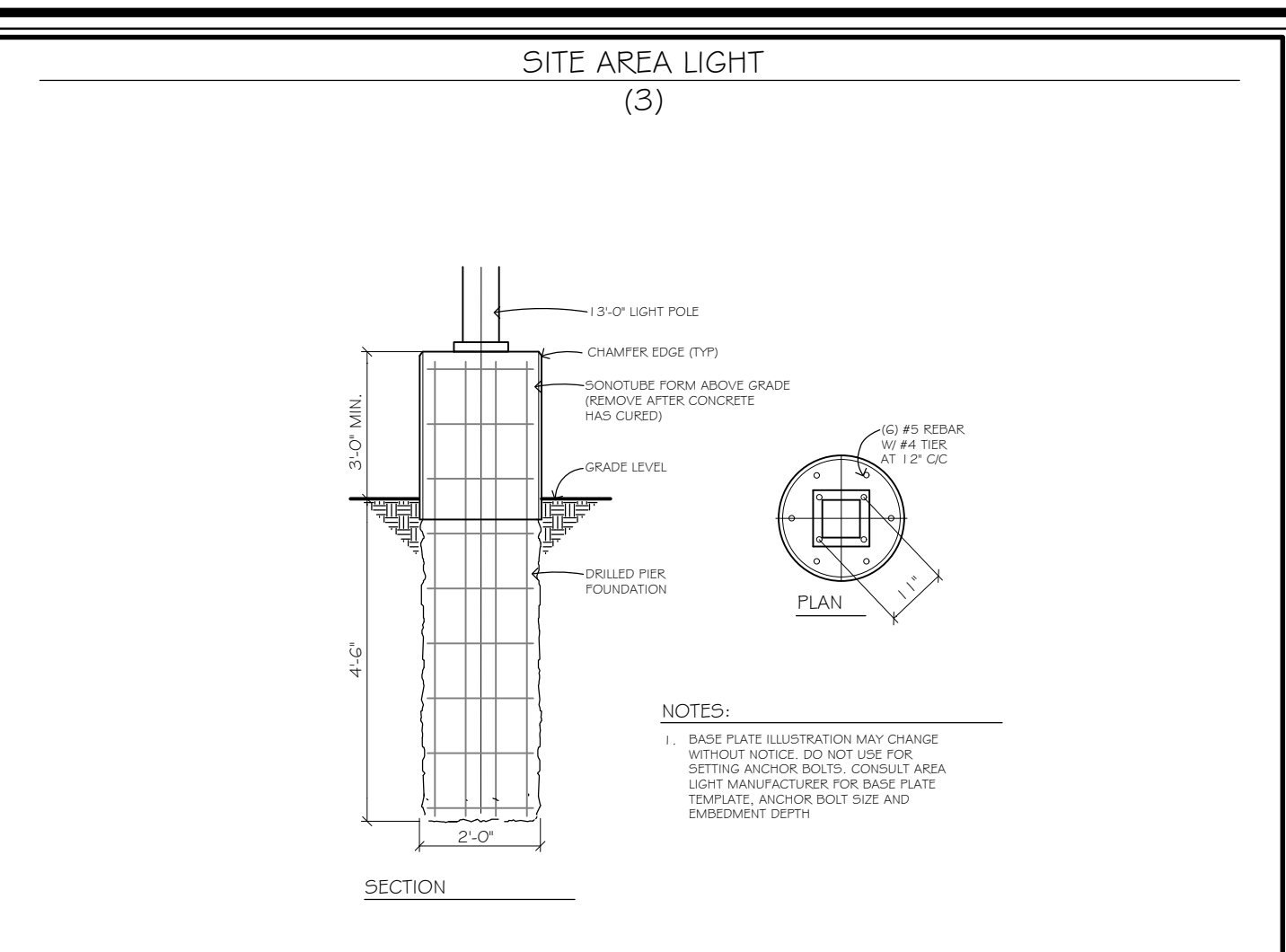
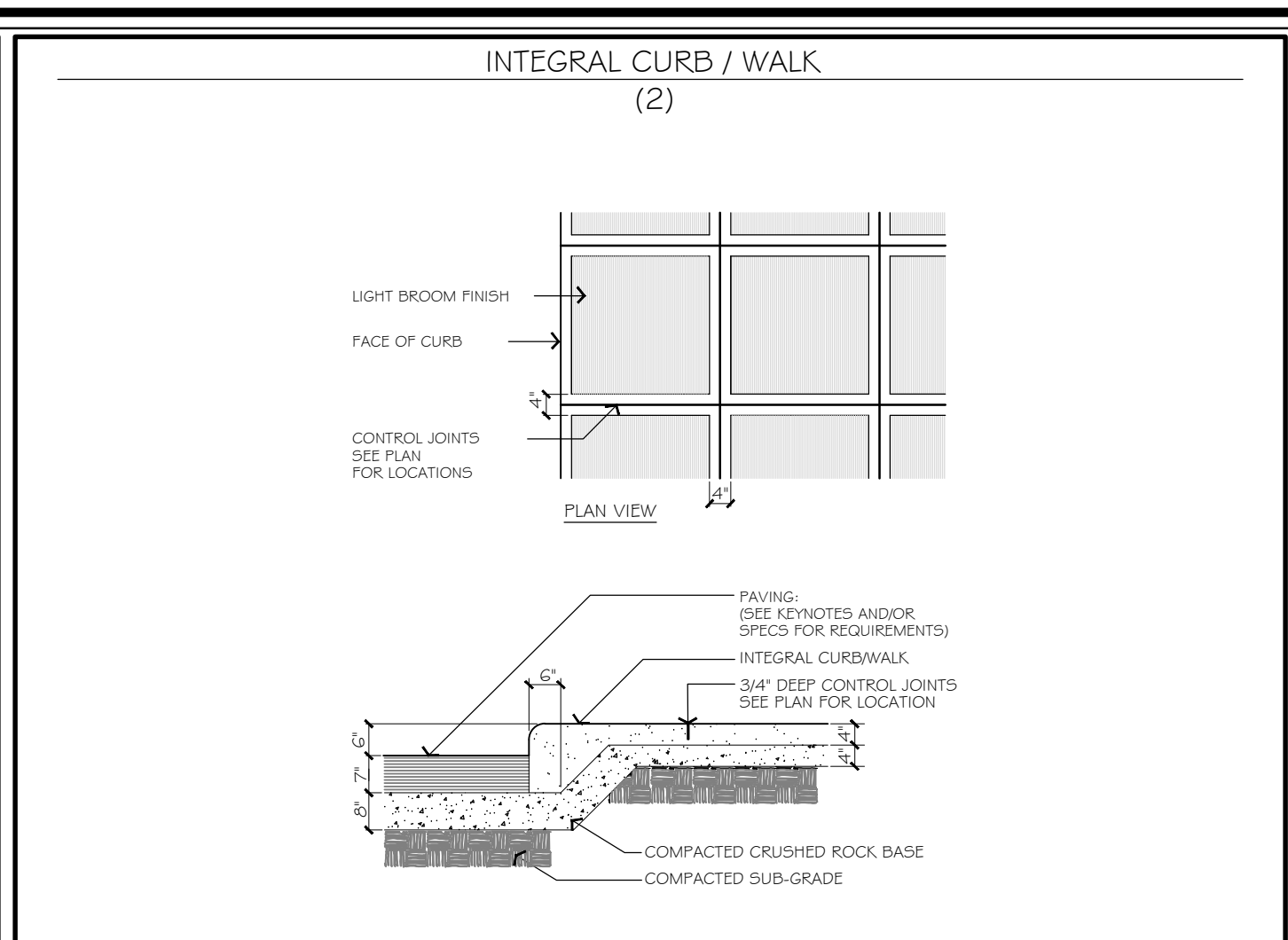
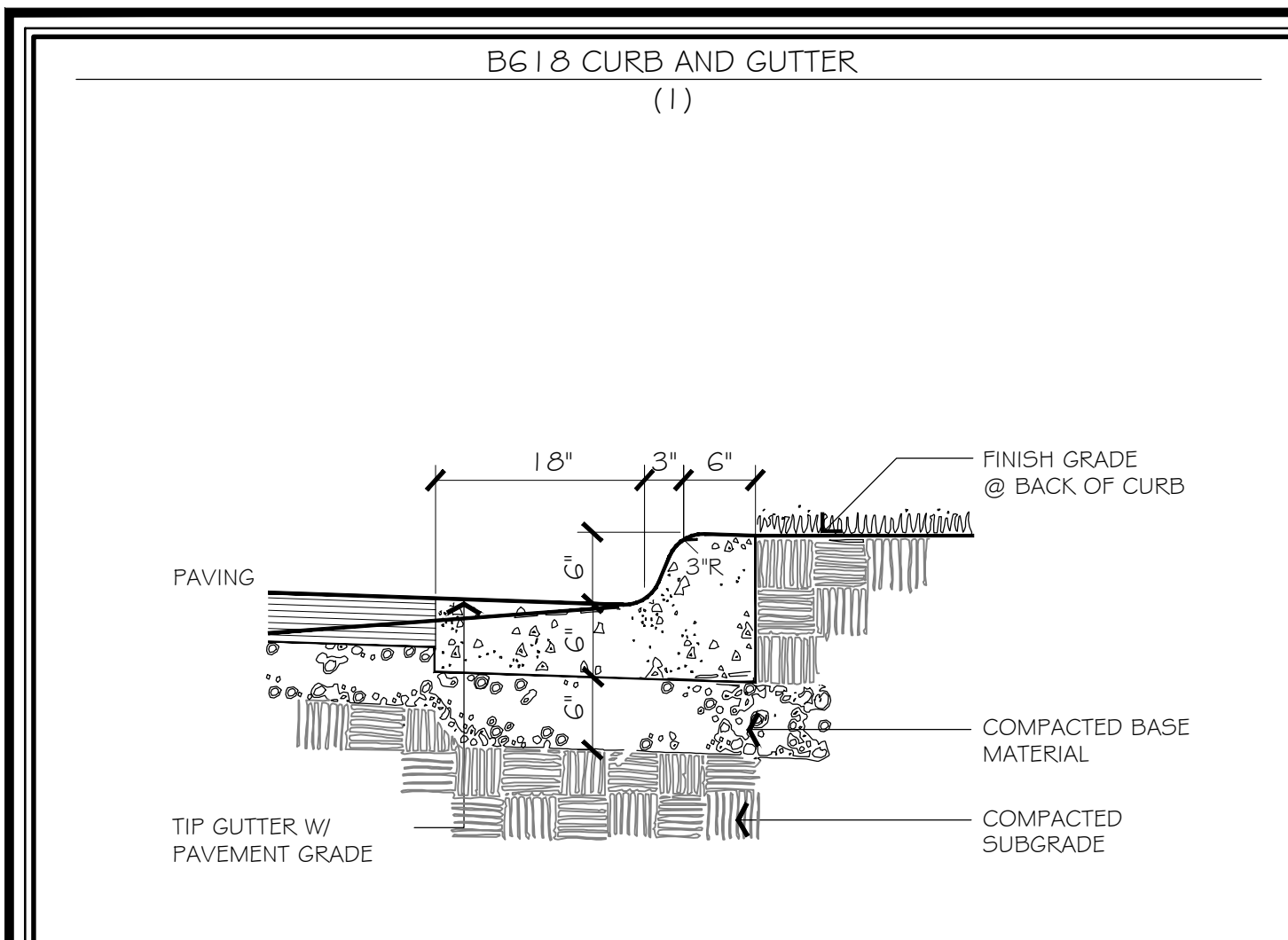
Brian H. Mundstock
Brian H. Mundstock
DATE: 08/07/20 REG. NO.: 23468

Holiday
STATIONSTORE
#0332
HIAWATHA AVE
MINNEAPOLIS, MN

PROJECT NUMBER:	20-0332
DRAWN BY:	X
CHECKED BY:	X
MARK:	REVISION / ISSUE: DATE:
	CITY SUBMITTAL 8-7-2020
ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER:	
TRAVIS COMER 4567 AMERICAN BLVD. WEST MINNEAPOLIS, MN 55437-1123 952.838.8713 TCOMER@holidaycompanies.com	

STORM SEWER NOTES AND DETAILS

SP4.2



INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3131 Fernbrook Lane North, Suite 260
Plymouth, Minnesota 55447
763.383.8400
fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed:
Date: XXJULY20
Reg. No. 19306

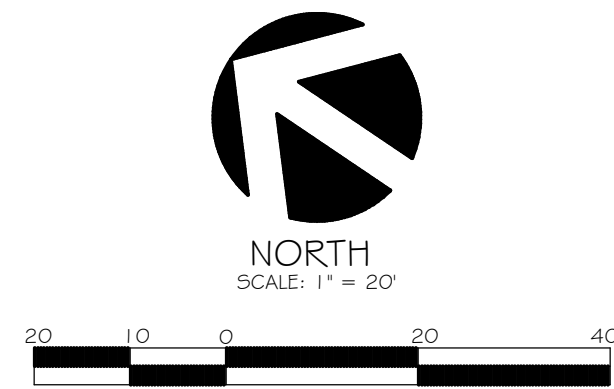
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SITE DETAILS
SP5


RECEIVING WATER - MISSISSIPPI RIVER LOCATED WITHIN 1 MILE FROM SITE

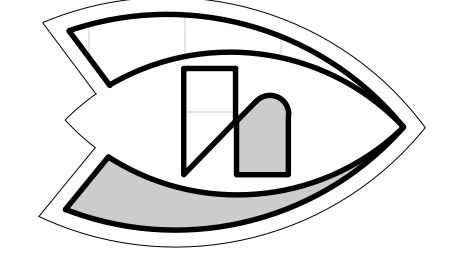


Know what's below.
Call before you dig.

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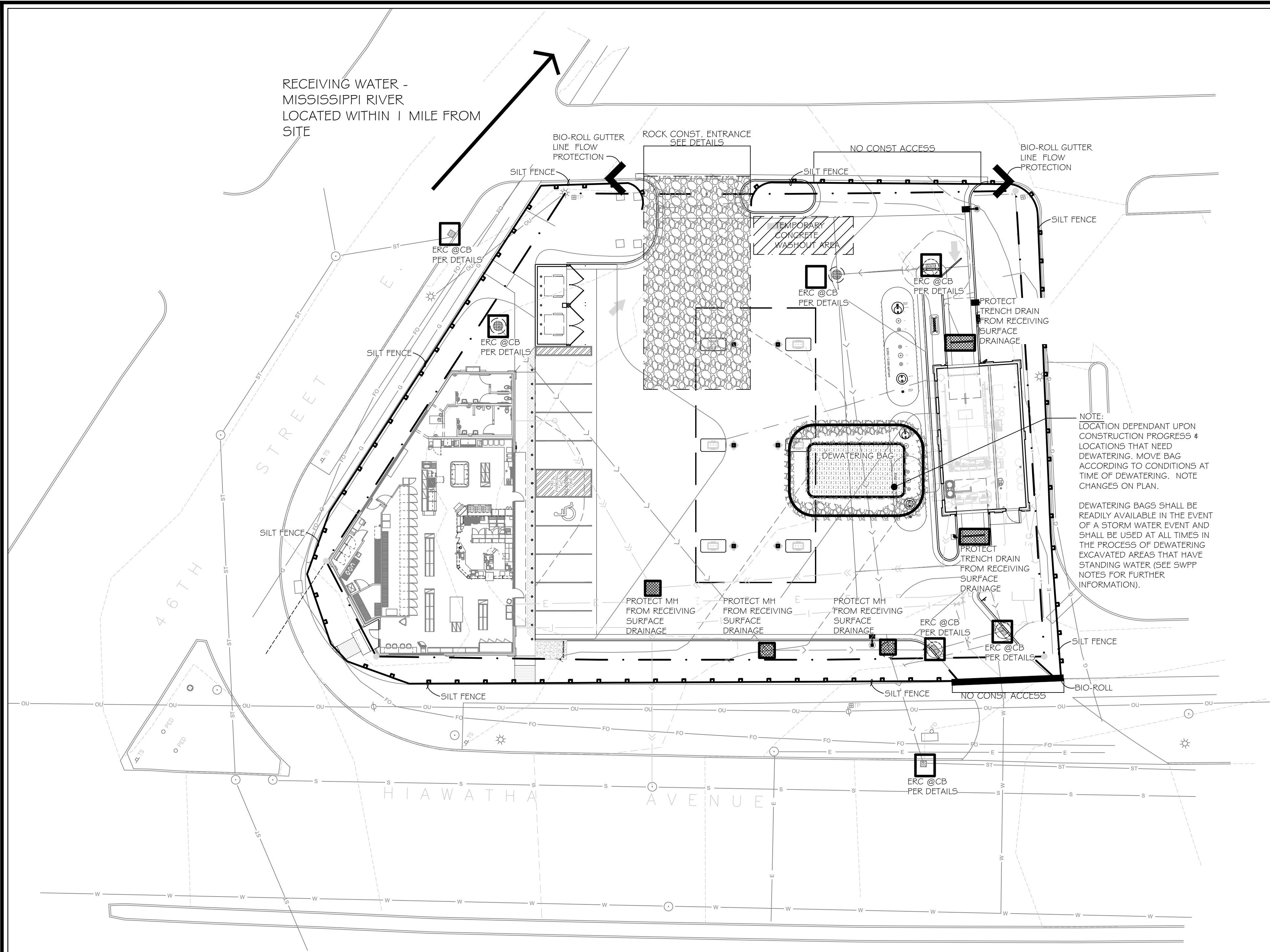
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TCOMER@holidaycompanies.com

EROSION CONTROL PLAN

SWP1



ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE TO STATE AND DNR TECHNICAL STANDARDS

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS SWP2-4 FOR MORE INFORMATION.

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CONSTRUCTION SEQUENCE

- *INSTALL EROSION/SEDIMENT CONTROL MEASURES
- *INSTALL STORMWATER MANAGEMENT AND/OR POND/SEDIMENT BASINS
- *INSTALL STORM SEWER
- *INSTALL STRUCTURES
- *INSTALL PAVEMENTS
- *INSTALL SMALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
- *INSTALL LAWN LANDSCAPE
- *FLUSH STORM SEWER
- *REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

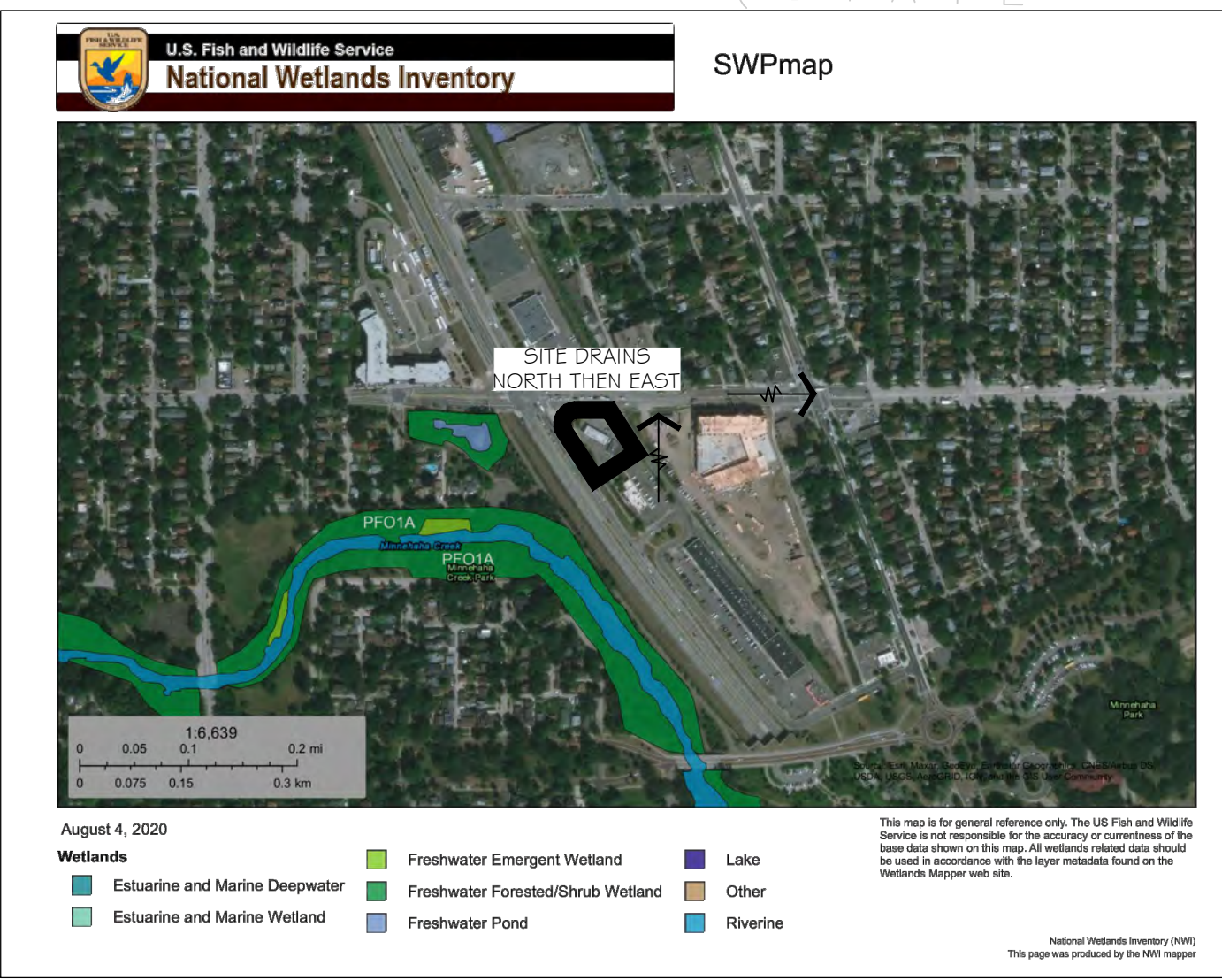
PROJECT DATA

PROJECT START DATE	MARCH 2021
PROJECT COMPLETION DATE	OCTOBER 2021
SITE AREA DATA	
TOTAL SITE AREA	26,297SF
PRE-CONSTRUCTION IMPERVIOUS AREA	21,297SF
POST-CONSTRUCTION IMPERVIOUS AREA	24,996SF
APPROX. AREA OF LAND DISTURBANCE	100%
SITE RUNOFF COEFFICIENT (CN)	
PRE-CONSTRUCTION	89
POST-CONSTRUCTION	91
SOIL DATA	
SURFACE SOIL	urban land-hubland complex
DOWN-STREAM TRIBUTARY	MINNEHAHA WATERSHED

Estimated Preliminary Erosion Control Quantities
(actual quantities subject to change)

Item	Quantity
Rock Construction Entrance	260 sq.yd.
Silt Sack	12(total structures to protect)
Erosion Control Blanket(basin)	--- sq.yd.
Rip Rap	-- cu. yd.
Silt Fence	671 l.f.
Rock Filtration dikes	-- l.f.
Bio Roll/erosion log	183 l.f.

Note: for maintenance purposes contractor shall all sufficient quantities for repair and replacement of erosion control devices throughout all phases of the projects construction.



SWPPP DESIGN CERTIFICATION

I, Robert Mueller, hereby certify that I have completed designer SWPPP, Erosion and Stormwater Management Certification Program. My certification expires May 2020.

SWPPP INSTALLER CERTIFICATION

I hereby certify that I have completed Installer SWPPP, Erosion and Stormwater Management Certification Program.

Signed: _____
Expiration: _____

SWPPP INSPECTOR CERTIFICATION

I hereby certify that I have completed Inspector SWPPP, Erosion and Stormwater Management Certification Program.

Signed: _____
Expiration: _____

GENERAL STORMWATER POLLUTION PREVENTION:

Apply for and obtain the General Storm Water Permit for Construction Activity from the Minnesota Pollution Control Agency.

Storm Water Pollution Prevention Plan (SWPPP): The SWPPP includes this narrative, Plan Sheets SP5, SP5-1 and SP6, and the Storm Water Management Calculations. Keep a copy of the SWPPP, all changes to it, and inspections and maintenance records at the site during the construction. During the construction process the SWPPP will have to be amended to the changes performed by the contractor. The owner shall be aware of the amendments prior to changes made in the SWPPP. All notes, photographs, recorded dates, sketches, references, and diagrams will have to be recorded and made available as part of the SWPPP permit.

Individual(s) preparing the SWPPP for the project, overseeing implementation of the SWPPP, revising and amending the SWPPP, and at least one individual on the project performing installation, inspection, maintenance, and repairs of BMP's must be trained. The training must be done by a local, state, federal agencies; professional organization; or other entities with expertise in erosion prevention, sediment control, or permanent Storm water management. Training information and those certified must be noted in the SWPPP. Documentation of the information must be included in the SWPPP or made available within 72 hours. All trained individuals must be identified, including DESIGNER, INSTALLER and INSPECTOR.

Responsible Parties: The contractor must designate a person knowledgeable and experienced in the application of erosion prevention and sediment control BMP's who will oversee the implementation of the SWPPP, and the installation, inspection, and maintenance of the erosion prevention and sediment control BMP's before and during construction.

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The owner is responsible for identifying who will have responsibility for the long term operation and maintenance of the permanent storm water management systems.

SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION :

Contractor shall ensure a trained person will oversee the installation of all devices. Name and certification of individual(s) responsible for installation shall be in the SWPPP. those individuals include those overseeing implementation and/or performing or supervising the installation.

- 1. Prior to any work, contractor shall visit the site, document existing conditions as necessary (photos, notes, etc) and note existing drainage patterns on and off site that are related to the project.
2. Install all temporary erosion and sediment control measures including silt fence, rock construction entrances, erosion control berms, rock filters, silt sacks, rock/earth berms, and sedimentation basins.
3. Before beginning construction, install a TEMPORARY ROCK CONSTRUCTION ENTRANCE at each point where vehicles exit the construction site.
4. Avoid entire removal of trees and surface vegetation all at once whenever possible as this limits the amount of site susceptible to erosion.
5. Areas That Discharge to Special or Impaired Waters: As a general rule for areas draining less than 10 acres, additional or alternative measures shall take place which include but are not limited to installing multiple lines of silt fence.
6. Receiving Waters - It is the contractors responsibility to inspect the site discharge point as well as downstream to the receiving body of water.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

POLLUTION CONTROL :

- 1. Designate a Concrete Wash-out and truck wash area:
a. When washouts occur on the site, concrete washout water must be contained in a leak-proof containment facility or impermeable liner.
b. Limit external washing of trucks and other construction vehicles to a defined area preferably before the construction access/exit point.
2. Solid Waste: Properly dispose of collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris, and other wastes in compliance with Minnesota Pollution Control Agency requirements.
3. Hazardous Materials: Properly dispose of all waste and unused building materials (including garbage debris, cleaning wastes, oil, gasoline, paint, wastewater, toxic materials, and hazardous materials) off-site.
4. Machinery: and mechanized equipment that leaks waste shall have a protective barrier or containment under the device adequate to contain the waste.
5. Emergency spill station: Contractor shall locate and sign an emergency spill station that has necessary containment or cleanup devices for all workers to access.

EROSION CONTROL :

Apply necessary moisture to the construction area and haul roads to prevent the spread of dust.

Contractor shall utilize coarsely ground wood and tree mulches to cover exposed soils. Mulches shall be stored on site to supplement and use in problem areas during all phases of the construction project.

Contractor shall uses star tack or other organic substances in situations to prevent soil from eroding away by wind or rain.

Whenever possible contractor shall grade areas of soil to limit potential of erosion, to include tracking perpendicular to fall line of grades as well as diverting water flows from problematic areas on the site.

Seeding, fiber blankets, polytarps or cover mulches, disked mulches and compost can be used to cover temporarily exposed areas from wind and rain. Other methods by the contractor shall be documented in the SWPPP.

SEDIMENT CONTROL :

Inlet Sediment Control Protection Devices: The following area approved Inlet Sediment Control Devices:

- a. Road Drain Top Slab Model RD 23 (fits rough opening for 2x3' inlet), Road Drain Top Slab Model RD 27 (fits rough opening for 27" inlet), or Road Drain Top Slab Model CG 30G7 (fits Neenah Casting with 35-1/4"x17-3/4" dimensions) manufactured by: WIMCO
b. Silt Sack manufactured by: ACF ENVIRONMENTAL
c. InfraSafe Sediment Control Barrier. Install geotextile sock on the outside of the barrier in order to trap additional fines.
d. Ridge Bag Rock Log. Use rock logs only for curb inlets after pavement is in place.
e. Inflatable drain plugs by Interstate Products www.interstateproducts.com or approved equal

Riprap: Place a 450 mm (18 inch) thick layer of MNDOT 360I Class III riprap onto a 225 mm (9 inch) thick layer of MNDOT 360I, 2 B granular filter material at locations indicated on the plan in accordance with MNDOT 251 I. Install two layers of MNDOT 3733 Type IV Geotextile fabric beneath the granular filter material. At pipe outfalls configure the installation as shown on MNDOT Standard Plate No. 3133C for the size of pipe indicated and extend the geotextile fabric under the culvert at a minimum of 3 feet.

Silt Fence: Install silt fence along the contour (on a level horizontal plane) with the ends turned up (J-hooks) in order to help pond water behind the fence. Install the silt fence on the uphill side of the support posts. Provide a post spacing of 1.2 m (4 feet) or less. Drive posts at least 0.6 m (2 feet) into the ground. Anchor the silt fence fabric in a trench at least 152 mm (6 inches) deep and 152 mm (6 inches) wide dug on the up-slope side of the support posts.

Temporary Rock Construction Entrance: Use 25 mm (1 inch) to 50 mm (2 inch) diameter rock, MNDOT Standard Specification 3137 CA-1, CA-2, CA-3, or equal Coarse Aggregate. Place the aggregate in a layer at least 152 mm (6 inches) thick across the entire width of the entrance.

Temporary Sediment Basins: In the construction process or if noted on the plan the contractor shall construct temporary sediment basin(s). The basin shall be constructed before other construction starts. As per general rule the sediment basin shall be sized appropriately to a capacity related to the drainage area on a ratio of 3,600 cubic feet of sediment storage per acre of drainage zone entering the basin.

De-watering is required and sump pumps are used, all pumped water must be discharged through an erosion control facility (temporary sedimentation basin, grit chamber, sand filter, up-flow chamber, hydro-cyclone, swirl concentrator, de-watering bag-not less than 100NTU's or other appropriate facility). Contractor shall allow silt and sediment to settle out in sediment basin prior to discharge and leaving the construction site. Proper energy dissipation must be provided at the outlet of the pump system. Discharge clear water only to vegetated areas, and must be discharged in a manner that does not cause nuisance conditions such as erosion in receiving channels or down slope properties.

If the contractor determines that de-watering will be necessary, a de-watering plan may have to be submitted to the watershed and/or DNR by the contractor for approval. A trench permit may also have to be submitted and will be the responsibility of the contractor. Water pumped from the site shall be pumped and treated for water quality per watershed and/or DNR.

Wet Basin gravity fed draw down shall be performed with a floating head intake "Farcloth skimmer" or similar device to remove clear un-silted water column in the ponds or temporary basins or excavated areas. Should areas need to be pumped contractor shall use a "Hale floating pump" to draw down areas below gravity fed inverts.

For more information and materials on de-watering go to by Interstate Products www.interstateproducts.com www.haleproducts.com and www.farclothskimmer.com

INSPECTIONS-MAINTENANCE-DAILY RECORD-AMEND THE SWPPP PLAN

Contractor must ensure that a trained person will oversee and inspect the construction site at least once every 7 days during active construction and within 24 hours after rainfall events greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24 hours after a rainfall event, the next inspection must be conducted within 7 days after the rainfall event. Note date and time in the SWPPP documents and name of person doing the inspections. Any changes made as the result of the inspection must be documented in the SWPPP.

- 1. Inspect all erosion and sediment control devices, stabilized areas, and infiltration areas on a daily basis until land-disturbing activity has ceased. Thereafter, inspect at least on a weekly basis until vegetative cover is established.
2. All inspections and maintenance activities must be recorded in writing DAILY in a detailed record (notes, photographs, sketches, etc, and kept with the SWPPP.
3. Remove all soils and sediments tracked or otherwise deposited onto adjacent property, pavement areas, sidewalks, streets, and alleys.
4. All soil hauled from the site shall be accounted for and documented in the SWPPP. Its final destination and how the soil has been stored and stabilized.
5. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized (hard-surfaced areas paved and vegetation established in green-space).
6. Clean sedimentation basins, storm sewer catch basins, ditches, and other drainage facilities as required in order to maintain their effectiveness.
7. Inspect infiltration areas to ensure that no sediment from ongoing construction activities is accumulating.
8. Every vehicle shall not track material off-site. Clean the wheels of construction vehicles in order to remove soils before the vehicles leave the construction site.
9. Reinforce erosion control facilities in areas where concentrated flows occur (such as swales, ditches, and areas in front of culverts and catch basins) by backing them with snow fence, wire mesh, or stiff plastic mesh reinforcement until paving and turf establishment operations have been completed.

GENERAL SOIL STABILIZATION : (SEE LANDSCAPE PLAN FOR MORE INFORMATION)

Establishment of lawn, prairie/wildflower and/or plant bed areas will be noted on the landscape plan to ensure stabilization of soils, re-staking of sod where applicable, proper watering and mulch maintenance will be required. Inspect seeded or sodded areas on a timely day-to-day basis. In the event of a seeding failure, reseed and re-mulch the areas where the original seed has failed to grow and perform additional watering as necessary at no additional cost to the Owner.

In areas to be temporarily seeded, use seed mixture equivalent to MNDOT No. 21-113 (Soil Building Cover Crop). Apply seed mixture at a rate of 110 lb per acre in accordance with MNDOT Standard Spec. 387G-1. For permanent turf stabilization (not sodded) use seed mixture equivalent to MNDOT No. 25-131 (Low Maintenance Turf). Apply seed mixture at a rate of 220 lb per acre in accordance with MNDOT Standard Spec. 387G-1. For permanent installations incorporate a fertilizer (slow release type with 10 week residual) consisting of 23-0-30 (%N-P-K) into the soil at an application rate of 200 lbs per acre by diskng prior to seeding.

For additional reference see MNDOT Standard Spec. Table 387G-1 for season of planting introduced seed mixtures. To ensure adequate germination of the seed the work will be performed as follows: Spring- from April 1 through May 15. Fall- from August 15 to September 20.

After September 20, wait until October 30 to perform dormant seeding. Dormant seeding will only be allowed if the maximum soil temperature at a depth of 25 mm (1 inch) does not exceed 4.44 degrees C (40 degrees F) in order to prevent germination.

In seeded areas with slopes steeper than 3:1 and lengths less than 15 meters (50 feet), install biodegradable erosion control blankets uniformly over the soil surface by hand within 24 hours after seeding in accordance with manufacturers recommendations. Use MNDOT Standard Spec. 388S Straw 15, or Wood Fiber 15 type blanket.

NOTE: THE PROJECT'S LANDSCAPE PLAN IS PART OF THE SWPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPP

SWPPP DESIGN CERTIFICATION

I, Robert Mueller, hereby certify that I have completed designer SWPP, Erosion and Stormwater Management Certification Program. My certification expires December 2023

SWPPP INSTALLER CERTIFICATION

I hereby certify that I have completed installer SWPP, Erosion and Stormwater Management Certification Program. signed expiration

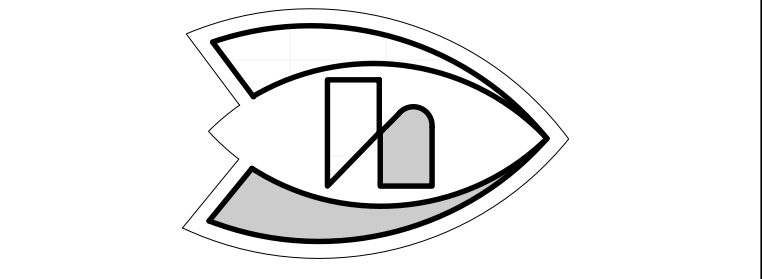
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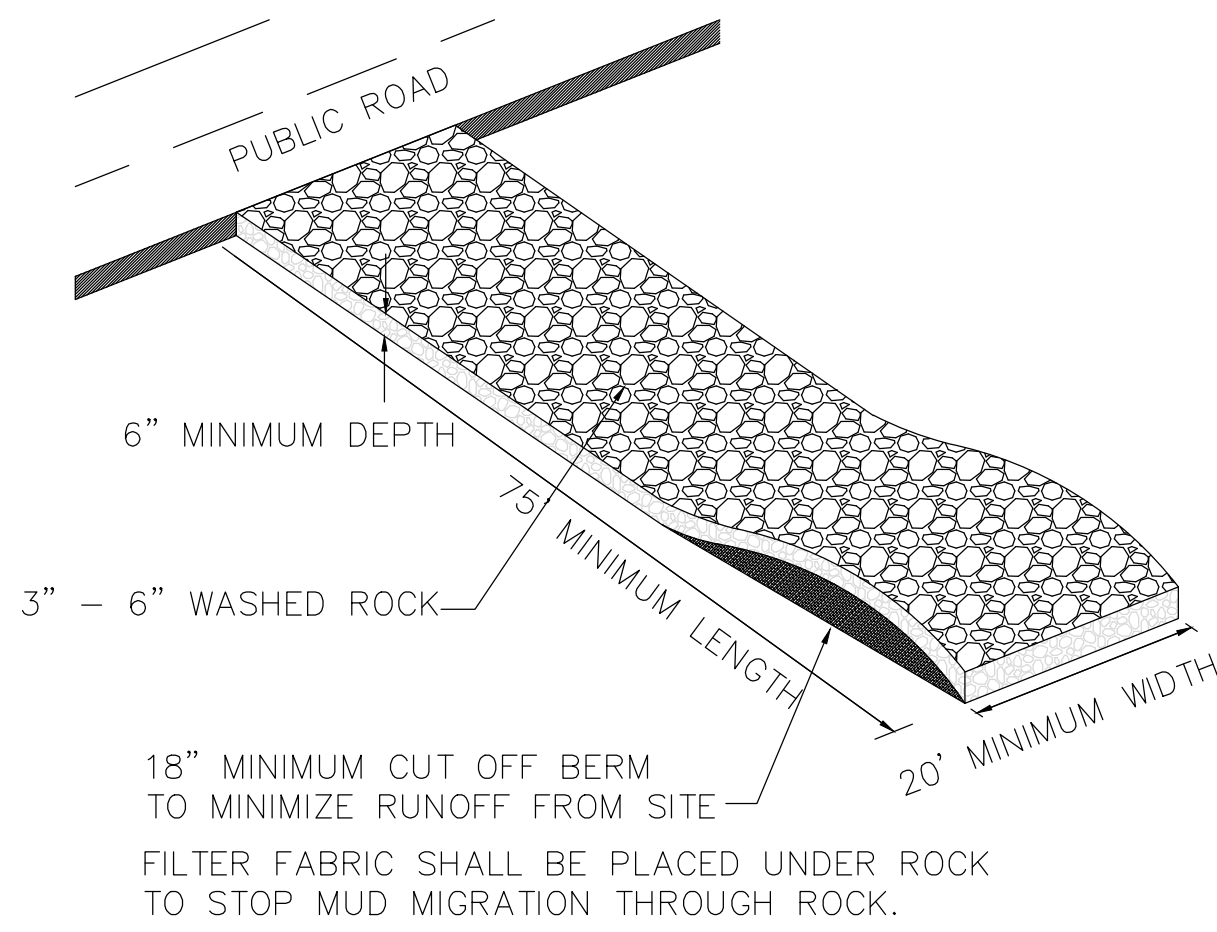
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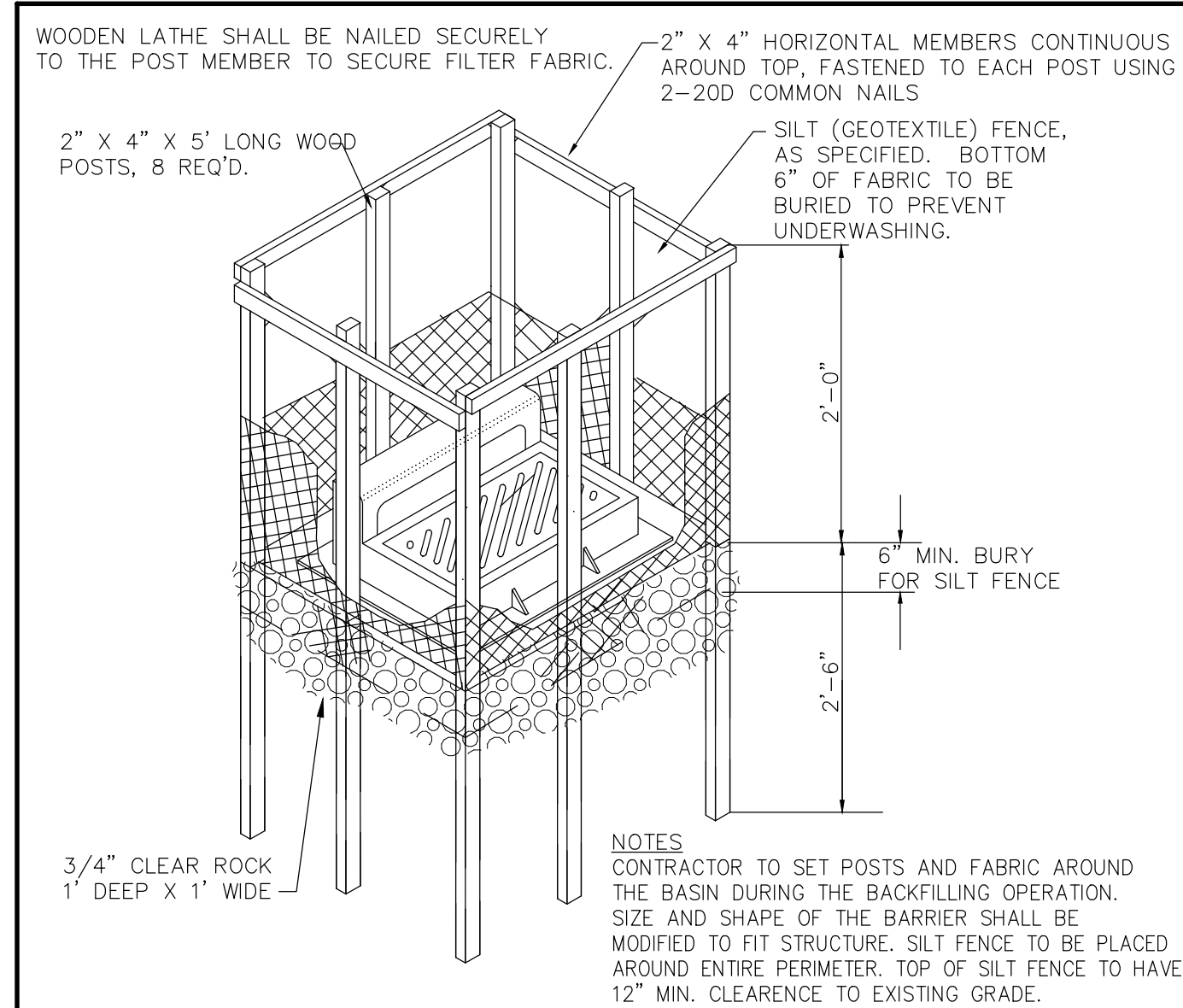
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EROSION CONTROL NOTES

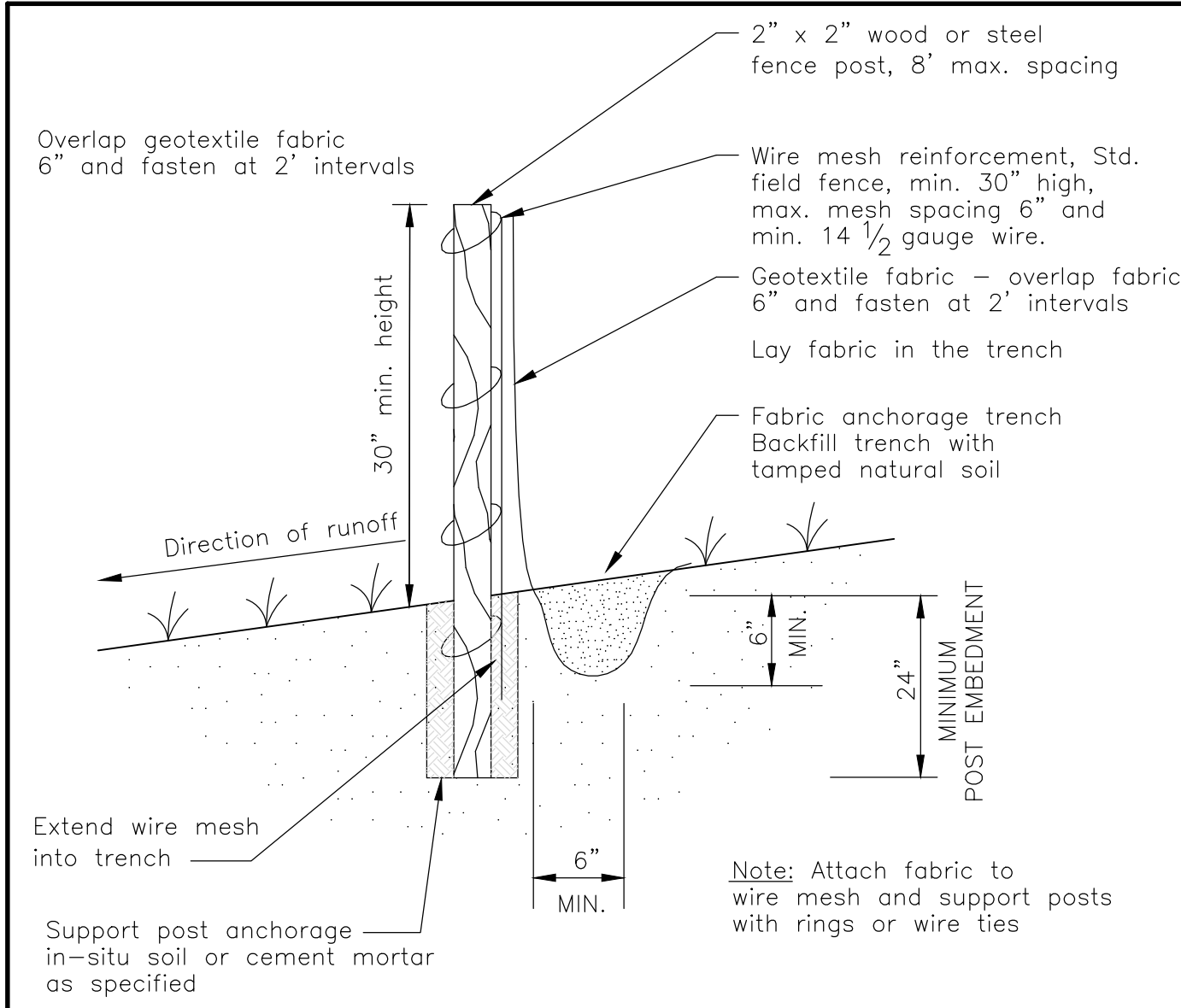
SWP2



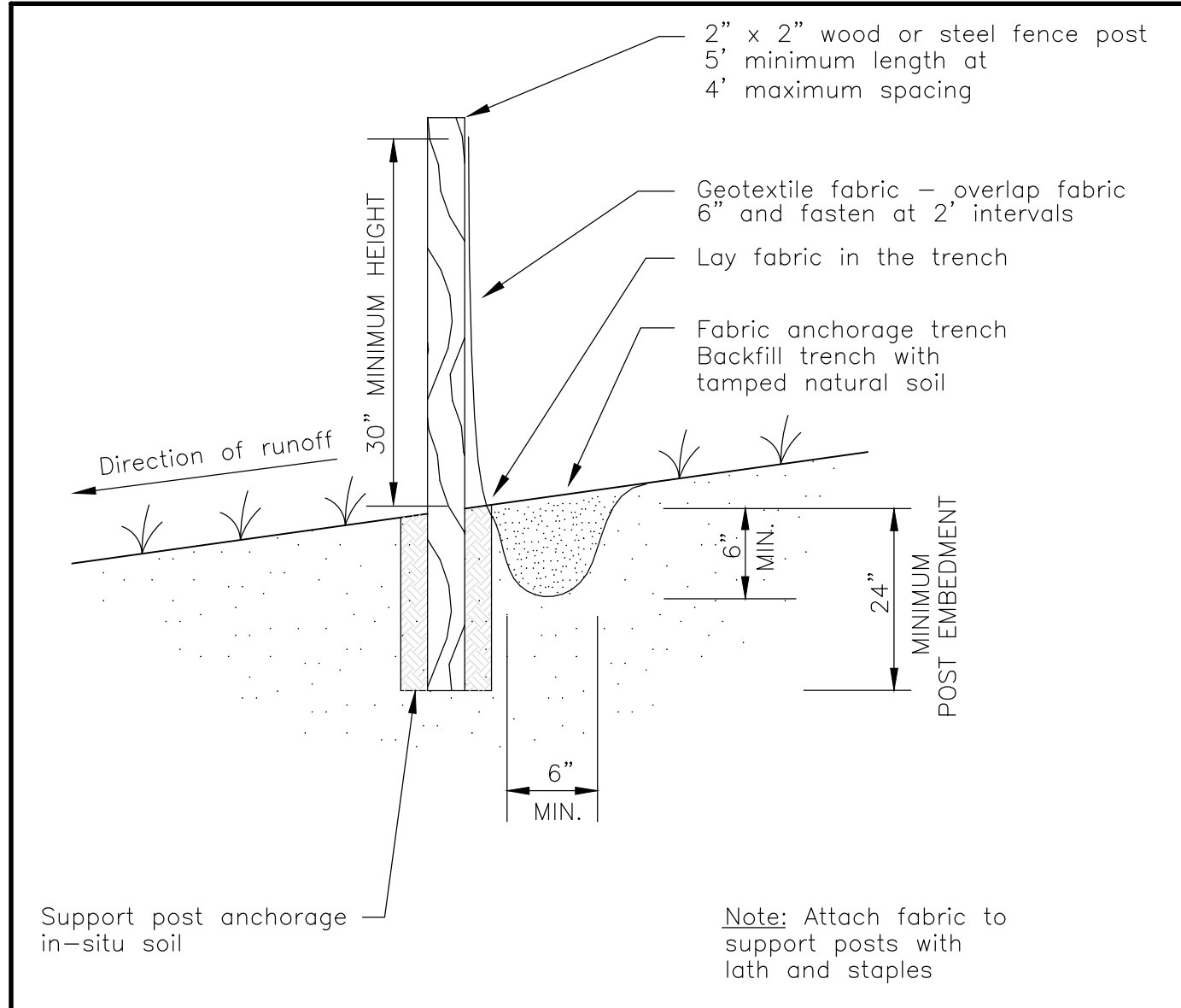
1 | ROCK CONSTRUCTION ENTRANCE



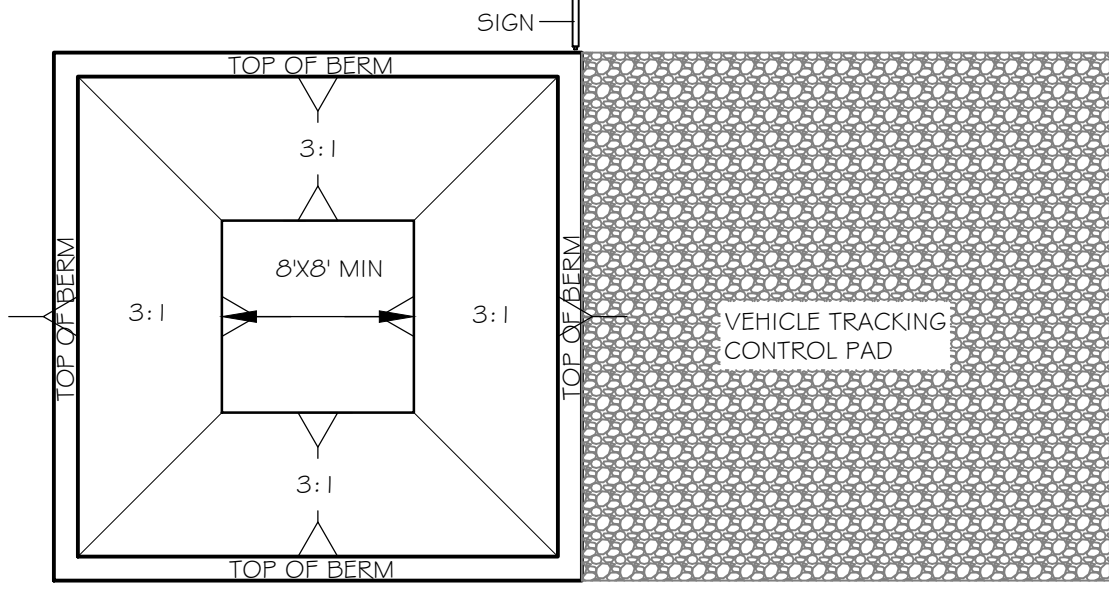
2 | EROSION CONTROL AROUND CATCH BASIN



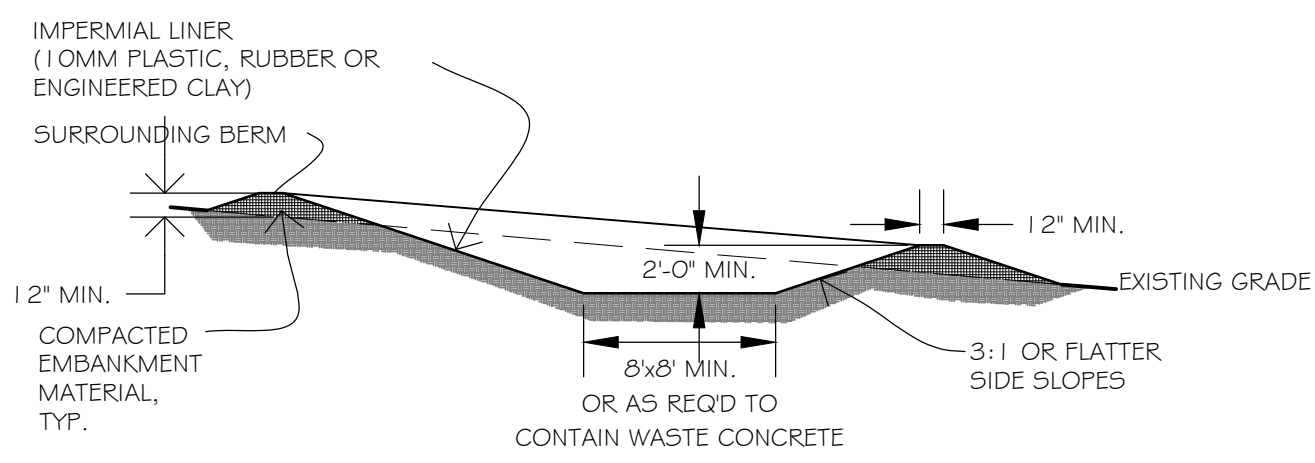
3 | HEAVY DUTY SILT FENCE



4 | SILT FENCE

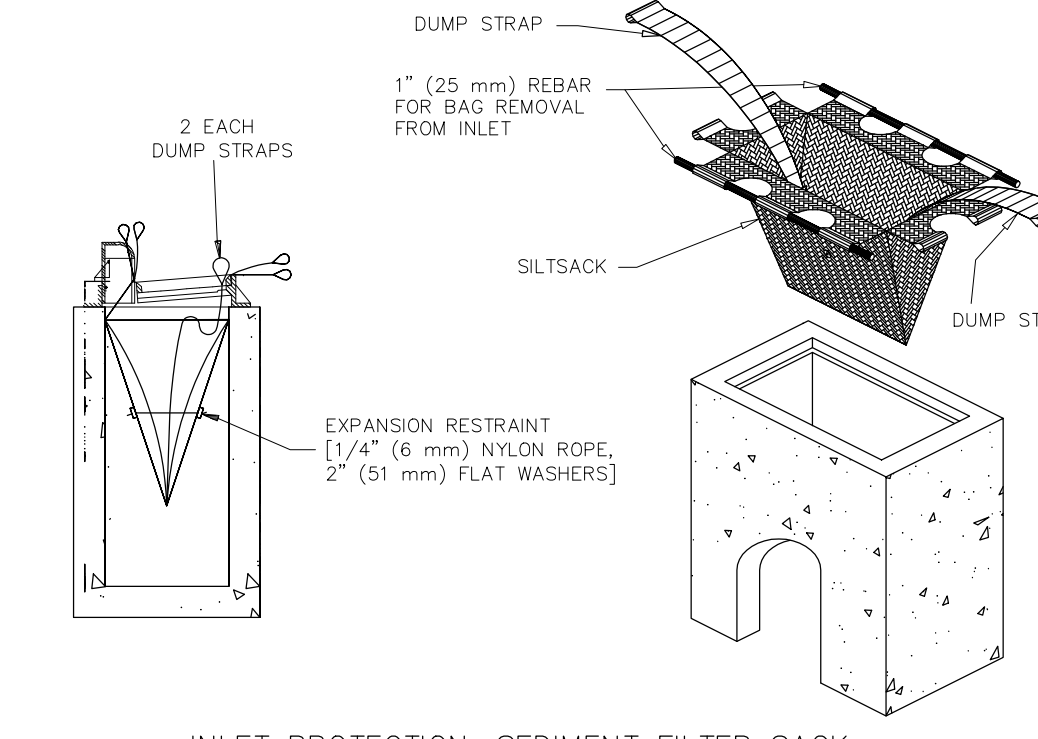
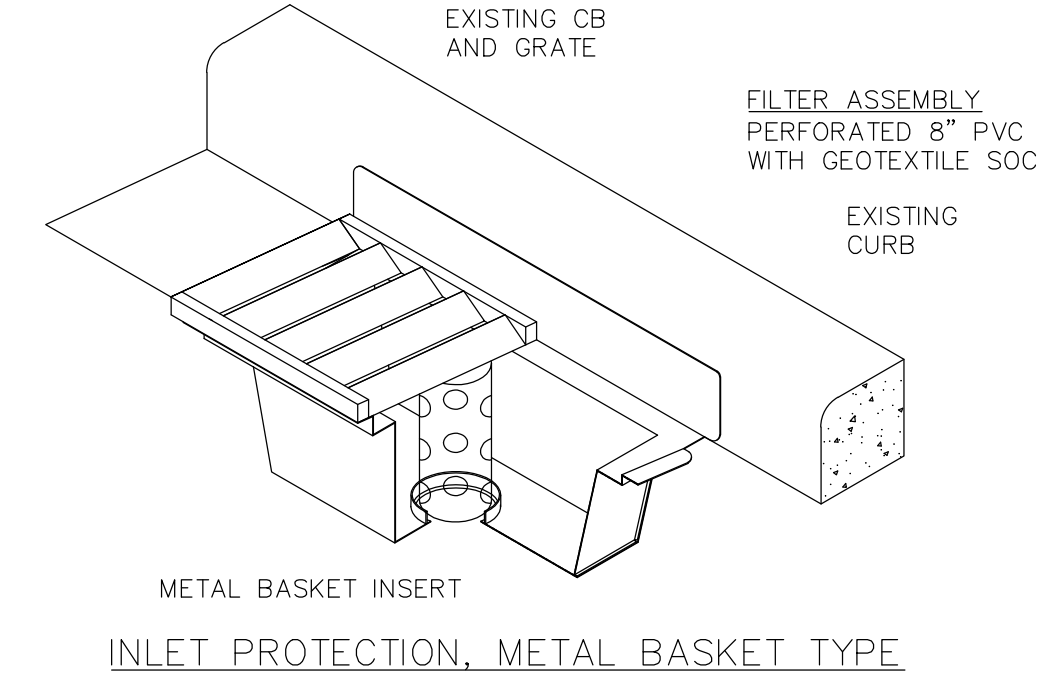


PLAN
1/8" = 1'-0"

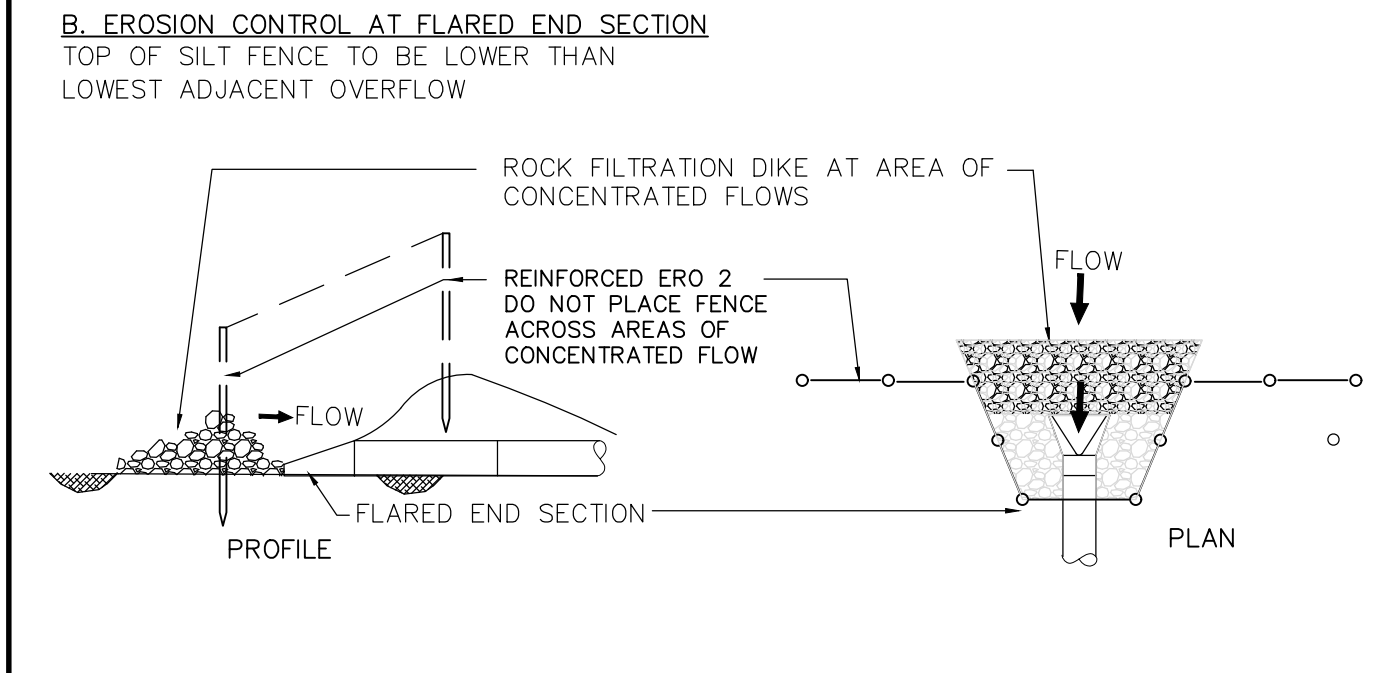
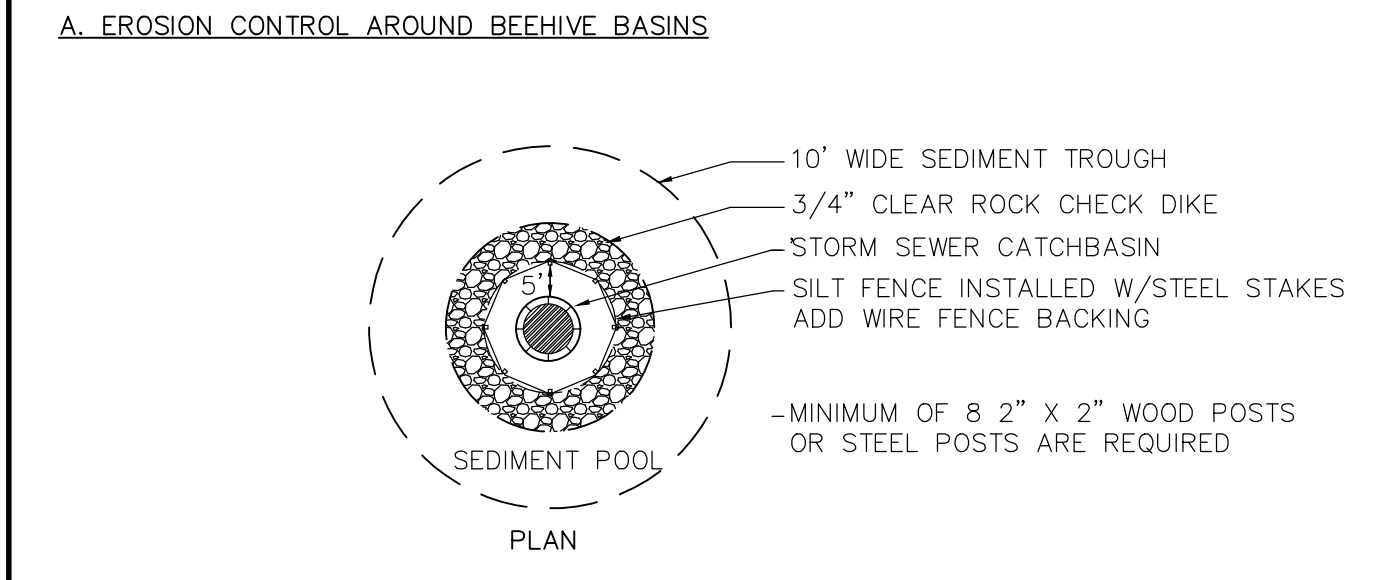


- CONCRETE WASHOUT AREA INSTALLATION NOTES**
- SEE EROSION CONTROL PLAN FOR LOCATIONS OF CONCRETE WASHOUT AREA(S). TO BE PLACED A MIN. OF 50' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.
 - THE CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 - VEHICLE TRACKING CONTROL PAD IS REQ'D AT THE ACCESS POINT(S).
 - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA(S), AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREAS TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 - EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.
- CONCRETE WASHOUT AREA MAINTENANCE NOTES**
- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE
 - AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
 - WHEN CONCRETE WASHOUT AREA(S) IS REMOVED, THE DISTURBED AREA SHALL BE STABILIZED PER SITE EROSION CONTROL MEASURES.
 - INSPECT WEEKLY AND DURING AND AFTER ALL STORM EVENTS. CLEAN-OUT OR COVER WASHOUT AREA PRIOR TO PREDICTED STORM EVENTS TO PREVENT OVER-FLOW.

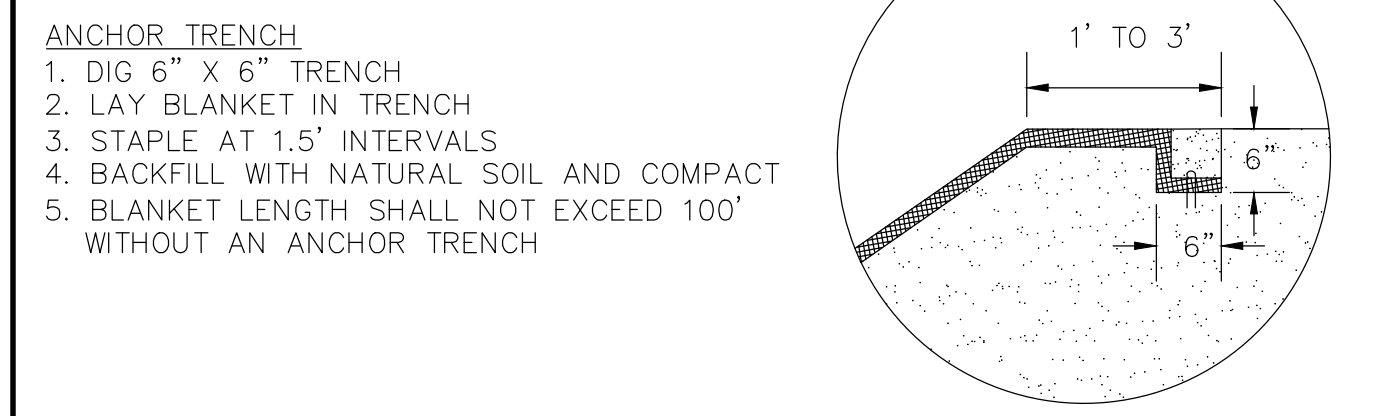
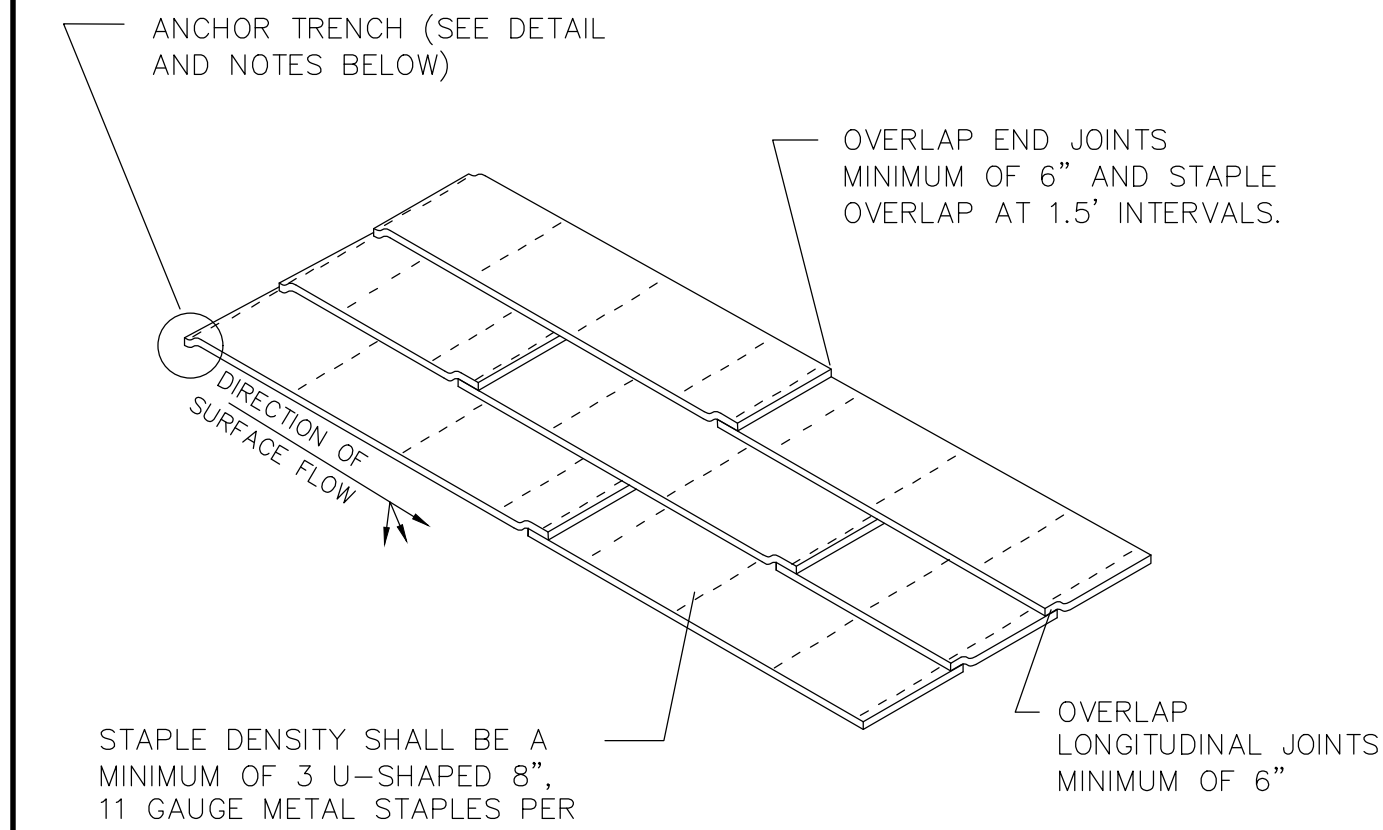
5 | ON-SITE CONCRETE WASHOUT AREA



6 | INLET PROTECTION AT CATCH BASIN



7 | EROSION CONTROL FOR OPEN SPACE CATCH BASINS AND FLARED-END SECTIONS



8 | EROSION CONTROL BLANKET INSTALLATION

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3131 Fernbrook Lane North, Suite 260
Plymouth, Minnesota 55447
763.383.8400
fax 763.383.8440

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Signed: Robert J. Mueller
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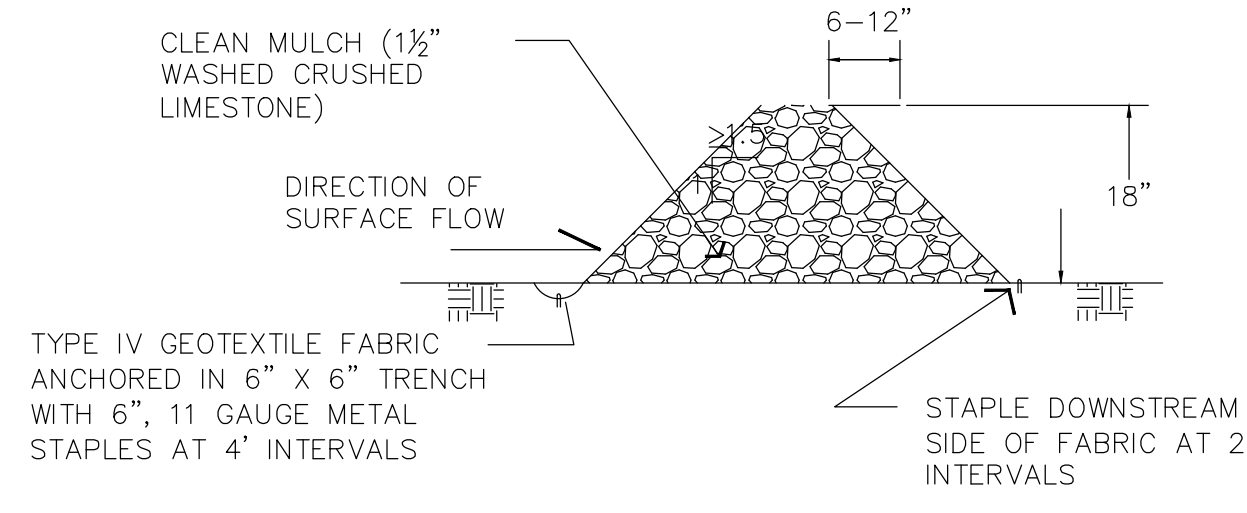
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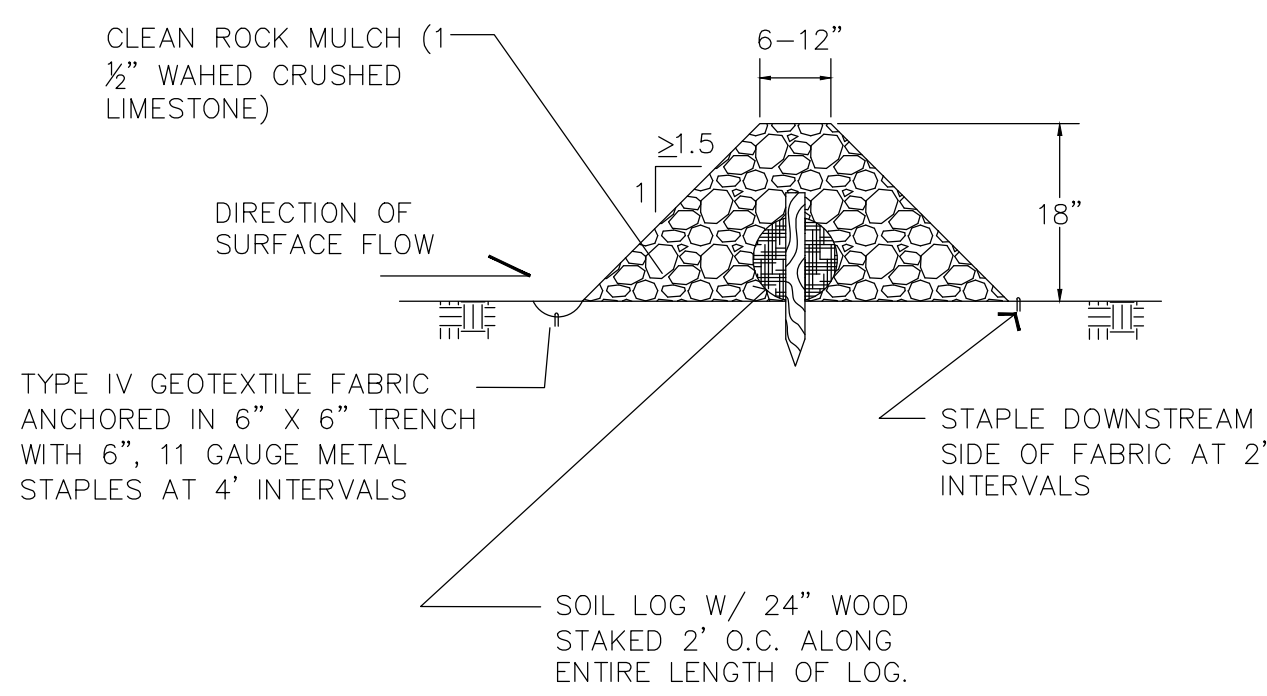
EROSION CONTROL NOTES

SWP3

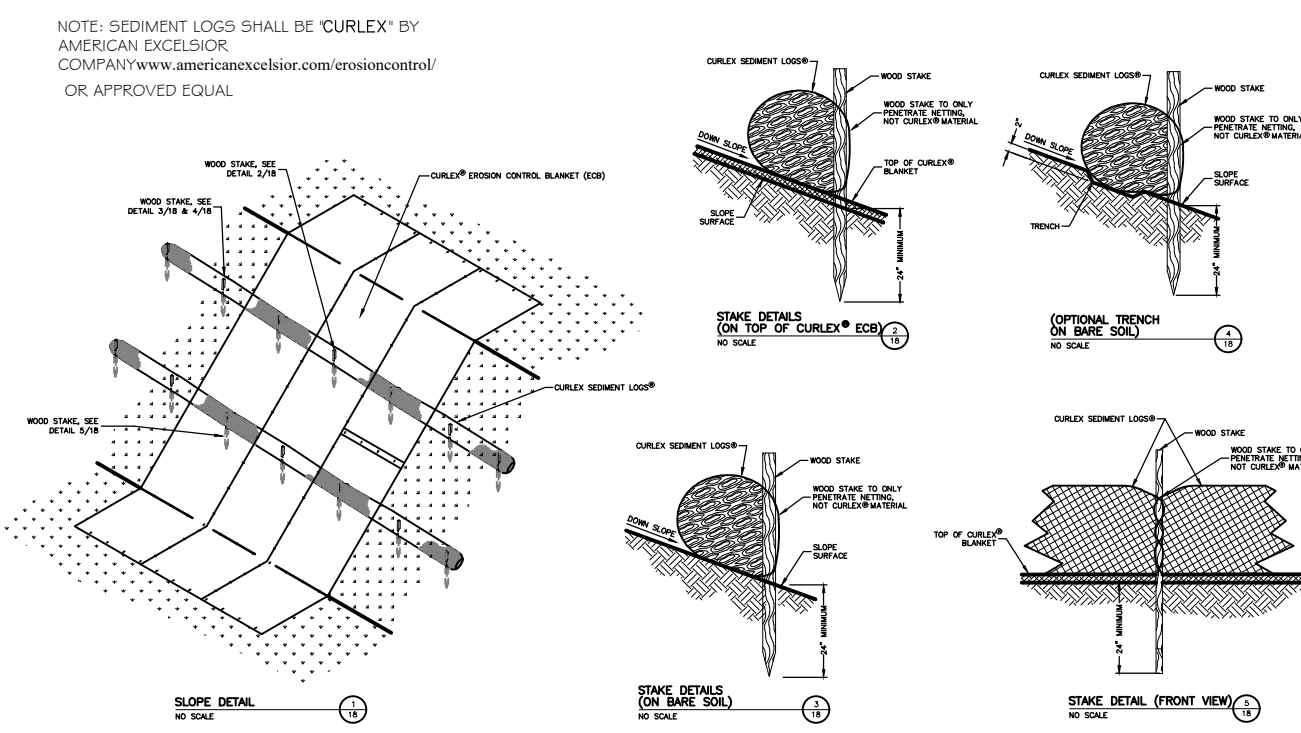
I. ROCK WEEPER @ MINIMAL WATER FLOWS



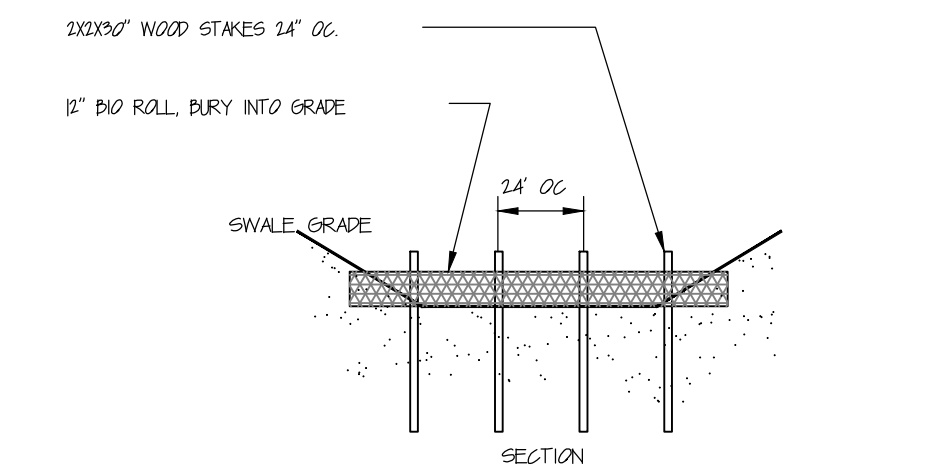
II. BIO WEEPER @ CONCENTRATED FLOWS



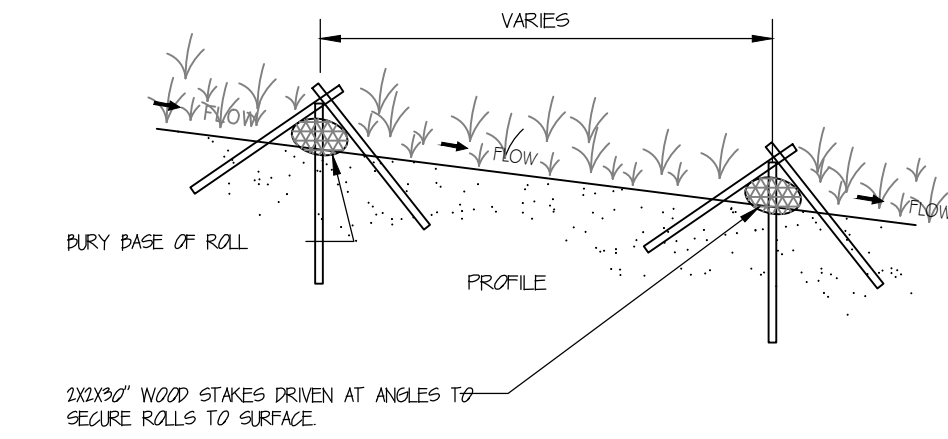
1 | DITCH CHECKS, ROCK WEEPERS, & ROCK BIO WEEPERS
EROSION CONTROL



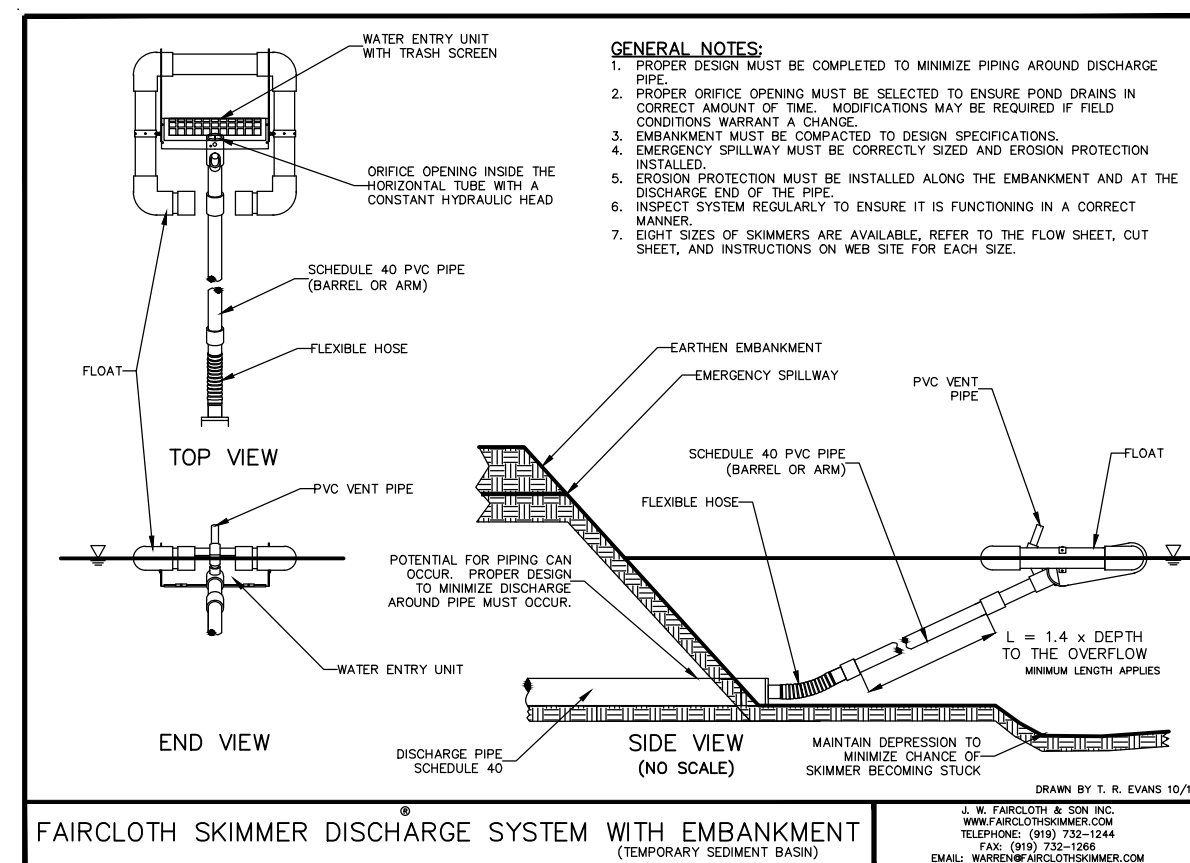
2 | BIO ROLL INSTALLATION



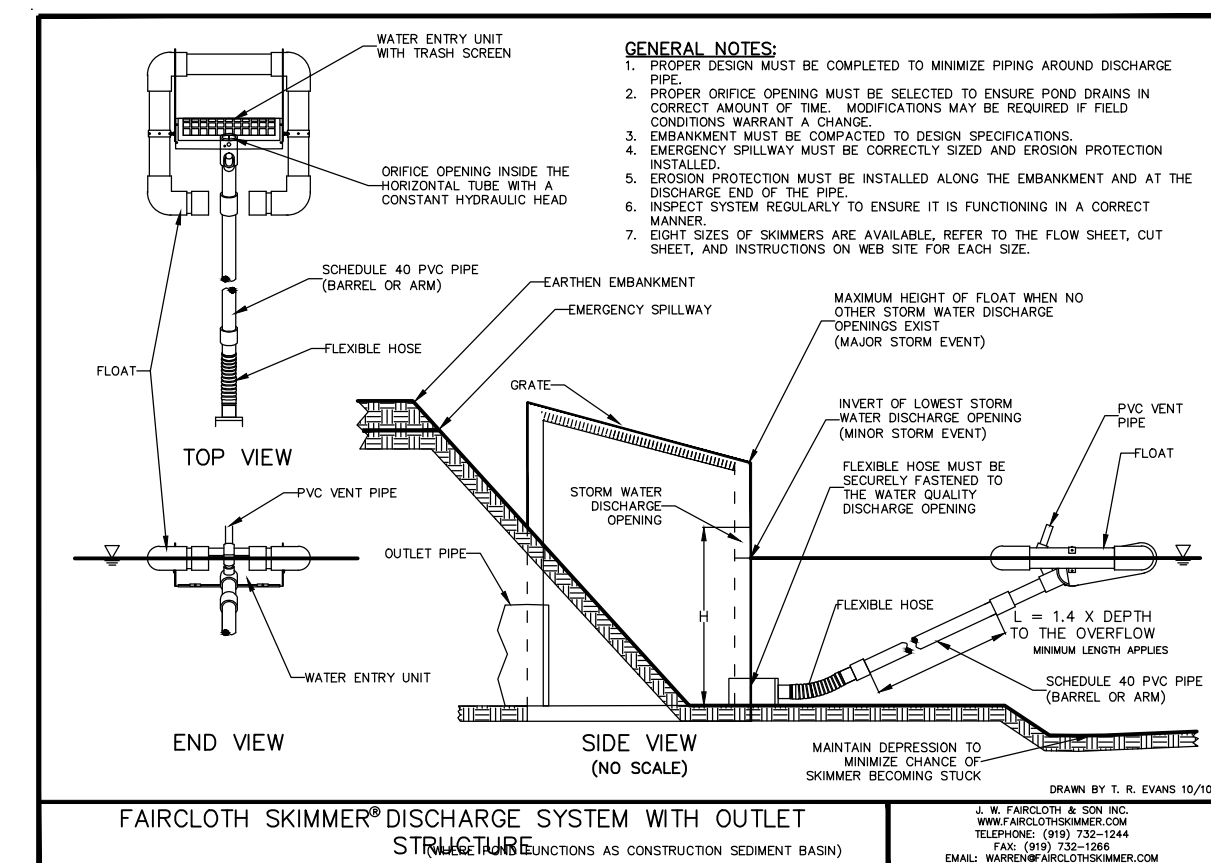
MINIMUM PALE SPACING- 10' UP TO 2% SLOPE
REDUCE SPACING BY 1' FOR EVERY 1% SWALE GRADE INCREASE UP
TO 10% GRADIENT.
(10% GRADE- PALE SPACING 10' O.C.)



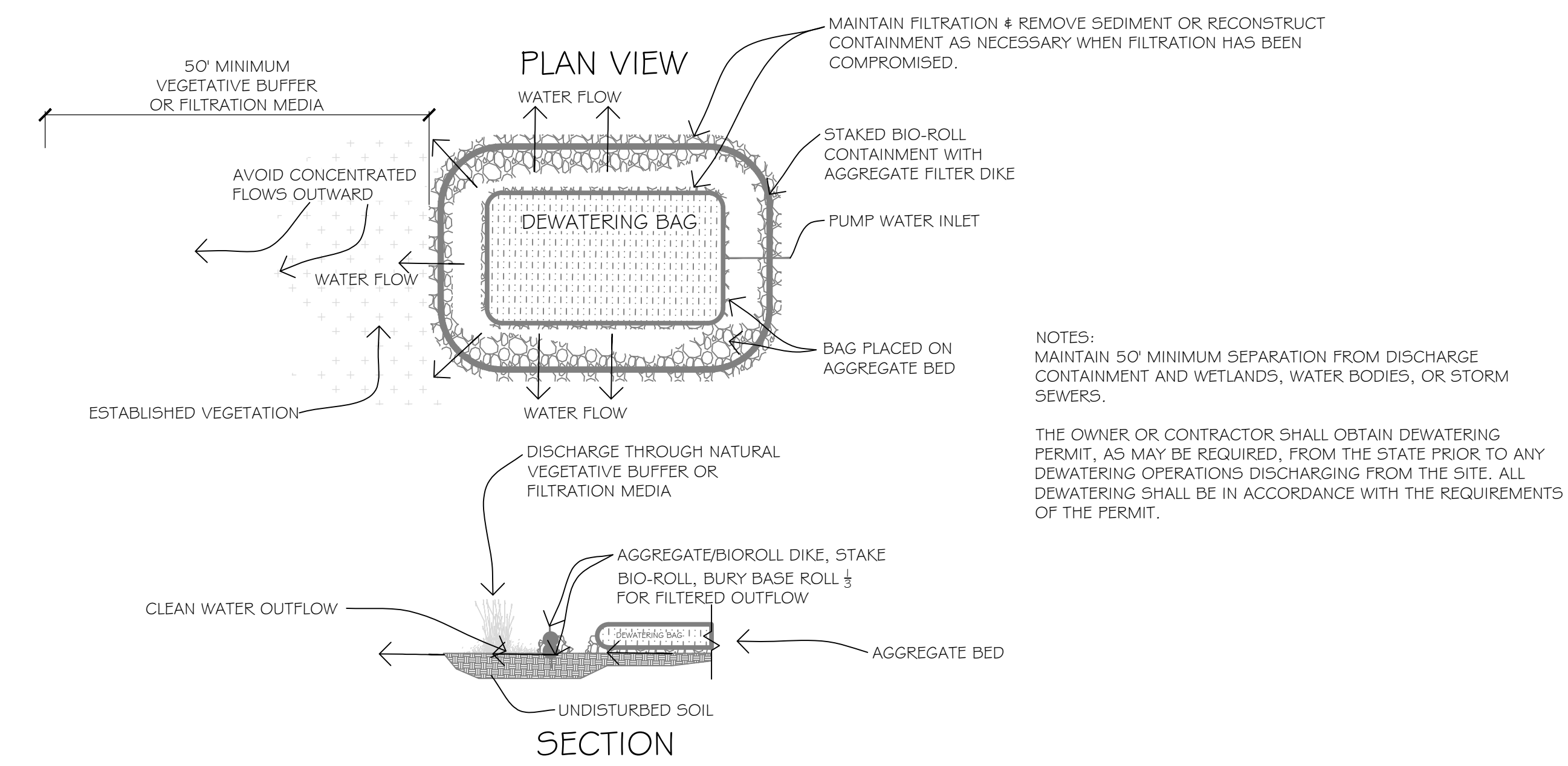
3 | DITCH CHECKS FOR DRAINAGE SWALES



5 | FAIRCLOTH SKIMMER DISCHARGE SYSTEM (OR APPROVED EQUAL BY OWNER)
SEDIMENT CONTROL




NOTE: USE ONLY IF NEEDED. WHEN CONSTRUCTION IS FINISHED, SEDIMENT IS TO BE REMOVED FROM POND. ONCE THE POND IS STABILIZED THE FAIRCLOTH SKIMMER CAN BE REMOVED AND THE INLET PIPE TO THE OUTLET STRUCTURE BE MADE FUNCTIONAL PER DETAIL SHEET SP-3



4 | DEWATERING BAG INSTALLATION, FOR DISCHARGING ERODED, SUSPENDED PARTICLES IN WATER
NOT TO SCALE

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3131 Fernbrook Lane North, Suite 260
Plymouth, Minnesota 55447
763.383.8400
Fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: 
Robert J. Mueller
Date: XXJULY20 Reg. No. 19306


Holiday
STATIONSTORE
#0332
HIAWATHA AVE
MINNEAPOLIS, MN

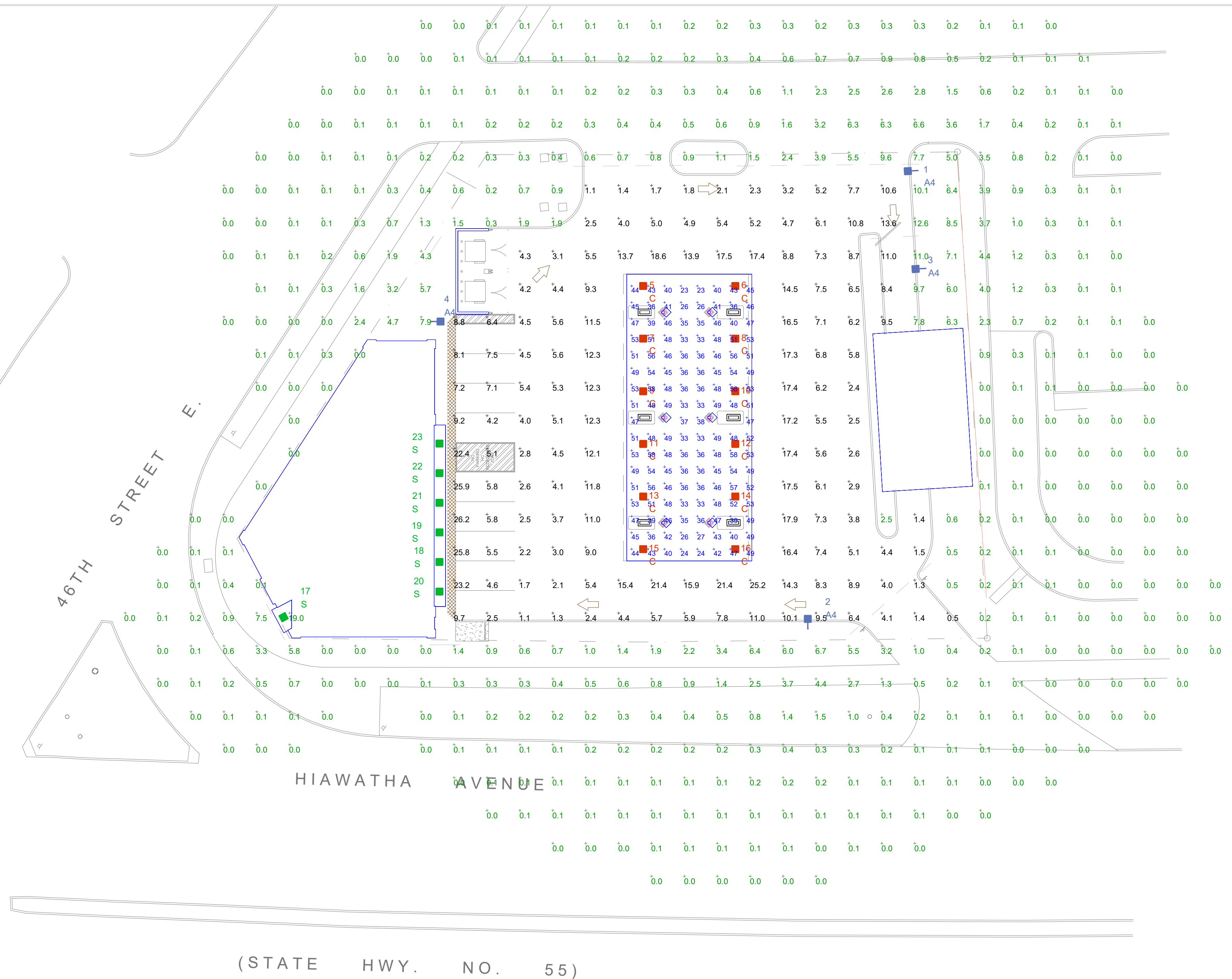
PROJECT NUMBER: 20-0332
DRAWN BY: X
CHECKED BY: X

MARK: REVISION / ISSUE: DATE:
CITY SUBMITTAL 8-7-2020

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER:
TRAVIS COMER
4567 AMERICAN BLVD, WEST
MINNEAPOLIS, MN 55437-1123
552 RIVER RD. 113
TCOMER@holidaycompanies.com

EROSION CONTROL DETAILS

SWP4



LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	17
2	A4	17
3	A4	17
4	A4	17
5	C	14.5
6	C	14.5
7	C	14.5
8	C	14.5
9	C	14.5
10	C	14.5
11	C	14.5
12	C	14.5
13	C	14.5
14	C	14.5
15	C	14.5
16	C	14.5
17	S	10.75
18	S	10.75
19	S	10.75
20	S	10.75
21	S	10.75
22	S	10.75
23	S	10.75

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	8.10	26.2	0.5	16.20	52.40
UNDEFINED	0.84	19.0	0.0	N.A.	N.A.
UNDER CANOPY	43.95	58	23	1.91	2.52

NOTE:
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC	
	4	A4	SINGLE	17291	1.040	B3-U0-G3	130	520	Cree Inc	OSQ-XX + OSQ-A-NM-4ME-K-57K-UL-XX	
	12	C	SINGLE	19932	1.040	B4-U2-G2	145.04	1740.48	Cree Inc	CPY250-B-DM-D-E-UL-XX-57K	
	7	S	SINGLE	4520	1.040	B2-U0-G1	31	217	Cree Inc	CPY250-B-DM-F-C-UL-XX-57K	

REV.	BY	DATE	DESCRIPTION
R1	JSG	8/4/20	REVISED PER NEW SITE PLAN. REWORK DWG FORMAT PER CITY REQUIREMENTS.
R2	JSG	8/6/20	REPOSITION ASSY. # 2. UPDATE BACKGROUND DRAWING.

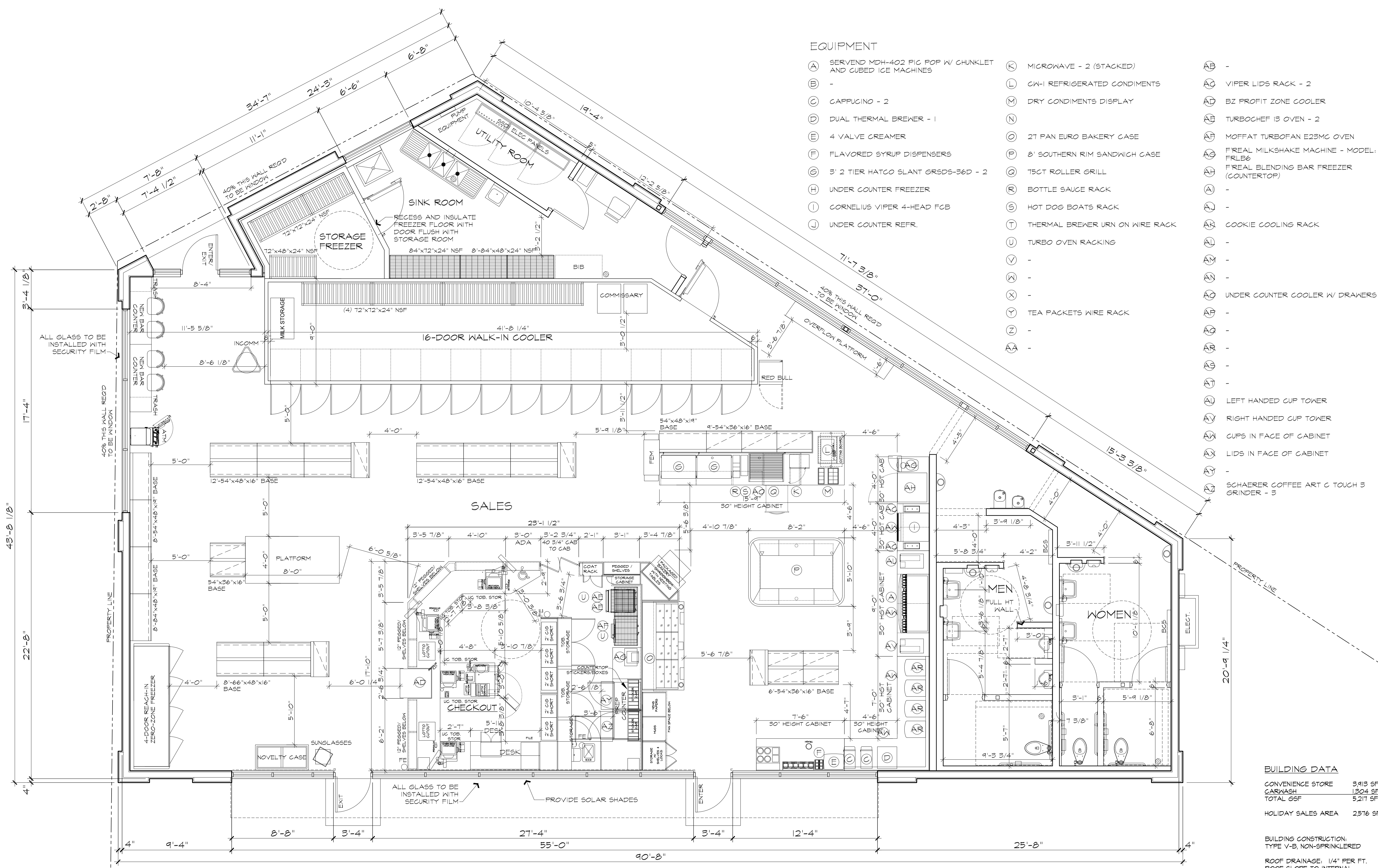
PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM IS SOLELY AT THE USER'S RISK. RED LEONARD ASSOCIATES, INC. IS NOT INTENDING TO REMEDY THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY FILE OF MATERIAL AND THAT THE LAYOUT OR USE OF LUMINAIRES IS IN FULL ACCORDANCE WITH ALL LOCAL, STATE, OR FEDERAL STATUTES, REGULATIONS OR OTHER REQUIREMENTS, OR THE REQUIREMENTS OF ANY INSURANCE POLICY, ORGANIZATION OR CARRIER REGARDING LUMINAIRES AND THEIR APPLICATION.

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ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED. USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERING FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: 1" = 20'
LAYOUT BY: FNE
DWG SIZE: D
DATE: 7/20/2020

PROJECT NAME:
CIRCLE K
MINNEAPOLIS, MN
DRAWING NUMBER:
RL-6888-S1-R2



EQUIPMENT

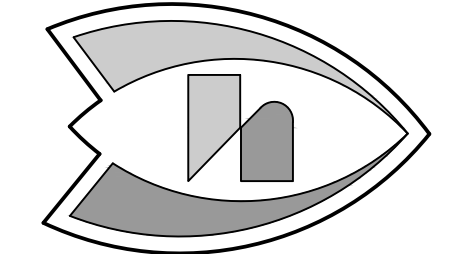
- (A) SERVEND MDH-402 PIC POP W/ CHUNKLET AND CUBED ICE MACHINES
- (B) -
- (C) CAPPUCCINO - 2
- (D) DUAL THERMAL BREWER - 1
- (E) 4 VALVE CREAMER
- (F) FLAVORED SYRUP DISPENSERS
- (G) 3' 2 TIER HATCO SLANT GRSDS-36D - 2
- (H) UNDER COUNTER FREEZER
- (I) CORNELIUS VIPER 4-HEAD FCB
- (J) UNDER COUNTER REFR.
- (K) MICROWAVE - 2 (STACKED)
- (L) CW-I REFRIGERATED CONDIMENTS
- (M) DRY CONDIMENTS DISPLAY
- (N) 27 PAN EURO BAKERY CASE
- (P) 8' SOUTHERN RIM SANDWICH CASE
- (Q) T5GT ROLLER GRILL
- (R) BOTTLE SAUCE RACK
- (S) HOT DOG BOATS RACK
- (T) THERMAL BREWER URN ON WIRE RACK
- (U) TURBO OVEN RACKING
- (V) -
- (W) -
- (X) -
- (Y) TEA PACKETS WIRE RACK
- (Z) -
- (AA) -
- (AB) -
- (AC) VIPER LIDS RACK - 2
- (AD) BZ PROFIT ZONE COOLER
- (AE) TURBOCHEF 13 OVEN - 2
- (AF) MOFFAT TURBOFAN E23MC OVEN
- (AG) FREAL MILKSHAKE MACHINE - MODEL: FRLB6
- (AH) FREAL BLENDING BAR FREEZER (COUNTERTOP)
- (AI) -
- (AJ) -
- (AK) COOKIE COOLING RACK
- (AL) -
- (AM) -
- (AN) -
- (AO) UNDER COUNTER COOLER W/ DRAWERS
- (AP) -
- (AQ) -
- (AR) -
- (AS) -
- (AT) LEFT HANDED CUP TOWER
- (AU) RIGHT HANDED CUP TOWER
- (AV) CUPS IN FACE OF CABINET
- (AW) LIDS IN FACE OF CABINET
- (AX) -
- (AY) -
- (AZ) SCHAERER COFFEE ART C TOUCH 3 GRINDER - 3

1 FUTURE PLAN

1/4" = 1'-0"

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Holiday STATIONSTORE #0332 MINNEAPOLIS, MN

PROJECT NUMBER:	20-1046-01
DRAWN BY:	BL
CHECKED BY:	KA
MARK:	REVISION / ISSUE: DATE:
	CITY SUBMITTAL 08-07-20

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES CONSTRUCTION MANAGER:
TRAVIS COMER
 4567 AMERICAN BLVD. WEST
 MINNEAPOLIS, MN 55437-1123
 (952) 830-8713 (PHONE)
 (952) 830-1678 (FAX)
 tcomer@circlek.com

BUILDING DATA

CONVENIENCE STORE	3,913 SF
CARWASH	1,204 SF
TOTAL GSF	5,217 SF
HOLIDAY SALES AREA	2,576 SF

BUILDING CONSTRUCTION:
 TYPE V-B, NON-SPRINKLERED
 ROOF DRAINAGE: 1/4" PER FT.
 ROOF SLOPE TO INTERNAL
 ROOF DRAINS TO STORM



FLOOR PLAN

A1

NOTES AND EXTERIOR MATERIALS LEGEND

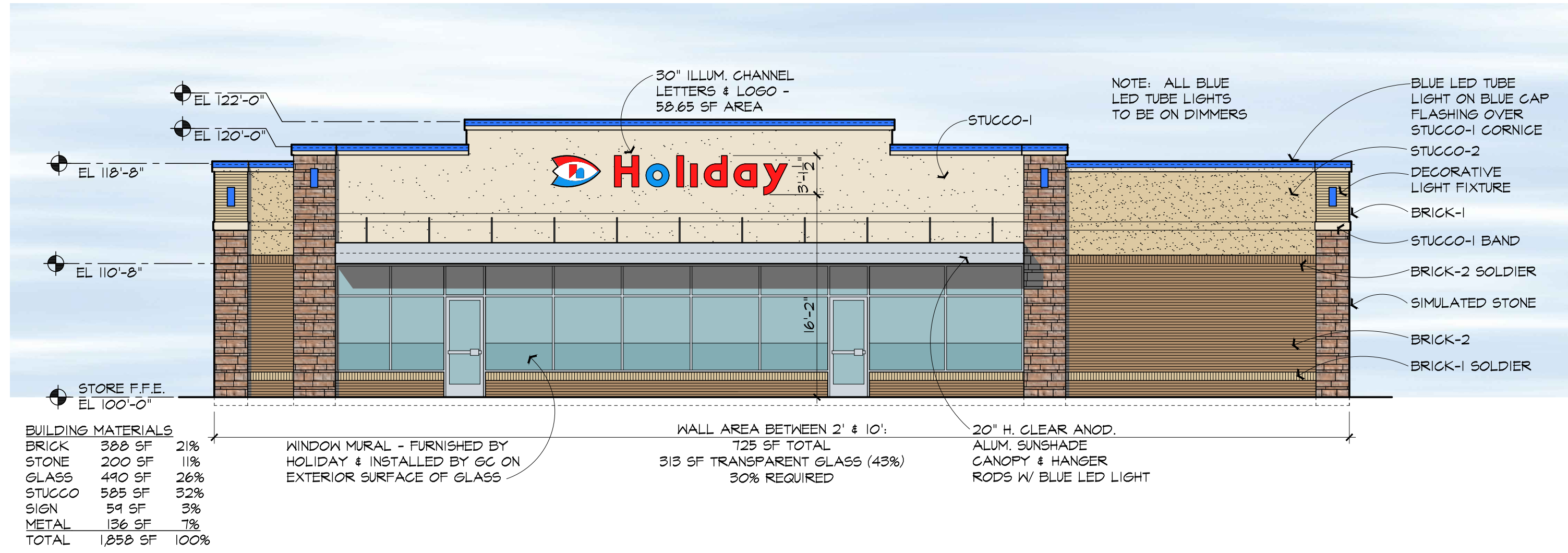
- BRICK-1 (LIGHT); ENDICOTT IVORY VELOUR (MODULAR THIN BRICK)
- BRICK-2 (MEDIUM); ENDICOTT DESERT IRONSPOT LIGHT VELOUR (MODULAR THIN BRICK)
- THIN STONE; CORONADO PLAYA VISTA LIMESTONE 'ALASKAN SUNSET' - DRYSTACK JOINTS
- BRICK & STONE MORTAR: NATURAL GRAY
- STUCCO-1 (STORE & CAR WASH ENTRIES & DECORATIVE BANDS); STUCCO W/ COLOR TO MATCH DRYVIT #108 'MANOR WHITE', SANDPEBBLE TEXTURE
- STUCCO-2 (FIELD COLOR); STUCCO W/ COLOR TO MATCH DRYVIT #12, 'SANDLEWOOD BEIGE', SANDPEBBLE TEXTURE

WALL CAP FLASHING (BLDG.): PREFINISHED METAL - COLOR: UNA-CLAD 'ELECTRIC BLUE' U.N.O. / 'SIERRA TAN' WHERE NOTED

WALL CAP FLASHING (GAS CANOPY): PREFINISHED METAL - COLOR: UNA-CLAD 'ELECTRIC BLUE'

ALUMINUM SUNSHADE CANOPIES: PREFINISHED METAL - COLOR: CLEAR ANODIZED

ALUM. STOREFRONT: CLEAR ANODIZED

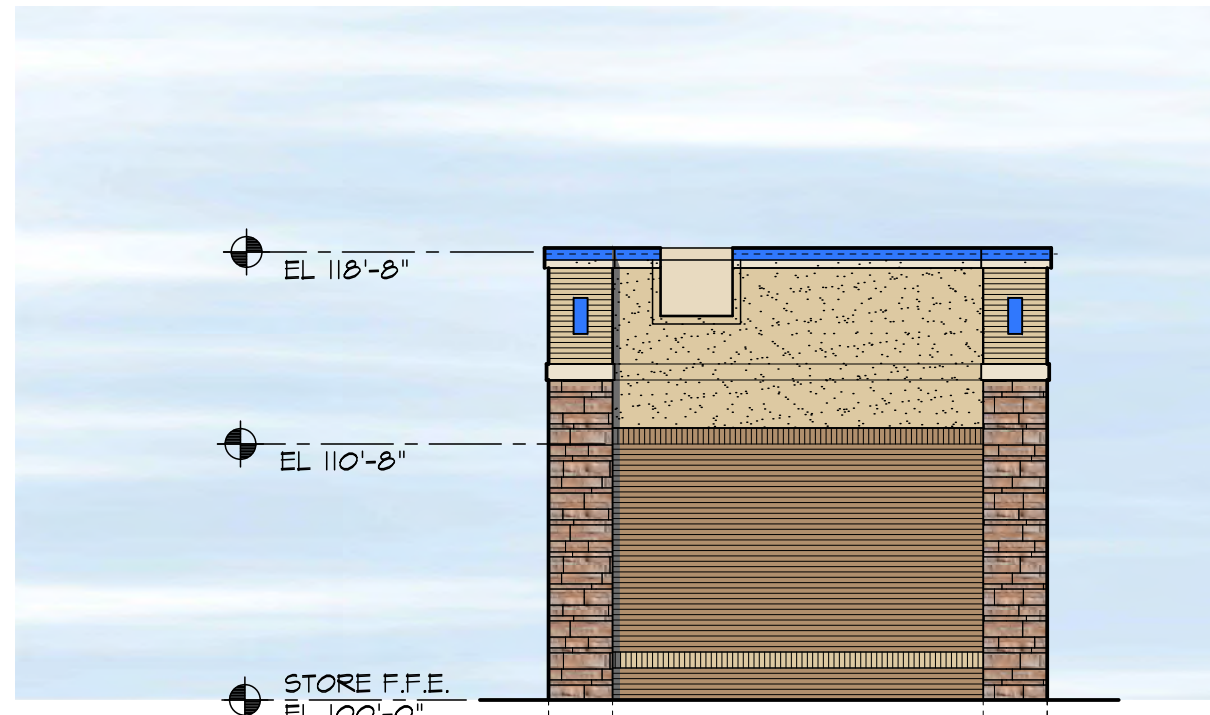


BUILDING MATERIALS

BRICK	388 SF	21%
STONE	200 SF	11%
GLASS	490 SF	26%
STUCCO	585 SF	32%
SIGN	54 SF	3%
METAL	136 SF	7%
TOTAL	1,858 SF	100%

1 SOUTH ELEVATION
FACING PARKING LOT

1/8" = 1'-0"

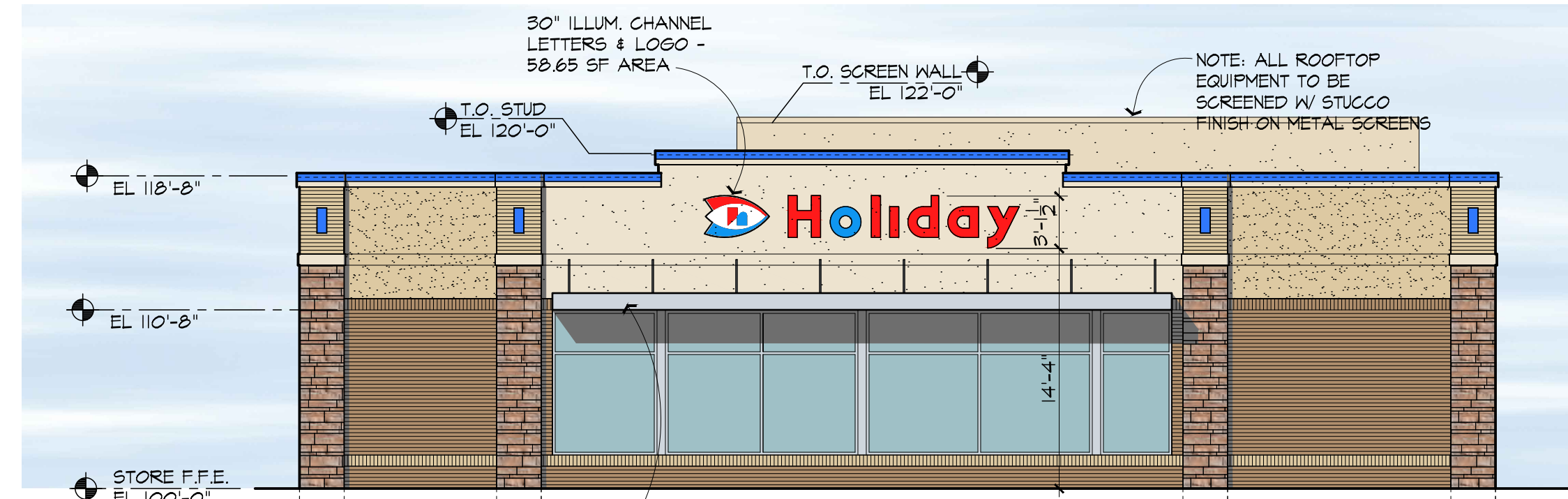


BUILDING MATERIALS

BRICK	191 SF	50%
STONE	72 SF	19%
GLASS	0 SF	0%
STUCCO	106 SF	28%
SIGN	0 SF	0%
METAL	8 SF	3%
TOTAL	385 SF	100%

2 EAST ELEVATION

1/8" = 1'-0"



BUILDING MATERIALS

BRICK	376 SF	27%
STONE	144 SF	11%
GLASS	321 SF	24%
STUCCO	417 SF	30%
SIGN	54 SF	4%
METAL	61 SF	4%
TOTAL	1,378 SF	100%

3 NORTH ELEVATION
FACING 46TH STREET

1/8" = 1'-0"

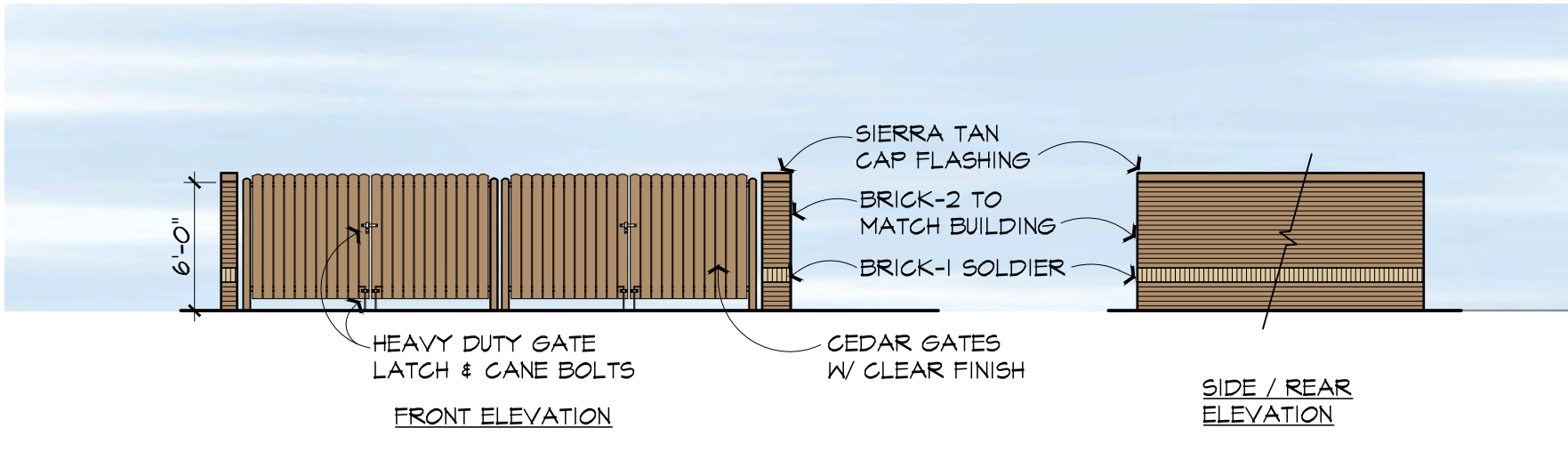


BUILDING MATERIALS

BRICK	206 SF	31%
STONE	72 SF	11%
GLASS	121 SF	19%
STUCCO	133 SF	20%
SIGN	94 SF	14%
METAL	33 SF	5%
TOTAL	665 SF	100%

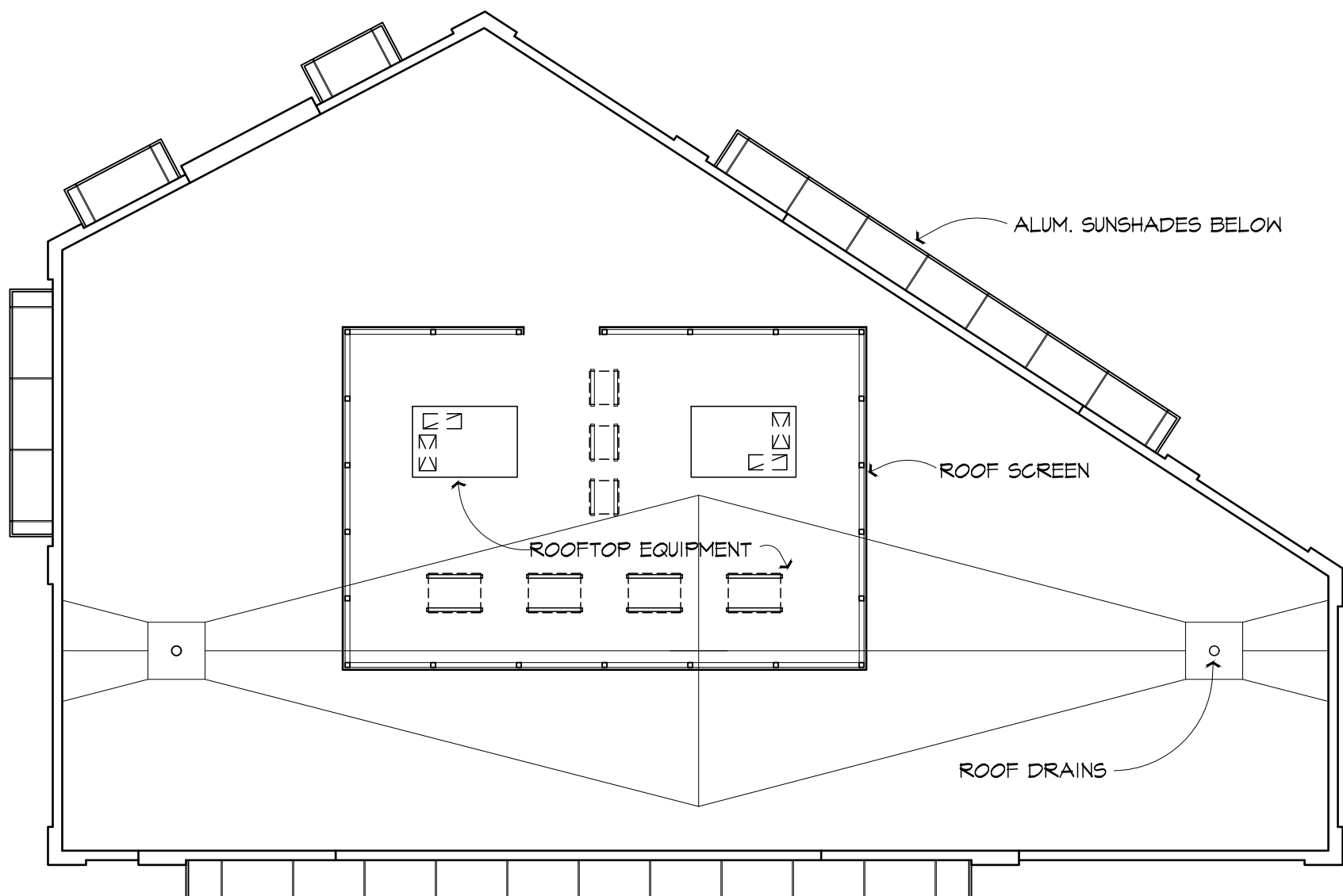
4 NORTHWEST ELEVATION
FACING INTERSECTION

1/8" = 1'-0"



7 TRASH ENCLOSURE

1/8" = 1'-0"



6 ROOF PLAN

3/32" = 1'-0"



BUILDING MATERIALS

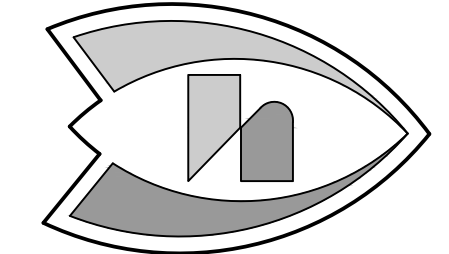
BRICK	216 SF	34%
STONE	108 SF	13%
GLASS	150 SF	18%
STUCCO	252 SF	31%
SIGN	0 SF	0%
METAL	31 SF	4%
TOTAL	823 SF	100%

5 WEST ELEVATION
FACING HIAWATHA AVE.

1/8" = 1'-0"

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Holiday
STATIONSTORE
#0332
MINNEAPOLIS, MN

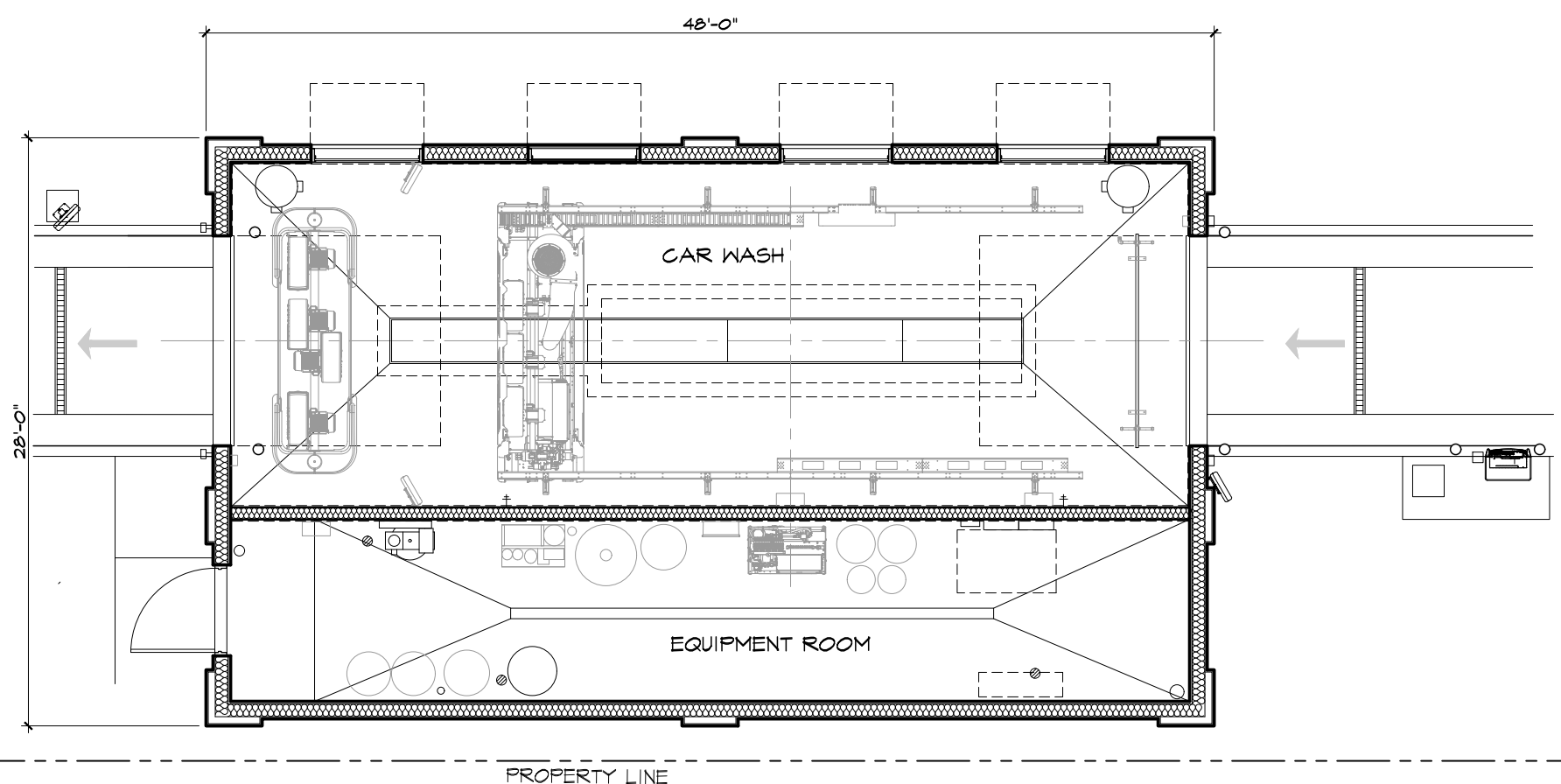
PROJECT NUMBER:	20-1046-01
DRAWN BY:	BL
CHECKED BY:	KA
MARK:	REVISION / ISSUE: DATE:
	CITY SUBMITTAL 08-07-20

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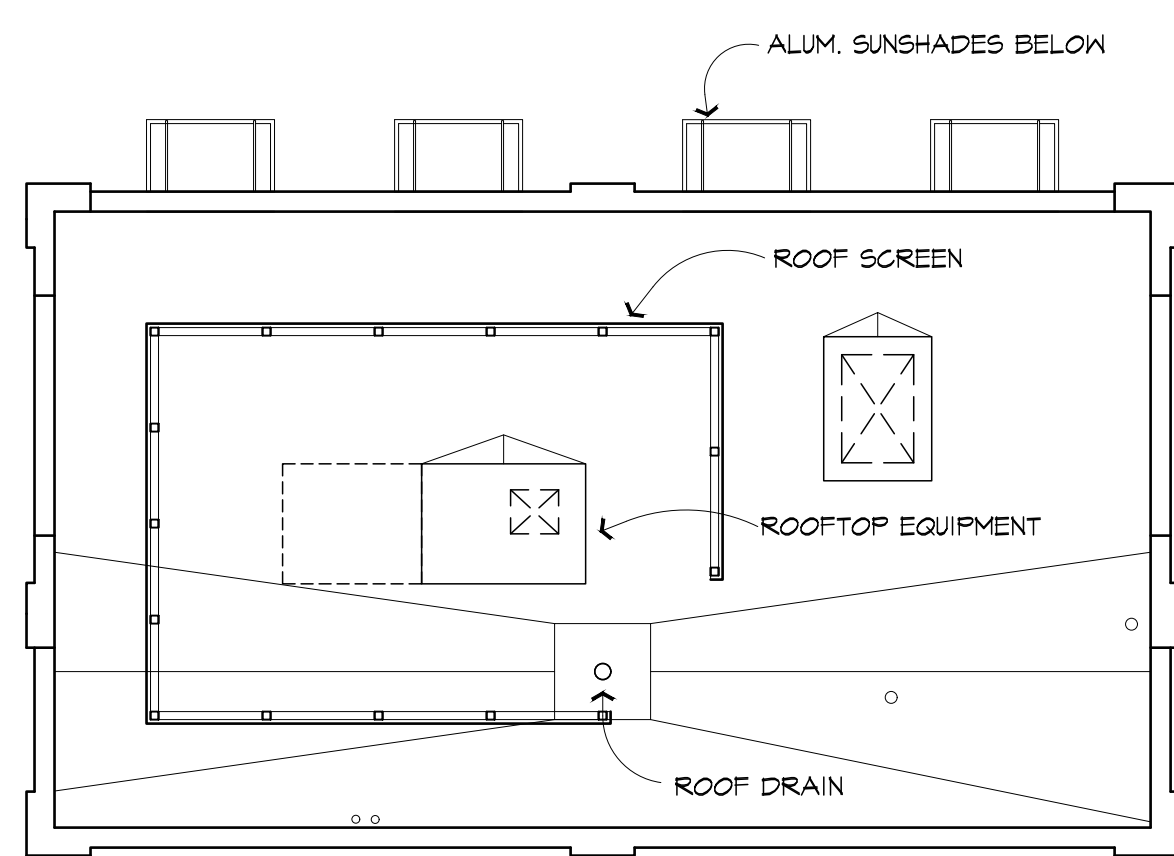
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4567 AMERICAN BLVD. WEST
MINNEAPOLIS, MN 55437-1123
(952) 830-8713 (PHONE)
(952) 830-1678 (FAX)
tcomer@circlek.com

EXTERIOR ELEVATIONS

A2



5 CAR WASH FLOOR PLAN
1/8" = 1'-0"



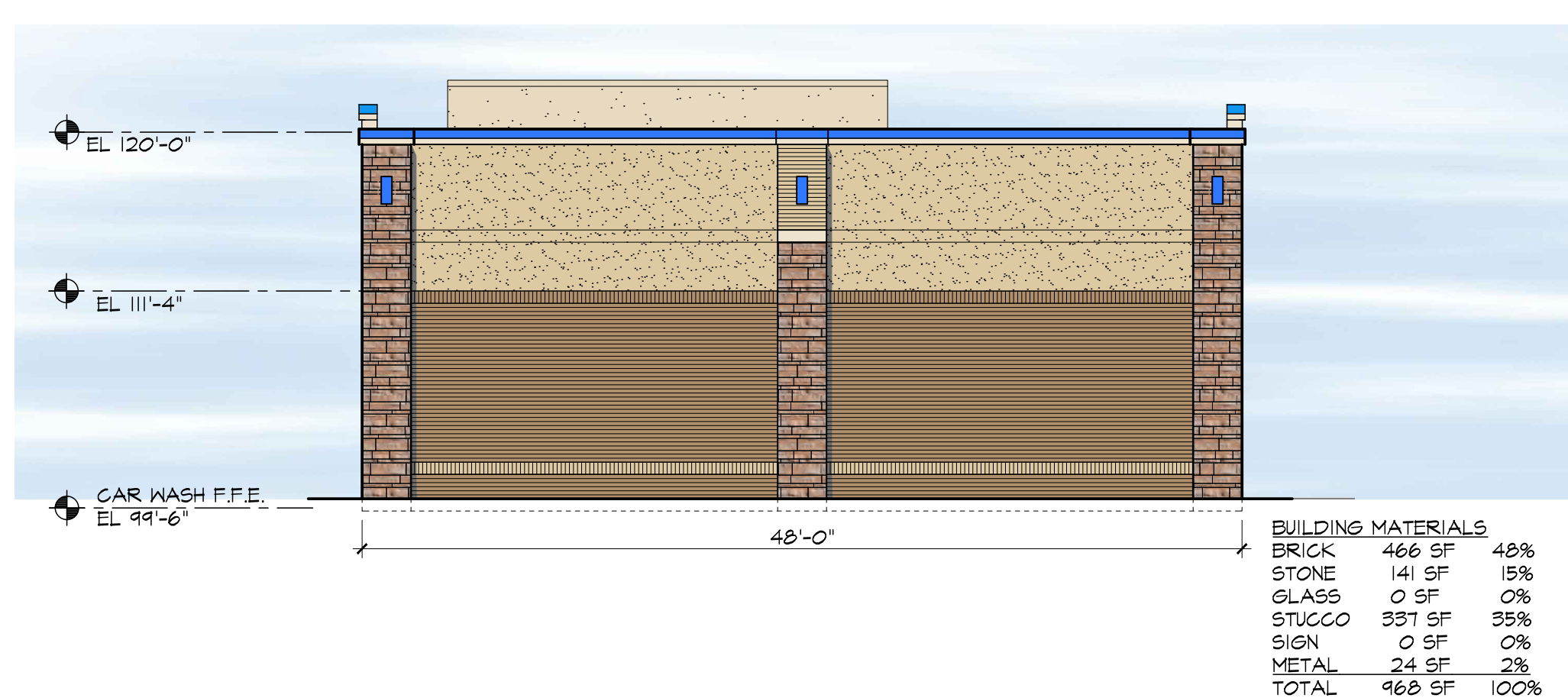
6 CAR WASH ROOF PLAN
1/8" = 1'-0"



1 NORTH CAR WASH ELEVATION
1/8" = 1'-0"



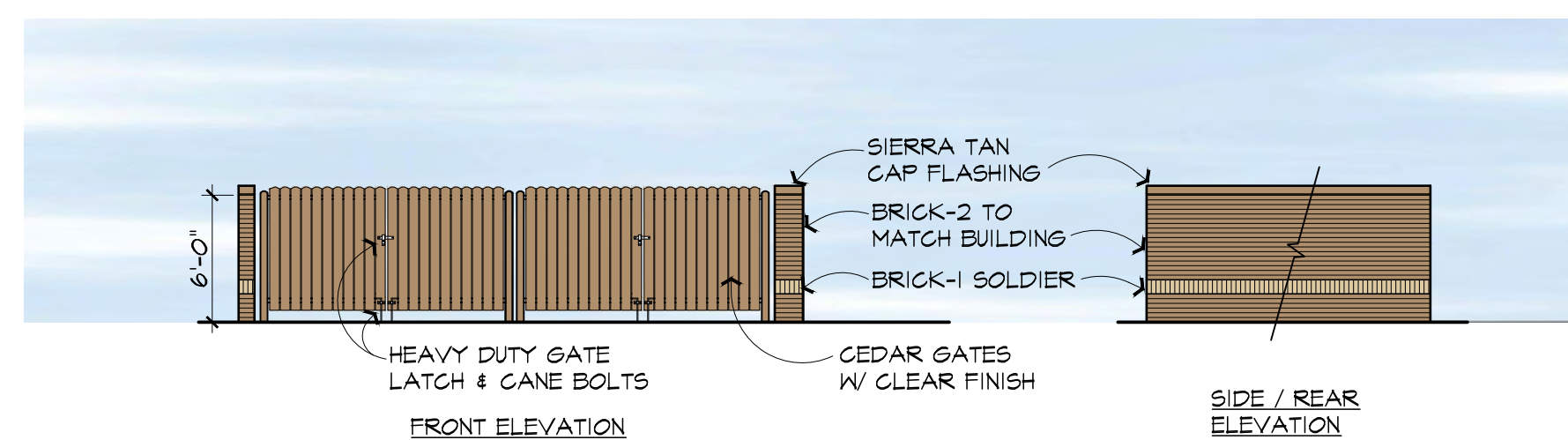
2 WEST CAR WASH ELEVATION
1/8" = 1'-0"



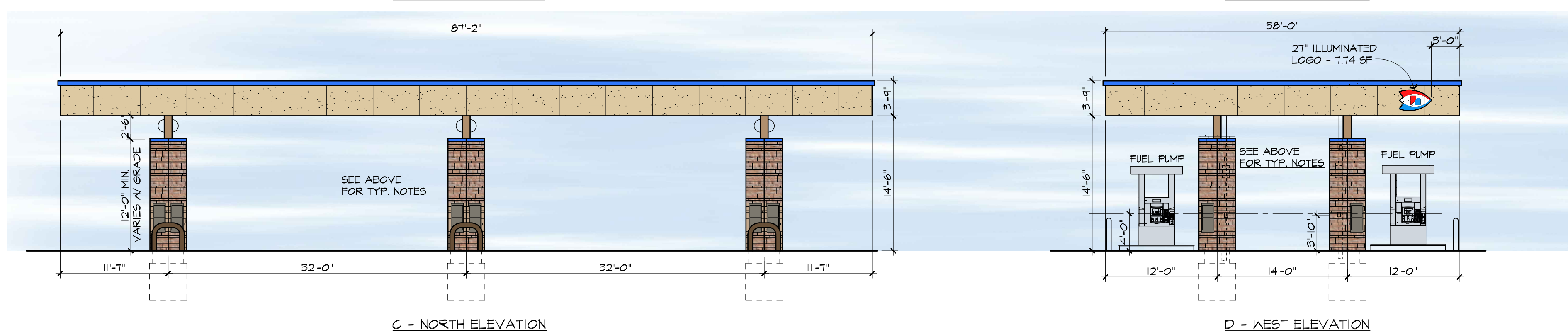
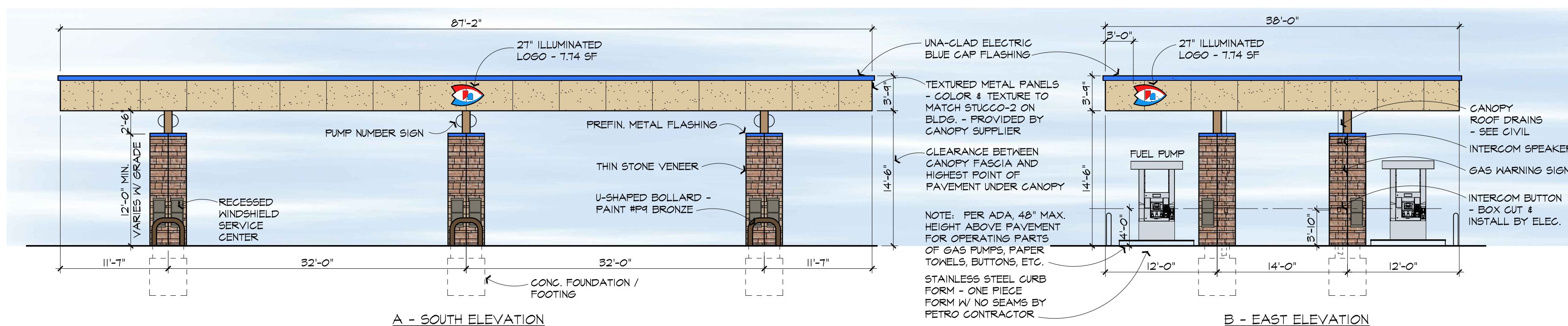
3 SOUTH CAR WASH ELEVATION
1/8" = 1'-0"



4 EAST CAR WASH ELEVATION
1/8" = 1'-0"



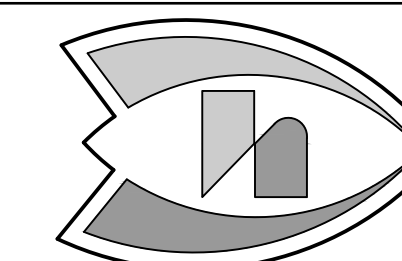
7 TRASH ENCLOSURE
1/8" = 1'-0"



8 FUEL CANOPY ELEVATIONS
1/8" = 1'-0"

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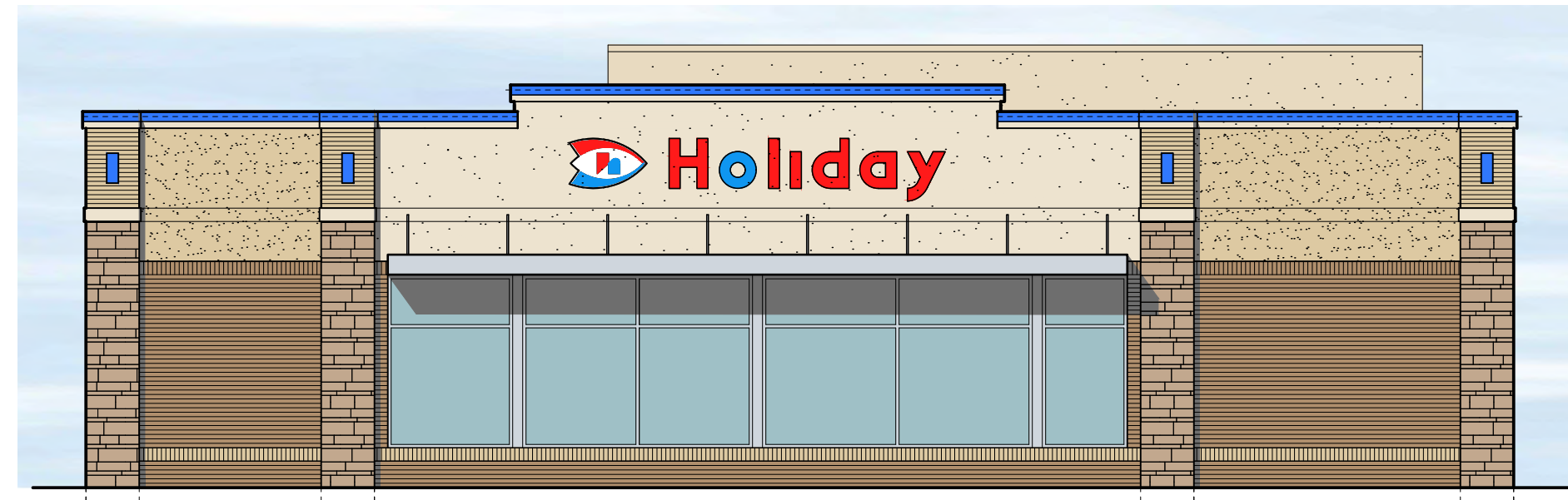
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DRAWN BY: BL
CHECKED BY: KA
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CITY SUBMITTAL 08-07-20

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MINNEAPOLIS, MN 55437-1123
(952) 830-8713 (PHONE)
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tcomer@circlek.com

EXTERIOR ELEVATIONS

A3



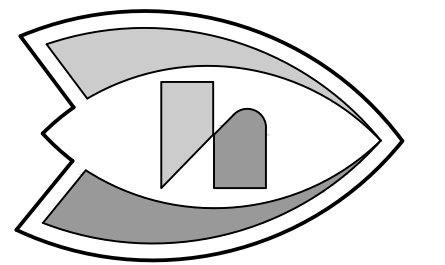
TYPICAL ELEVATION



EXAMPLE STORE PHOTO
(FOR REFERENCE)

**ARCHITECTURAL
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Minneapolis, MN 55401 Fax 612-692-9960



Holiday
STATIONSTORE
#0332
MINNEAPOLIS, MN

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(952) 830-8713 (PHONE)
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tcomer@circlek.com

**BUILDING
MATERIALS**

A4

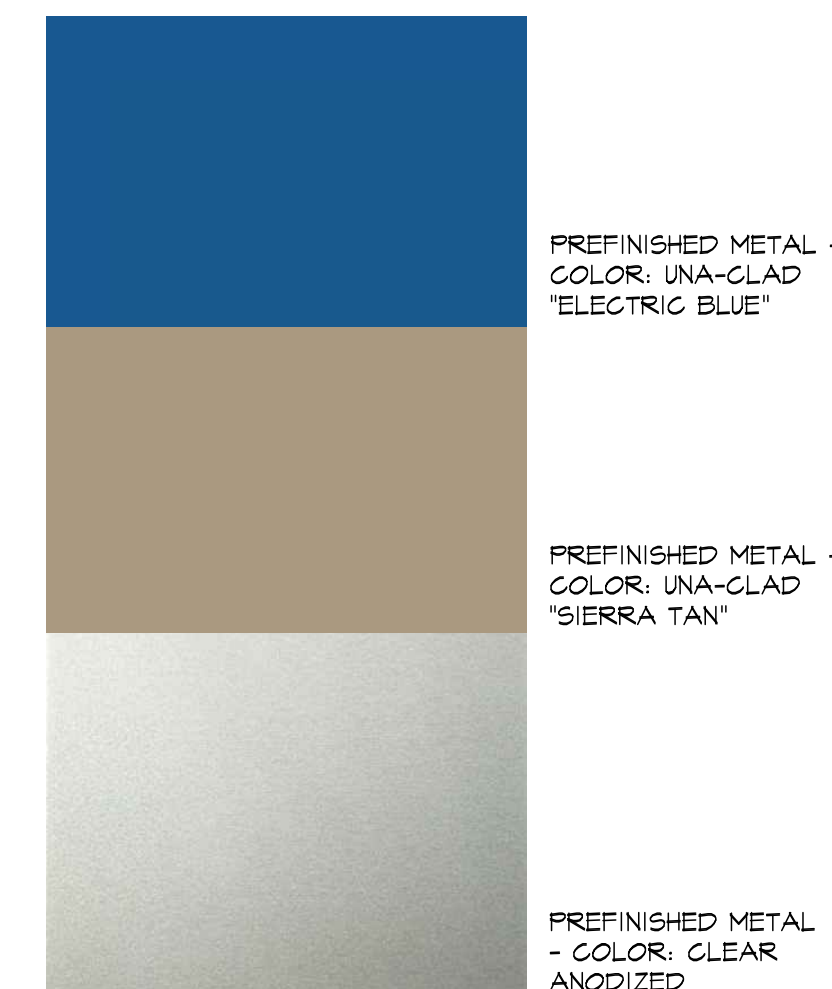
NOTES AND EXTERIOR MATERIALS LEGEND

	BRICK-1 (LIGHT); ENDICOTT IVORY VELOUR (MODULAR THIN BRICK)
	BRICK-2 (MEDIUM); ENDICOTT DESERT IRONSPOT LIGHT VELOUR (MODULAR THIN BRICK)
	THIN STONE: CORONADO PLAYA VISTA LIMESTONE "ALASKAN SUNSET" - DRYSTACK JOINTS
	BRICK & STONE MORTAR: NATURAL GRAY
	STUCCO-1 (STORE & CAR WASH ENTRIES & DECORATIVE BANDS): STUCCO W/ COLOR TO MATCH DRYVIT #108 "MANOR WHITE", SANDPEBBLE TEXTURE
	STUCCO-2 (FIELD COLOR): STUCCO W/ COLOR TO MATCH DRYVIT #112 "SANDLEWOOD BEIGE", SANDPEBBLE TEXTURE
	WALL CAP FLASHING (BLDG): PREFINISHED METAL - COLOR: UNA-GLAD "ELECTRIC BLUE" U.N.O. / "SIERRA TAN" WHERE NOTED
	WALL CAP FLASHING (GAS CANOPY): PREFINISHED METAL - COLOR: UNA-GLAD "ELECTRIC BLUE"
	ALUMINUM SUNSHADE CANOPIES: PREFINISHED METAL - COLOR: CLEAR ANODIZED
	ALUM. STOREFRONT: CLEAR ANODIZED



STUCCO-1 (STORE & CAR WASH ENTRIES & DECORATIVE BANDS): STUCCO W/ COLOR TO MATCH DRYVIT #108 "MANOR WHITE", SANDPEBBLE TEXTURE

STUCCO-2 (FIELD COLOR): STUCCO W/ COLOR TO MATCH DRYVIT #112, "SANDLEWOOD BEIGE", SANDPEBBLE TEXTURE



PREFINISHED METAL - COLOR: UNA-GLAD "ELECTRIC BLUE"

PREFINISHED METAL - COLOR: UNA-GLAD "SIERRA TAN"

PREFINISHED METAL - COLOR: CLEAR ANODIZED



BRICK-1 (LIGHT); ENDICOTT IVORY VELOUR (MODULAR THIN BRICK)

BRICK-2 (MEDIUM); ENDICOTT DESERT IRONSPOT LIGHT VELOUR (MODULAR THIN BRICK)

THIN STONE: CORONADO PLAYA VISTA LIMESTONE "ALASKAN SUNSET" - DRYSTACK JOINTS

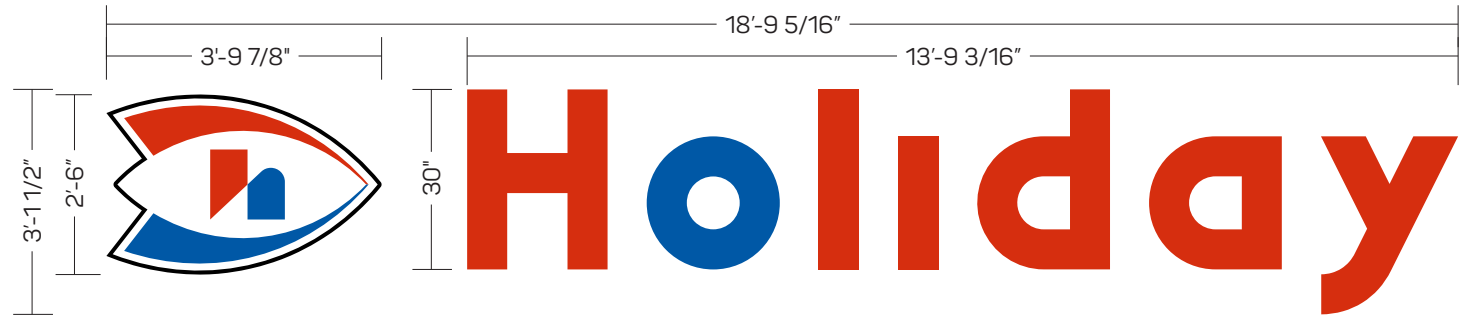
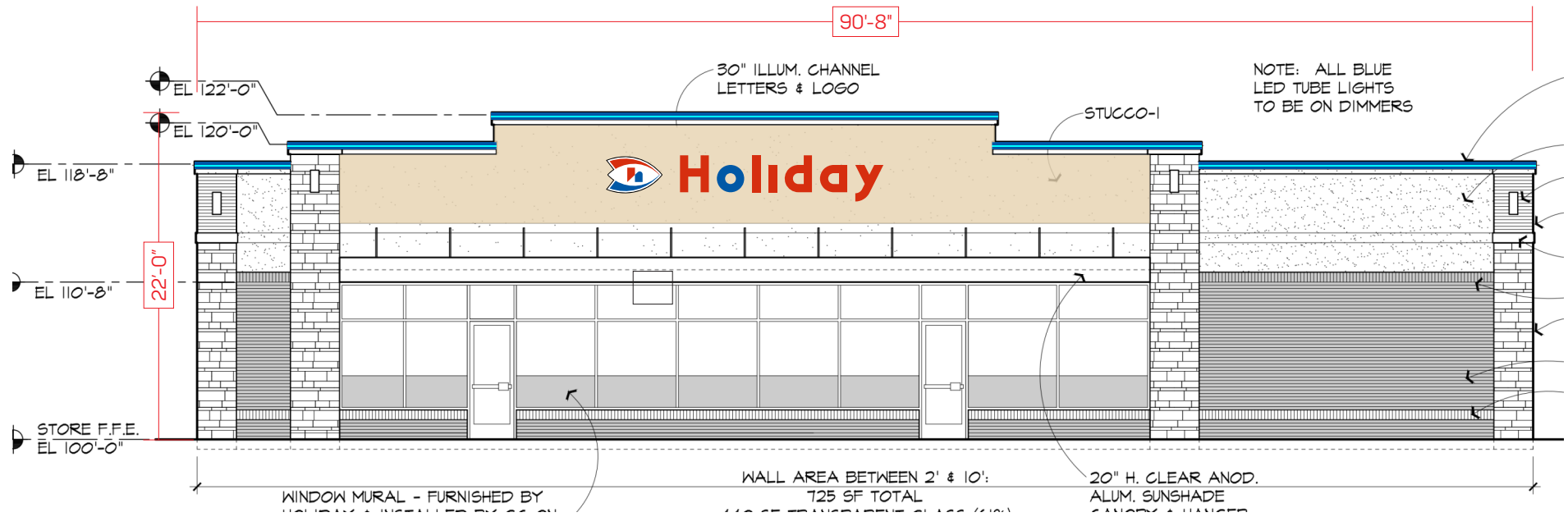
BUILDING MATERIALS

1/8" = 1'-0"

1

SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



CODE ALLOWS 1.5 SQ FT OF SIGNAGE
PER 1'-0" PRIMARY BUILDING WALL
90.67' X 1.5 = 136.20 SQ FT ALLOWED

30" CHANNEL LETTER SET = 58.65 SQ FT

CHANNEL LETTER DETAIL
SCALE: 3/8" = 1'-0"

APPROVAL BOX - PLEASE INITIAL

CUSTOMER APPROVAL

Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer:
HOLIDAY STATIONS

Location:
MINNEAPOLIS, MN

Date:
07/22/20

File Name:
255111 - R3 - SITE 332 - MINNEAPOLIS, MN - PROGRAM BOOK

Prepared By:
KH

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

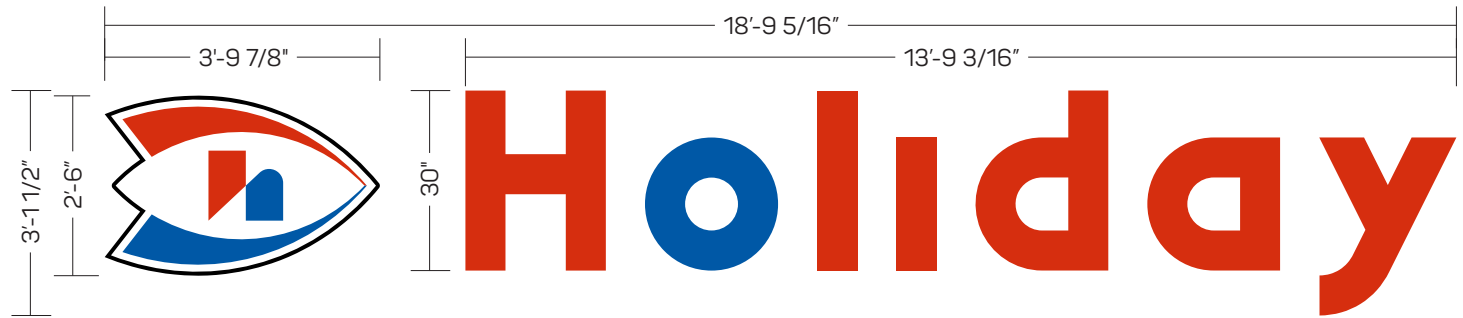
Eng:
-

persona
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Watertown, SD 57201-0210
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2 NORTH ELEVATION

SCALE: 1/8" = 1'-0"




CODE ALLOWS 1.5 SQ FT OF SIGNAGE PER 1'-0" PRIMARY BUILDING WALL
 71.62' X 1.5 = 107.42 SQ FT ALLOWED

CHANNEL LETTER DETAIL
 SCALE: 3/8" = 1'-0"

APPROVAL BOX - PLEASE INITIAL

CUSTOMER APPROVAL	Date
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NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HOLIDAY STATIONS	Date: 07/22/20	Prepared By: KH	<p><small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small></p>	 SIGNS LIGHTING IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
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3

NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"



(A) DURATION OF MESSAGE

THE MESSAGE SHALL REMAIN STATIC FOR A PERIOD OF NOT LESS THAN SIXTY (60) SECONDS. THE TRANSITION FROM ONE (1) MESSAGE TO THE NEXT SHALL BE DIRECT AND IMMEDIATE WITHOUT ANY SPECIAL EFFECTS

(B) IMAGE CHARACTERISTICS AND TRANSITION

DYNAMIC SIGNS SHALL HAVE A PITCH OF NOT GREATER THAN TWENTY (20) MILLIMETERS BETWEEN EACH PIXEL. SPECIAL EFFECTS, INCLUDING BUT NOT LIMITED TO DISSOLVING, FADING, SCROLLING, STARBURSTS AND WIPING SHALL BE PROHIBITED.

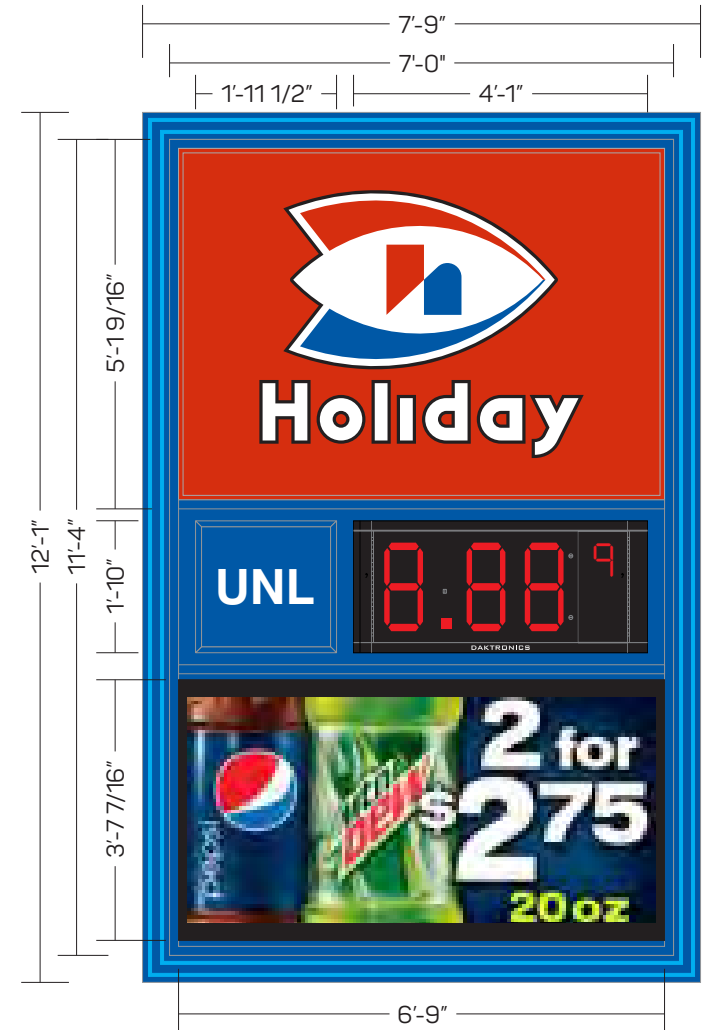
(C) LUMINANCE

BETWEEN SUNRISE AND SUNSET THE MAXIMUM LUMINANCE SHALL BE FIVE THOUSAND (5,000) NITS AND BETWEEN SUNSET AND SUNRISE THE MAXIMUM LUMINANCE SHALL BE FIVE HUNDRED (500) NITS. ALL SIGNS WITH A DYNAMIC DISPLAY HAVING ILLUMINATION BY MEANS OTHER THAN NATURAL LIGHT MUST BE EQUIPPED WITH AN AUTOMATIC DIMMER CONTROL OR OTHER MECHANISM THAT AUTOMATICALLY CONTROLS THE SIGN'S BRIGHTNESS TO COMPLY WITH THIS REQUIREMENT. EXCEPT FOR INSTITUTIONAL AND PUBLIC USES, THE DYNAMIC SIGN SHALL NOT DISPLAY MESSAGES OR BE ILLUMINATED WHEN THE USE IS CLOSED.

CODE ALLOWS 1.5 SQ FT OF SIGNAGE PER 1'-0" PRIMARY BUILDING WALL
34.58' X 1.5 = 51.88 SQ FT ALLOWED

12'-1" X 7'-9" OVERALL CABINET = 93.65 SQ FT
DYNAMIC EMC AREA - 3'-7 7/16" X 6'-9" = 24.43 SQ FT
32.00 SQ FT ALLOWED

DYNAMIC CHANGEABLE DIGIT AREA - 18" DIGITS
1'-10" X 4'-1" = 7.49 SQ FT
16" SQ FT ALLOWED



GRAPHIC DETAIL
SCALE: 3/8" = 1'-0"

APPROVAL BOX - PLEASE INITIAL

CUSTOMER APPROVAL	Date
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NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HOLIDAY STATIONS	Date: 08/10/20	Prepared By: KH	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.
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persóna
SIGNS | LIGHTING | IMAGE

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WEST CAR WASH ELEVATION

SCALE: 1/8" = 1'-0"



CHANNEL LETTER DETAIL
SCALE: 3/8" = 1'-0"



WALL SIGN DETAIL
SCALE: 1/2" = 1'-0"

CODE ALLOWS 1.5 SQ FT OF SIGNAGE
PER 1'-0" PRIMARY BUILDING WALL
28' X 1.5 = 42.00 SQ FT ALLOWED

22" CHANNEL LETTER SET = 26.33 SQ FT
1'-3" X 5'-3/8" WALL SIGN = 6.25 SQ FT

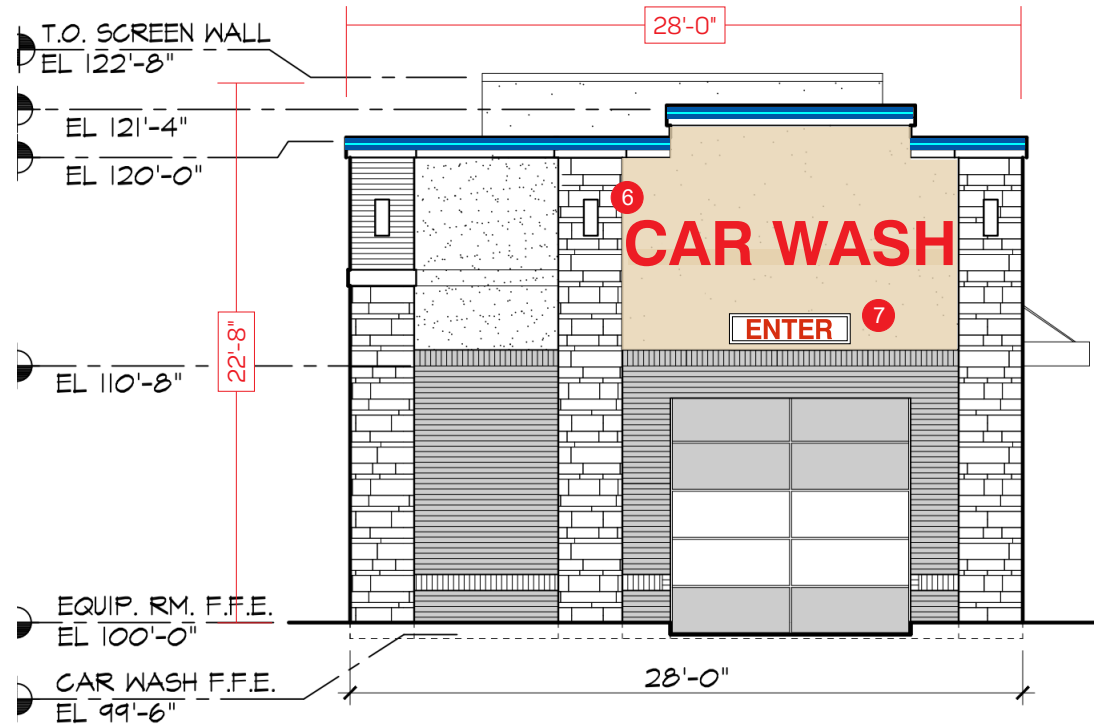
APPROVAL BOX - PLEASE INITIAL	
CUSTOMER APPROVAL	Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HOLIDAY STATIONS	Date: 05AUG20	Prepared By: KH/SC	<p><small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small></p>	<p>SIGNS LIGHTING IMAGE</p>	<p>DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com</p>
Location: MINNEAPOLIS, MN	File Name: 255111 - R3 - SITE 332 - MINNEAPOLIS, MN - PROGRAM BOOK	Eng: -			

EAST CAR WASH ELEVATION

SCALE: 1/8" = 1'-0"



CHANNEL LETTER DETAIL
SCALE: 3/8" = 1'-0"




WALL SIGN DETAIL
SCALE: 1/2" = 1'-0"

CODE ALLOWS 1.5 SQ FT OF SIGNAGE
PER 1'-0" PRIMARY BUILDING WALL
28' X 1.5 = 42.00 SQ FT ALLOWED

22" CHANNEL LETTER SET = 26.33 SQ FT
1'-3" X 5'-3/8" WALL SIGN = 6.25 SQ FT

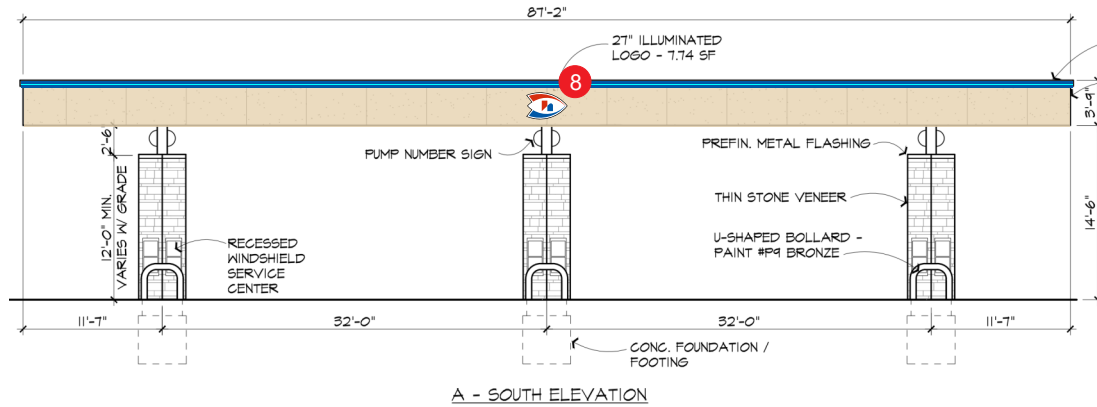
APPROVAL BOX - PLEASE INITIAL		
CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HOLIDAY STATIONS	Date: 05AUG20	Prepared By: KH/SC	<p><small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small></p>	 SIGNS LIGHTING IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
Location: MINNEAPOLIS, MN	File Name: 255111 - R3 - SITE 332 - MINNEAPOLIS, MN - PROGRAM BOOK				

CANOPY ELEVATIONS

SCALE: 1/16" = 1'-0"



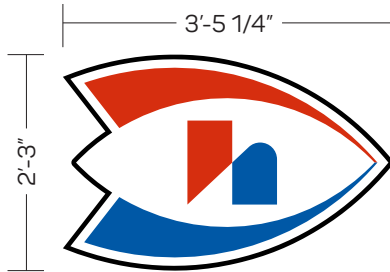
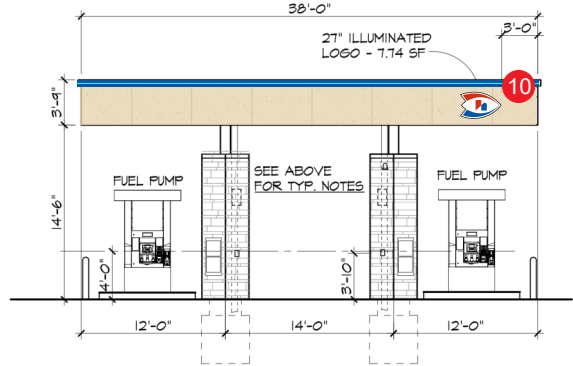
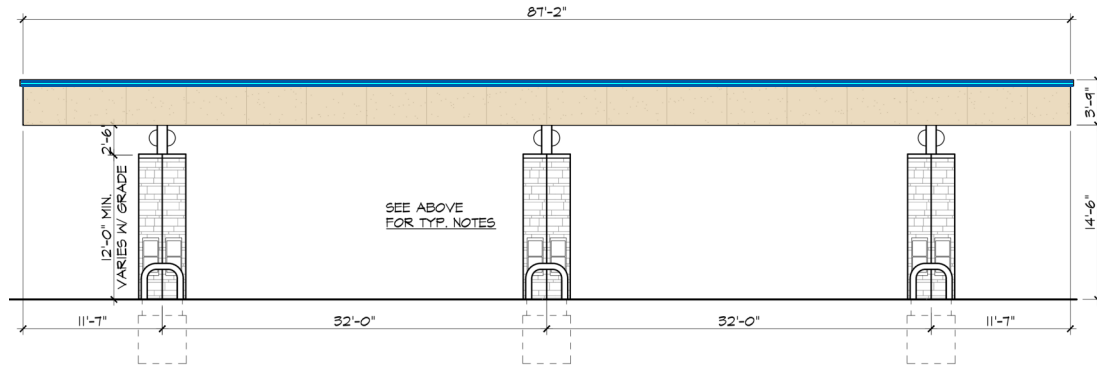
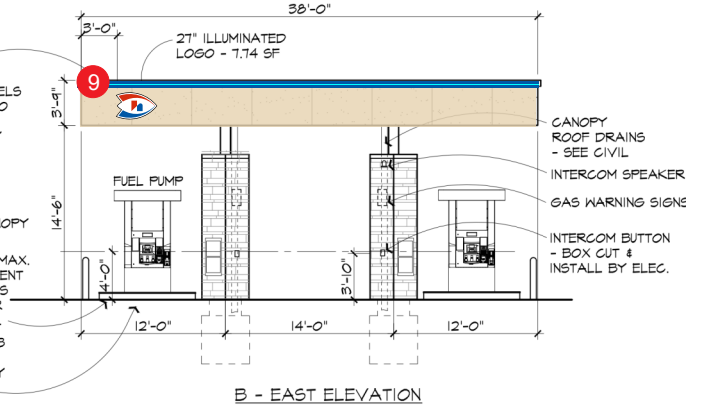
UNA-CLAD ELECTRIC BLUE CAP FLASHING

TEXTURED METAL PANELS - COLOR & TEXTURE TO MATCH STUCCO-2 ON BLDG. - PROVIDED BY CANOPY SUPPLIER

CLEARANCE BETWEEN CANOPY FASCIA AND HIGHEST POINT OF PAVEMENT UNDER CANOPY

NOTE: PER ADA, 48" MAX. HEIGHT ABOVE PAVEMENT FOR OPERATING PARTS OF GAS PUMPS, PAPER TOWELS, BUTTONS, ETC.

STAINLESS STEEL CURB FORM - ONE PIECE FORM W/ NO SEAMS BY PETRO CONTRACTOR



CODE ALLOWS 25 SQ FT OF SIGNAGE PER FRONTAGE FACING A STREET

2'-3" X 3'-5 1/4" LOGO = 7.74 SQ FT EACH

GRAPHIC DETAIL (QTY 3)
SCALE: 1/2" = 1'-0"

APPROVAL BOX - PLEASE INITIAL

CUSTOMER APPROVAL

Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer:
HOLIDAY STATIONS

Location:
MINNEAPOLIS, MN

Date:
07/22/20

File Name:
255111 - R3 - SITE 332 - MINNEAPOLIS, MN - PROGRAM BOOK

Prepared By:
KH

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Eng:
-



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ProjectFlow - Review Details Report

Project Name: PLAN11380
Workflow Started: 07/31/2020 11:46 AM
Report Generated: 09/14/2020 02:38 PM

PLAN REVIEW COMMENTS

Cycle	Department	Reviewer	Comments
Department Review			
	DC Review	robert.mcbride@minneapolismn.gov	
		Review Comments	Parkland Dedication Fees do not apply. Additional space is less than 5,000 square feet.
	Environmental Services	Tom.Frame@minneapolismn.gov	
		Checklists	If the existing tanks are to be replaced permits for removal and installation must be obtained from Environmental Services and Fire Inspections Services. If the existing tanks are to be used with new lines and fuel pumps approvals are required from FIS. Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, temporary environmental wells, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
	PW Surface Water & Sewers	Jeremy.Strehlo@minneapolismn.gov	
		Checklists	The site should be graded to avoid directing surface runoff through the fueling areas.
			Identify the location of any proposed roof drain connections or discharges.
			The proposed storm sewer connection is to MnDOT infrastructure. Permitting and approvals from MnDOT may be necessary. It is the projects responsibility to obtain these.
	PW Traffic & Parking Services	Paul.Miller@minneapolismn.gov	
		Checklists	All street lighting in the Public right-of-way shall be designed and constructed to City standards as defined by the City of Minneapolis Street Lighting Policy. Prior to site plan approval, the Applicant shall contact Joe Laurin at joseph.laurin@minneapolismn.gov to verify street lighting requirements. All street lighting (existing and proposed) shall be shown clearly on the site plan. The underground lighting along Hiawatha does not currently meet our standards

ProjectFlow - Review Details Report

Project Name: PLAN11380
Workflow Started: 07/31/2020 11:46 AM
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			<p>If older signal or lighting infrastructure exists that pre-dates 1973, it is likely the conduit contains asbestos materials and must be removed and disposed of by a qualified asbestos hauling contractor. The City must be provided with the waste haul manifests in this instance.</p> <p>Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.</p> <p>Impacts to existing traffic signal and street lighting systems (including installation of new street lights) will require the Applicant and respective Contractors to enter into a separate Right-of-Way Excavation Permit (including Testing and Inspection requirements) with the Public Works Department, for further information regarding this permit please coordinate with Tilahun Hailu at (612) 673-5809.</p> <p>Contact Tilahun Hailu at (612) 673-5809 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.</p> <p>All costs for relocation and/or repair of City Traffic facilities including traffic signal systems, street lighting, traffic signs, parking meters, and pavement markings shall be borne by the Contractor and/or Property Owner. In addition to the various required construction permits, impacts to existing traffic signal and street lighting systems (including installation of new street lights) will require the Applicant and respective Contractors to enter into a separate Right-of-Way Excavation Permit (including Testing and Inspection requirements) with the Public Works Department, for further information regarding this permit please coordinate with Tilahun Hailu at (612) 673-5809.</p>
	PW Transportation, Engineering & Design	matt.hanan@minneapolismn.gov	
	PW Transportation, Planning & Programming	Paul.Miller@minneapolismn.gov	<p>An encroachment permit shall be required for all non-standard streetscape elements in the Public right-of-way such as: shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Matt Hanan at (612) 673-3607 for further information.</p>
		Robert.Ervin@minneapolismn.gov	<p>In the future, Hennepin County and the City of Minneapolis fully intend to modify the design of E. 46th St. and complete the extension of Snelling Ave. S. This future work will eliminate the frontage road access to E. 46th St. with the intent of directing vehicle traffic southward to Snelling Ave. During the course of site plan review the City (both Planning and Public Works) have had numerous discussions with the Applicant and their consultants on this issue. Specifically, Holiday Station site access and the future alignment of the frontage road (including elimination of access to E. 46th St.) have been discussed. The Applicant shall provide a letter acknowledging these discussions and understanding of the future intent of Hennepin County and the City of Minneapolis.</p> <p>In addition to Public Works review and approval, all work in the Hiawatha Ave. (TH 55) Public Right-of-way requires review, approval, and permitting by the Minnesota Department of Transportation (MnDOT); please contact Buck Craig (Permits Supervisor) at (651) 234-7911 or buck.craig@state.mn.us.</p>

ProjectFlow - Review Details Report

Project Name: PLAN11380

Workflow Started: 07/31/2020 11:46 AM

Report Generated: 09/14/2020 02:38 PM

		<p>Checklists</p>	<p>All existing and proposed Public Utilities (water, sanitary sewer, and storm drain) within the project limits and all adjacent Public right-of-way, shall be shown on the site plan. Utility information shall include corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing water service connections to the site shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department before any new service lines can be installed, call (612) 673-2451 for more information.</p> <p>The domestic water and fire service shall align in perpendicular orientation to the watermain and be installed straight into the proposed building to the meter location. No bends are allowed.</p> <p>Water Meters shall be set at the point where the service line enters the building (penetrates the wall or comes up from or through the floor) and shall be set in a location where it is easily accessible.</p> <p>Private domestic and fire service lines shall be permitted to extend no more than 10 ft (3 m), as measured from the outside of the building, under the building to the riser location.</p> <p>Domestic service lines that are three inches and larger require a Bypass Assembly as illustrated per Detail Plate WATR-6000-R01 the detail shall be included in the plan set.</p> <p>As a condition of site plan approval, the Applicant shall provide a confirmation of domestic and fire service design methods prior to site plan approval. The documentation shall be certified by the license or certificate holder and submitted with the application materials. Please contact WTDS Engineering at (612) 661-4900, with questions.</p> <p>An Existing Utility sheet needs to be included for review. PW - Water could not find a record for a 4" service line to this property.</p> <p>This plan needs to show a separate small domestic service line from the water main directly to the new building and a water service sized accordingly for the car wash building. Combination lines are not allowed in Minneapolis.</p>
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