
LAND USE APPLICATION SUMMARY

Property Location: 2100 Fairmount Street SE
Project Name: 2100 Fairmount Street SE
Prepared By: Peter Crandall, Senior City Planner, (612) 673-2247
Applicant: Su Casa Twin Cities
Project Contact: Studio M Architects – Chris Guerrero
Request: To establish a Cluster Development on the property at 2100 Fairmount Street SE with a total of 6 dwelling units.

Dwelling Units	6 dwelling units
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Required Applications:

Conditional Use Permit	To allow a Cluster Development in the R1A District.
Variance	To the parking lot landscaping and screening standards.
Variance	To reduce the minimum interior side yard requirement along the south property line.

SITE DATA

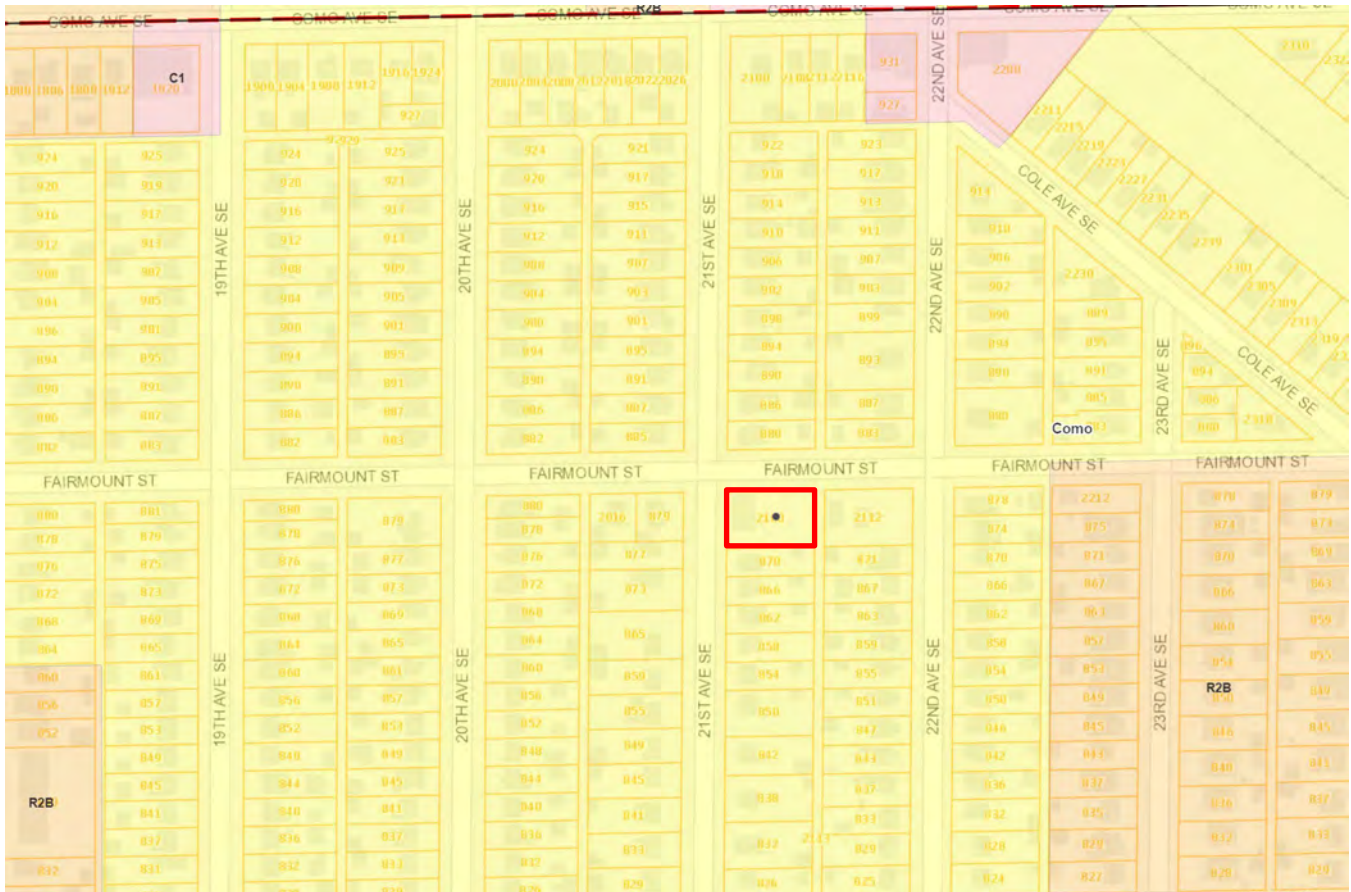
Existing Zoning	R1A District University Area Overlay District
Lot Area	10,486 square feet
Ward(s)	2
Neighborhood(s)	SE Como
Future Land Use	Urban Neighborhood
Goods and Services Corridor	n/a
Built Form	Interior 2

Date Application Deemed Complete	August 25, 2020	Date Extension Letter Sent	
End of 60-Day Decision Period	October 23, 2020	End of 120-Day Decision Period	

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The site is located in the SE Como Neighborhood on an approximately 10,000 square foot corner lot with one existing four-unit residential building. The site has frontage on Fairmount Street and 21st Avenue SE. A large portion of the site is currently vacant or used for surface vehicle parking. The site is zoned for the R1A district with the University Area Overlay.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding neighborhood is made of up largely single and two-family homes with some smaller apartment buildings along the Como Avenue and 15th Avenue SE transit corridors. The neighborhood is located within close proximity of the East Bank campus of the University of Minnesota.



PROJECT DESCRIPTION. The applicant is proposing to retain the existing four-unit residential building on the site and to construct a new two-unit residential building on the vacant portion, establishing a new Cluster Development with a total of six dwelling units. The new structure is two stories with two four-bedroom units. The applicant is proposing to provide six on-site surface parking stalls accessed via the adjacent alley. The project requires a Conditional Use Permit to establish the Cluster Development and two variances for reduced setbacks and landscaping for the proposed surface parking lot.

PUBLIC COMMENTS. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a Cluster Development in the R1A district based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The establishment of a six-unit Cluster Development in this location will not be detrimental to or endanger the public health, safety, comfort or general welfare. The site is over 10,000 square feet in area which is the minimum lot area for a Cluster Development in the R1A district. The proposed structure is two stories in height and is setback from the property line in order to meet minimum yard requirements. The applicant is proposing to meet the minimum parking requirement for the project with an on-site surface parking lot accessed via the alley.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property. The proposal is in compliance with all code requirements for a Cluster Development including setbacks, impervious surfaces, lot coverage and parking and the design conforms to residential design standards for 1-3 unit buildings.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The project is proposing to provide adequate vehicle access, parking, and other standard site elements to meet city ordinances. The project has received a full review by relevant city departments including Public Works for compliance with public infrastructure requirements.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The project is not expected to generate a significant amount of traffic in the public streets. The proposal is meeting the minimum parking requirement by providing at least 6 on-site surface parking stalls. The new structure has two units with four bedrooms each. The existing structure has four one-bedroom units.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed use would be consistent with the applicable guidance and policies of *Minneapolis 2040 (2020)*:

Future Land Use	Guidance	Staff Comment
Urban Neighborhood	Urban Neighborhood is a predominantly residential area with a range of allowed building types. May include small-scale institutional and semi-public uses (for example, schools, community centers, religious institutions, public safety facilities, etc.) scattered throughout. Like the Neighborhood Mixed Use category, commercial uses can continue serving their existing commercial function. Commercial zoning is appropriate for these properties, while expansion of commercial uses and zoning into surrounding areas is not encouraged.	The proposal is in compliance with the land use guidance for the urban neighborhood category. The proposed structure is compatible in design and scale with surrounding small-scale residential uses and complies with code requirement for Cluster Development standards.

Interior 2	New and remodeled buildings in the Interior 2 district should be small-scale residential. Individual lots are permitted to have up to three dwelling units. Multifamily buildings with more than three units are permitted on larger lots. Limited combining of lots is permitted. Building heights should be 1 to 2.5 stories.	The proposal is in compliance with the Interior 2 built form category. The site is considered a larger lot at over 10,000 square feet and meets the minimum lot area requirements for a Cluster Development. The proposed structure is two stories in height.
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The following goals from *Minneapolis 2040 (2020)* apply to this proposal:

- Goal 3. Affordable and accessible housing: In 2040, all Minneapolis residents will be able to afford and access quality housing throughout the city.
- Goal 6. High-quality physical environment: In 2040, Minneapolis will enjoy a high-quality and distinctive physical environment in all parts of the city.
- Goal 9. Complete neighborhoods: In 2040, all Minneapolis residents will have access to employment, retail services, healthy food, parks, and other daily needs via walking, biking, and public transit.

The following policies and action steps from *Minneapolis 2040 (2020)* apply to this proposal:

Policy 1. Access to Housing: Increase the supply of housing and its diversity of location and types.

- a. Allow housing to be built in all areas of the city, except in Production and Distribution areas.
- b. Allow the highest-density housing in and near Downtown.
- c. Allow multifamily housing on public transit routes, with higher densities along high-frequency routes and near METRO stations.
- d. In neighborhood interiors that contain a mix of housing types from single family homes to apartments, allow new housing within that existing range.
- f. Encourage inclusion of units that can accommodate families in new and rehabilitated multifamily housing developments.

The proposed project is in compliance with the above stated goals and action steps of the Minneapolis 2040 Comprehensive Plan. The project establishes new housing options on an underutilized site in a high-demand area of the city serving a large student population and major employment center. The site has good access to high-frequency transit as well as parks and amenities and good and services.

- 6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the R1A District.

The proposed dwelling shall comply with the site plan design standards for a new 1-3 dwelling, which requires a minimum of 17 points. The applicant is proposing an exterior material of stucco (6 points), the height of the structure is within one-half story of the predominant height of residential structures within 100 feet (4 points). A total of 10 points have been assigned to the project; however, the city planning commission may approve alternatives to this requirement where strict adherence is impractical. CPED is recommending a condition of approval that the proposal provide at least 20 percent window area on each level of the street-facing elevation of the new structure (3 points) and an open front porch of at least 70 square feet (1 point). The remainder of the required points could be made up by constructing an on site detached accessory garage, however due to the six-space parking requirement for the Cluster Development, constructing a six car garage on the property

would be impractical. Therefore, staff finds that the applicant has met the intent of the ordinance through the combination of points based on the proposed design and is recommending that the planning commission grant an alternative to the strict adherence to the site plan design standards.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard setback from 5 feet to 0 feet and the parking lot landscaping and screening requirements along the south property for a surface parking lot from 7 feet to 0 feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum side yard setback requirement for the surface parking lot is 7 feet. Additionally, the parking lot is required to maintain a seven foot landscaped yard along the interior side yard between the parking and the neighboring property. Practical difficulties exist in meeting the minimum side yard setback and screening requirements for the proposed surface parking lot that are unique to the site. The site is platted to 21st Avenue SE, which is the legal front yard. The existing building on the site faces Fairmount Street SE, the corner side yard. The applicant is proposing to construct the new building facing Fairmount Street SE, consistent with the existing structure. The parking lot is located in what would functionally be the rear yard of the site, however, because of the existing platting it is legally located in the interior side yard. The location of the existing structure on the site and the existing platting make it impractical to site the parking lot at least seven feet from the interior side lot line while also meeting setback requirements for the new structure and design requirements for the surface parking lot. The parking lot is a permitted use in the rear 40 feet of the lot, however, the number of required parking spaces would not be possible to locate within the required area.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The property owner is attempting to use the site in a reasonable manner that is in keeping with the spirit and intent of the ordinance. Yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The applicant is proposing to meet the minimum parking requirement on the site and is meeting design standards for the on-site surface parking lot. They are proposing to establish a six-foot fence along the interior lot line to screen the parking lot from the adjacent property. Additionally, there is adequate separation between the proposed land uses to allow for adequate light, air, and open space.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety or general welfare. The proposed parking lot is situated in what is functionally the rear of the site. The applicant is proposing to screen the parking lot from the adjacent property with a six foot fence that would meet the design standards of chapter 535 of the zoning code.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application by Su Casa Twin Cities for the properties located at 2100 Fairmount Street:

A. Conditional Use Permit.

Recommended motion: **Approve** the conditional use permit to allow Cluster Development, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The applicant shall modify the design of the proposed new structure to provide at least 20 percent window area on each level of the street-facing elevation.
3. The proposed on-site fencing shall meet the standards of chapter 535.
4. The applicant shall modify the proposed design to meet the minimum required points under the 1-3 unit residential design standards.

B. Variance.

Recommended motion: **Approve** the variance to reduce the minimum interior side yard setback from 7 feet to zero to allow for surface parking.

C. Variance.

Recommended motion: **Approve** the variance to the landscaping and screening requirements.

ATTACHMENTS

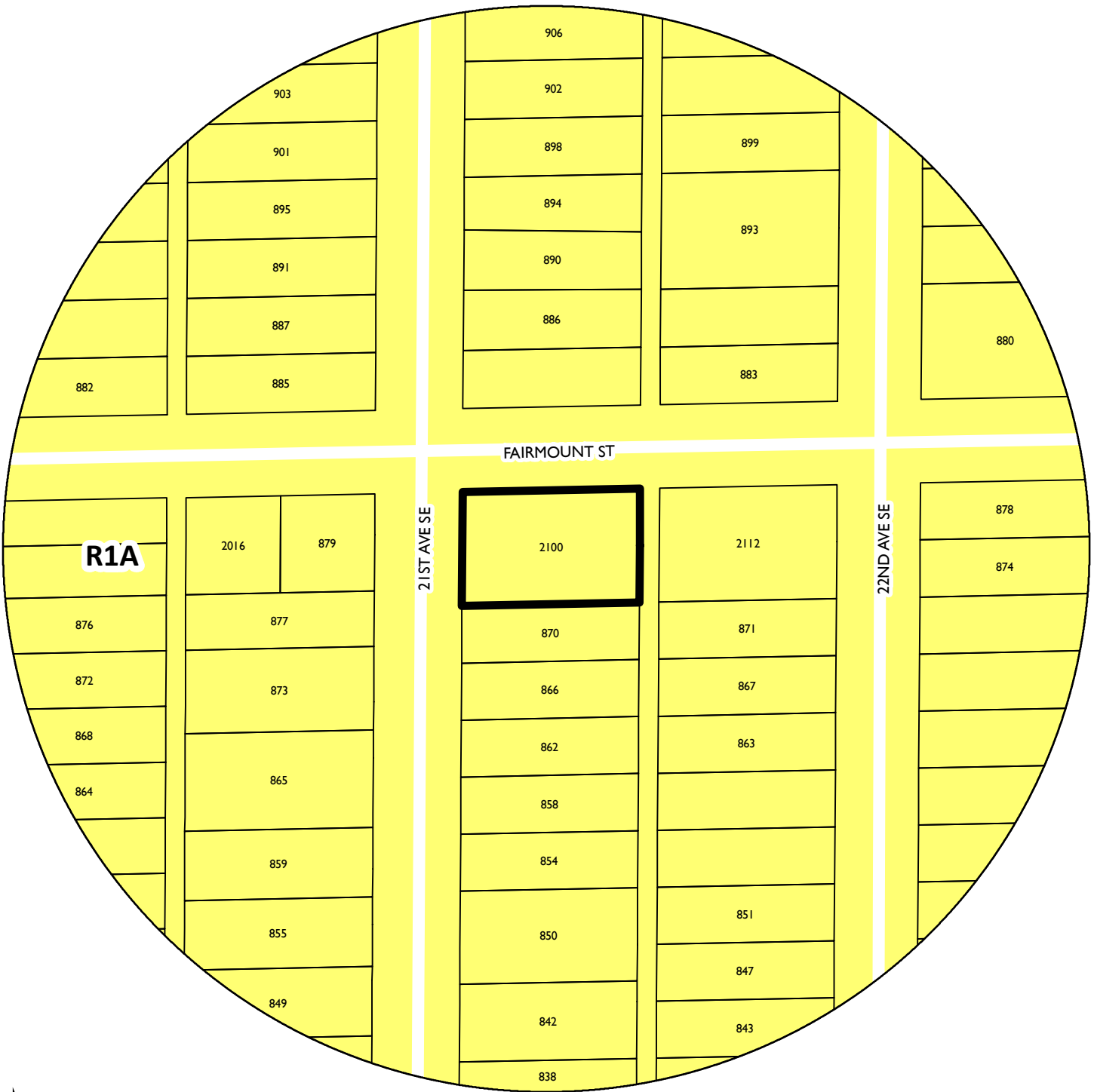
1. Zoning map
2. Written description and findings submitted by applicant
3. Survey
4. Site plan
5. Plans
6. Building elevations
7. Photos
8. Public comments

Su Casa Twin Cities

2nd

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
2100 Fairmount Street SE

FILE NUMBER
PLAN11473

EXISTING CONDITIONS GENERAL NOTES

1. THE INFORMATION SHOWN ON THIS EXISTING CONDITIONS PLAN WAS PREPARED FROM AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY OTHERS. UTILITY INFORMATION SHOWN ON THIS PLAN, SUCH AS SANITARY SEWER, WATERMAIN, STORM SEWER, FORCEMAIN, ETC. WAS PROVIDED BY THE CITY OF MINNEAPOLIS RECORD PLANS.
2. THE BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF LOT 29, BLOCK 15, COLE AND WEEKS ADDITION TO MINNEAPOLIS WHICH IS ASSUMED TO BEAR NORTH 88 DEGREES 54 MINUTES 29 SECONDS EAST.
3. BENCHMARK: FOUND IRON PIPE AT SOUTHWEST CORNER OF LOT 28, BLOCK 15. ELEVATION = 887.14 (NAVD 88)
4. THE GROSS LAND AREA IS 10,486 +/- SQUARE FEET OR 0.241 +/- ACRES.
5. WE HAVE SHOWN BURIED STRUCTURES AND UTILITIES ON AND/OR SERVING THE SITE TO THE BEST OF OUR ABILITY, SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - A. UTILITY OPERATORS DO NOT CONSISTENTLY RESPOND TO LOCATE REQUESTS THROUGH THE GOPHER STATE ONE CALL SERVICE FOR BOUNDARY AND LOCATION PURPOSES SUCH AS THIS.
 - B. THOSE UTILITY OPERATORS THAT DO RESPOND, OFTEN WILL NOT LOCATE SERVICES FROM THE MAIN LINE TO THE CUSTOMER'S STRUCTURE OR FACILITY - THEY CONSIDER THOSE SEGMENTS PRIVATE INSTALLATIONS THAT ARE OUTSIDE OF THEIR JURISDICTION. IF A PRIVATE SERVICE TO AN ADJOINER'S SITE CROSSES THIS SITE OR A SERVICE TO THIS SITE CROSSES AN ADJOINER, IT MAY NOT BE LOCATED SINCE MOST OPERATORS WILL NOT MARK SUCH "PRIVATE" SERVICES.
 - C. SNOW AND ICE CONDITIONS DURING WINTER MONTHS MAY OBSCURE OTHERWISE VISIBLE EVIDENCE OF A BURIED STRUCTURE OR UTILITY.
 - D. MAPS PROVIDED BY UTILITY OPERATORS, EITHER ALONG WITH A FIELD LOCATION OR IN LIEU OF SUCH A LOCATION, ARE VERY OFTEN INACCURATE OR INCONCLUSIVE. MAPS PROVIDED BY UTILITY OPERATORS ARE VERY OFTEN AT A VERY SMALL SCALE, OR NO SCALE.
 - E. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THE SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651-454-0002.
 - F. UTILITY INFORMATION SHOWN ON THIS PLAN, SUCH AS NATURAL GAS, ELECTRIC LINES, TELEPHONE LINES, FIBEROPTIC LINES, CABLE TELEVISION LINES, UNDERGROUND PIPELINES, ETC. WAS SUPPLIED OR LOCATED BY GOPHER STATE ONE CALL, TICKET NUMBERS 161264910 & 161270014.

SITE DEMOLITION SPECIFICATIONS

1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
2. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
3. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
4. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
5. CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
6. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE TO A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
7. CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT. SAW CUT AS NECESSARY FOR A NEAT EDGE OF REMOVAL.
8. ALL REMOVAL ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE AND SHALL BE DISPOSED OF OFF-SITE IN A MANNER MEETING ALL APPLICABLE REGULATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL SIGNS, MAILBOXES, ETC.
10. ANY DAMAGE TO ITEMS NOT NOTED TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION WITH NO ADDITIONAL COMPENSATION.
11. ANY LIGHTING WIRING DISTURBANCE REQUIRES REPLACEMENT. WIRING IS DIRECT BURIED AND CANNOT BE SPLICED UNDERGROUND. ANY DISTURBANCE TO THE CONDUIT MAT REQUIRE A LONGER SEGMENT OF CONDUIT TO BE INSTALLED.

CITY OF MINNEAPOLIS
ELECTRONIC APPROVAL STAMP

2106
FAIRMOUNT
AVENUE SE
2100 FAIRMOUNT AVE. SE
MINNEAPOLIS, MN 55416

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hennick Lane, Suite 200
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

SHEET TITLE:
EXISTING
CONDITIONS &
DEMOLITION

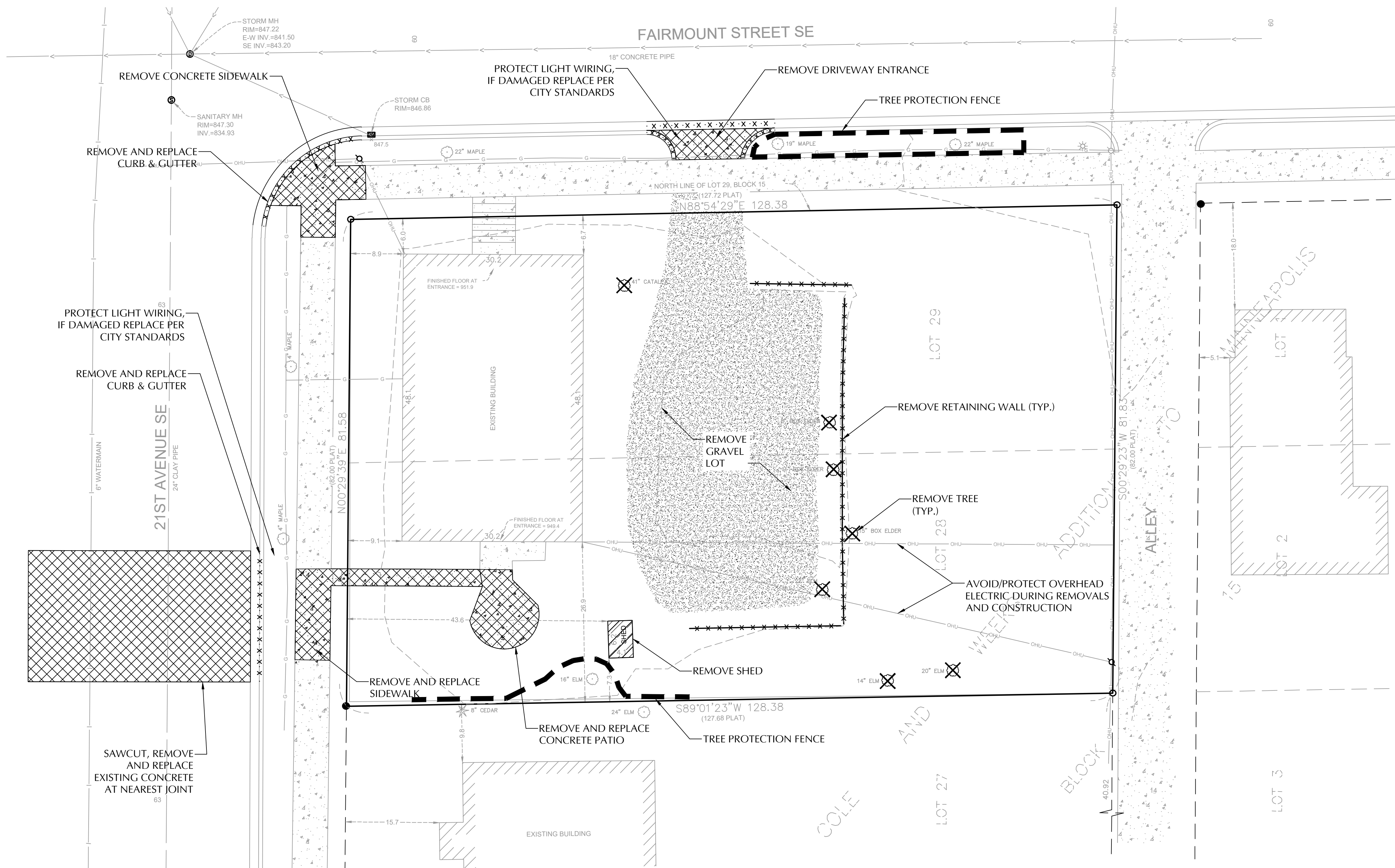
PROJECT #: 20260.0
DRAWN BY: VMA
CHECKED BY: MJS
ISSUE: DATE:
PDR SUBMITTAL: 00.00.00

STUDIO M ARCHITECTS, INC.
530 NORTH 3RD STREET, SUITE 230
MINNEAPOLIS, MINNESOTA 55401
P: 612.524.5375
F: 612.844.1240
WWW.STUDIOMARCHITECTS.NET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the law of the state of Minnesota

Signed: [Signature]
Date: 09.10.19 reg. No. 244410

C1-1



DEMOLITION LEGEND

- REMOVE EXISTING BITUMINOUS PAVING
- REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ISLANDS, ETC.
- REMOVE EXISTING BUILDINGS
- REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, WOOD FENCE, BILLBOARDS, ETC.
- REMOVE EXISTING UTILITIES
- PROTECT EXISTING TREES
- REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
- REMOVE EXISTING TREES

NOTE:
EXISTING CONDITIONS SHOWN ARE FROM
A SURVEY COMPLETED BY JAMES R HILL,
DATED MARCH 20, 2019.

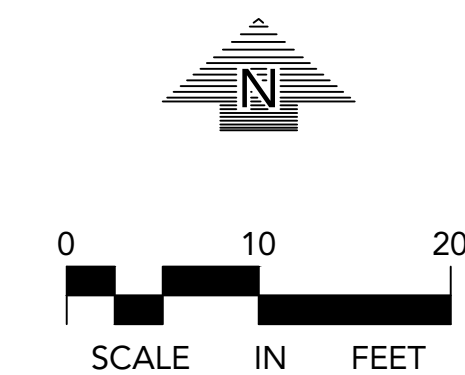


CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



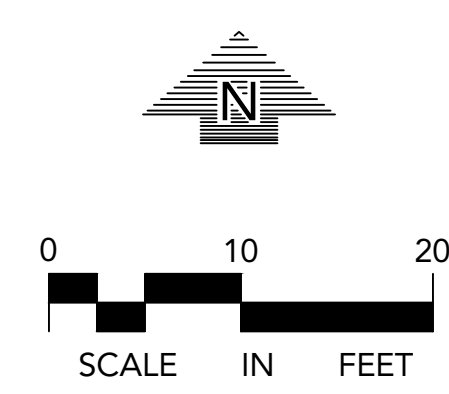
SITE NOTES

1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND MINNEAPOLIS JURISDICTION REQUIREMENTS.
2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
5. TYPICAL FULL SIZED PARKING STALL IS 9.5' X 18' UNLESS OTHERWISE NOTED.
6. ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
7. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.
8. REFER TO ARCHITECTURAL SITE PLAN FOR BUILDING SETBACKS.
9. MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
10. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- 11.3. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND CITY STANDARDS.

NOTE:
EXISTING CONDITIONS SHOWN ARE FROM
A SURVEY COMPLETED BY JAMES R HILL,
DATED MARCH 20, 2019.

PAVEMENT LEGEND

- DENOTES LIGHT DUTY BITUMINOUS PAVEMENT
- DENOTES CONCRETE PAVEMENT



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TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

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LEGEND

EXISTING	PROPOSED

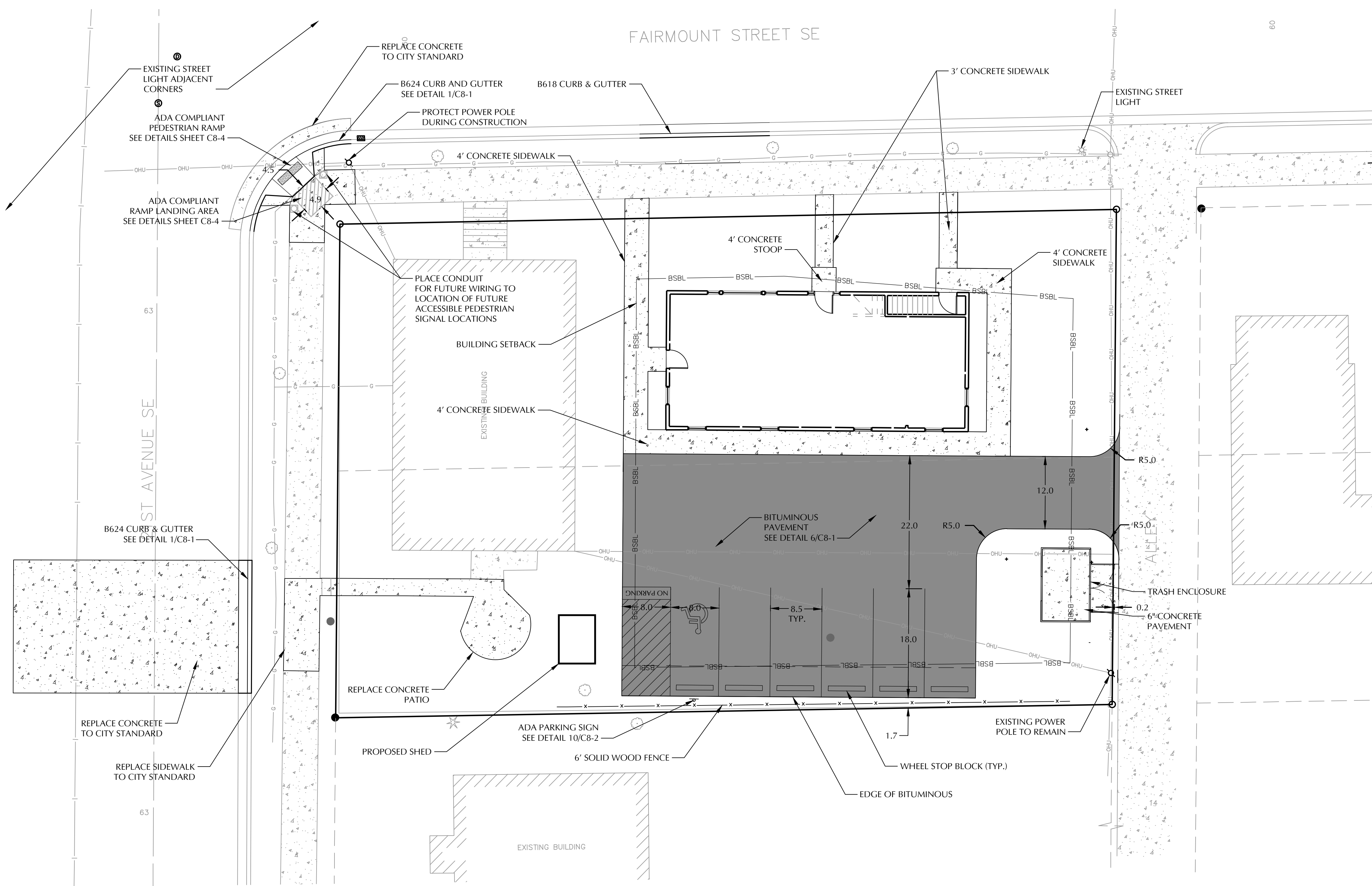
CITY OF MINNEAPOLIS
ELECTRONIC APPROVAL STAMP

2106
FAIRMOUNT
AVENUE SE
2100 FAIRMOUNT AVE. SE
MINNEAPOLIS, MN 55416

LOUCKS
PLANNING
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LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hennick Lane, Suite 200
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

SHEET TITLE:
SITE PLAN

PROJECT #: 20260.0
DRAWN BY: VMA
CHECKED BY: MJS
ISSUE: DATE:
PDR SUBMITTAL 00.00.00



SITE DATA

CURRENT ZONING: RESIDENTIAL
PROPOSED ZONING: RESIDENTIAL
PROPERTY AREA: 0.241 +/- AC OR 10,486 SF
DISTURBED AREA: 0.15 AC
EXISTING IMPERVIOUS AREA: 0.08 AC (33%)
PROPOSED IMPERVIOUS AREA: 0.144 AC OR 6,287 SF (60%)
TOTAL PARKING: 6 STALLS PROVIDED
1 HC STALLS

CITY OF MINNEAPOLIS NOTES

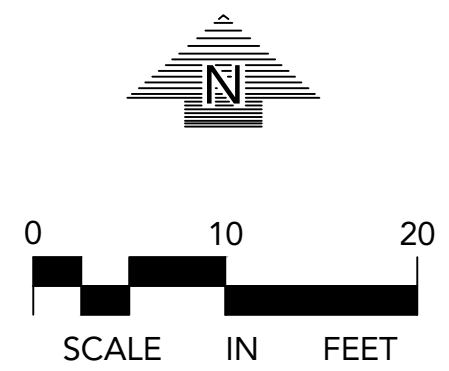
1. STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTORS SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT, PLEASE CONTACT DAVE PREHALL AT (612-673-5759) FOR FURTHER INFORMATION. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE.
2. AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT-OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612-673-2383) REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO [HTTP://MINNEAPOLIS.MN.ROADWAY.NET/](http://minneapolis.mn.roadway.net/) FOR A PERMIT.
3. CONTACT ALLAN KLUGMAN AT (612-673-2743) PRIOR TO CONSTRUCTION FOR THE TEMPORARY REMOVAL/TEMPORARY RELOCATION OF ANY CITY OF MINNEAPOLIS SIGNAL SYSTEM.
4. CONTACT TILAHUN HAILU AT (612) 673-5809 PRIOR TO CONSTRUCTION FOR THE TEMPORARY REMOVAL/TEMPORARY RELOCATION OF ANY CITY OF MINNEAPOLIS LIGHTING OR TRAFFIC SIGNAL SYSTEM THAT MAY BE IN THE WAY OF CONSTRUCTION.
5. PAVEMENT MARKINGS THAT EXIST PRIOR TO THE START OF THE PROJECT MUST BE REPLACED IN KIND. IF IT IS LATEX OR EPOXY PAINT THEN IT MUST GO BACK IN WITH THAT TYPE OF PAINT UNLESS OTHERWISE DIRECTED BY CITY OF MINNEAPOLIS TRAFFIC DIVISION. ALL COSTS ASSOCIATED WITH PAVEMENT MARKING REPLACEMENT SHALL BE BORNE BY THE CONTRACTOR AND/OR PROPERTY OWNER.
6. ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC FACILITIES INCLUDING TRAFFIC SIGNAL SYSTEMS, STREET LIGHTING, TRAFFIC SIGNS, PARKING METERS, AND PAVEMENT MARKINGS SHALL BE BORNE BY THE CONTRACTOR AND/OR PROPERTY OWNER.
7. CONTACT SHANE MORTON AT (612) 673-5517 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS OR PAVEMENT MARKINGS THAT MAY BE IN THE WAY OF CONSTRUCTION.
8. NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT (612-673-3867) FOR PERMIT INFORMATION.
9. PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED SOILS ON SITE; DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT (612-673-5807) FOR PERMIT APPLICATIONS AND APPROVALS.
10. ALL CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE B624 GUTTER, REFER TO STANDARD PLATE ROAD-1003 ON SHEET C8-2
11. ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMP, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE RE-DEVELOPMENT.
12. REMOVAL OR RELOCATION OF PRIVATE UTILITIES (HYDRANTS, LIGHT POLES, STREET LIGHTS ETC.) ARE TO BE COORDINATED WITH UTILITY OWNER.
13. ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMP, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE REDEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE REDEVELOPMENT.

STUDIO M ARCHITECTS, INC.
530 NORTH 3RD STREET, SUITE 230
MINNEAPOLIS, MINNESOTA 55401
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F: 612.844.1240
WWW.STUDIOMARCHITECTS.NET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the law of the state of Minnesota
Signed: [Signature]
Date: 09.10.19 reg. No. 24440

C2-1

NOTE:
EXISTING CONDITIONS SHOWN ARE FROM
A SURVEY COMPLETED BY JAMES R HILL,
DATED MARCH 20, 2019.



WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

SWPPP LEGEND

	SILT FENCE
	BIO ROLLS
	INLET PROTECTION
	EXISTING DRAINAGE PATTERN
	PROPOSED DRAINAGE PATTERN
	EROSION CONTROL BLANKET

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED



2106
FAIRMOUNT
AVENUE SE
2100 FAIRMOUNT AVE. SE
MINNEAPOLIS, MN 55416

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hennick Lane, Suite 200
Maple Grove, MN 55369
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www.loucksinc.com

SHEET TITLE:
GRADING PLAN

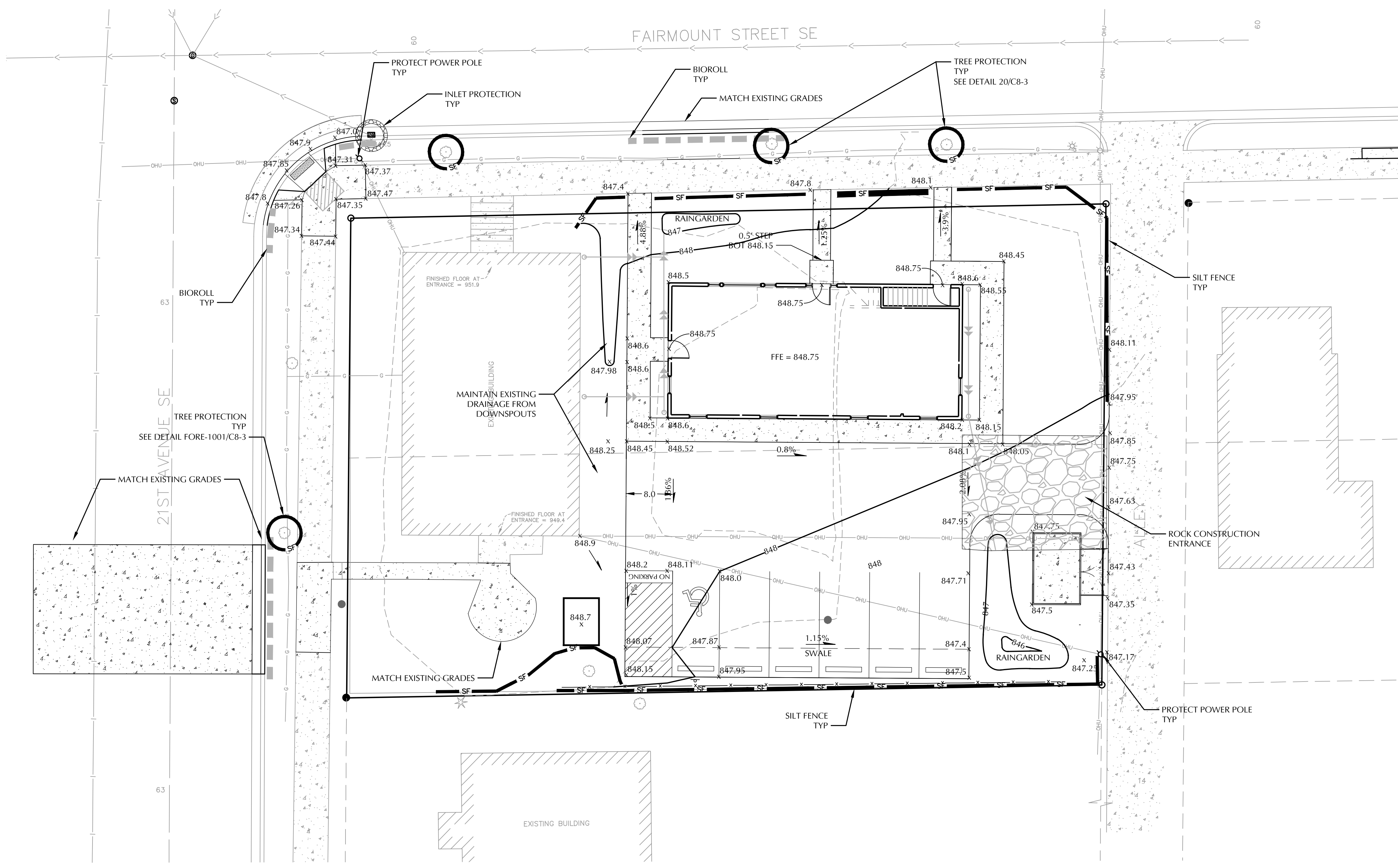
PROJECT #: 20260.0
DRAWN BY: VMA
CHECKED BY: MJS
ISSUE: DATE:
PDR SUBMITTAL: 00.00.00

GRADING & DRAINAGE NOTES

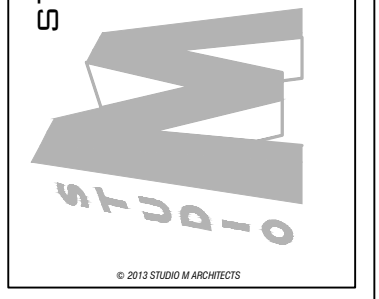
SEE STORMWATER POLLUTION PREVENTION PLAN FOR SOIL STABILIZATION INFORMATION.
EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON THE CIVIL DETAILS SHEETS OF THESE PLANS.
ALL CURB SPOT ELEVATIONS ARE TO GUTTER LINE UNLESS NOTED OTHERWISE.

GRADING, DRAINAGE & EROSION CONTROL SPECIFICATIONS

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.10 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF PREMIUM TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. VERIFY WITH LANDSCAPE PLAN.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL). "GW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO.16.61753.100), DATED 12/08/16 AS PREPARED BY NORTHERN TECHNOLOGIES INC. FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS, OR AS DIRECTED BY CITY. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- A STREET SWEEPER MUST BE AVAILABLE WITHIN 3 HOURS UPON NOTICE FROM THE CITY THAT THE STREETS NEED TO BE SWEEPED.
- THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT FROM THE MPCA.
- INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. SOME EROSION CONTROLS SUCH AS BAILE CHECKS AND TEMPORARY SILT PONDS MAY BE INSTALLED AS GRADING OCCURS IN SPECIFIC AREAS. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE MPCA NPDES PERMIT. THE AREA TO BE DISTURBED SHALL BE MINIMIZED AND TURF SHALL BE ESTABLISHED WITHIN THE TIME REQUIRED.
- GRADES SHOWN ARE FINISHED GRADES.
- FINAL GRADING TOLERANCES ARE +/-0.1 FEET TO FINISH GRADES.
- UNDER PAVEMENTS COMPACT THE UPPER 3 FEET OF SUBGRADE TO 100% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT AND 95% STANDARD PROCTOR DENSITY BELOW THE UPPER 3 FEET OF SUBGRADE. OUTSIDE PAVEMENT AREAS COMPACT EMBANKMENTS TO 95% STANDARD PROCTOR DENSITY.
- WORKING HOURS ARE 7:00 AM - 10:00 PM, MONDAY - SATURDAY. A 4 HOUR NOTICED IS REQUIRED FOR SATURDAY WORK.
- THE CONTRACTOR MUST HAVE A CITY LICENSE.
- A CITY RIGHT-OF-WAY PERMIT IS REQUIRED PRIOR TO WORKING WITHIN CITY ROW.
- TURF REINFORCEMENT MAT (TRM) SHALL BE LANDLOK 450, AS MANUFACTURED BY PROPEX GEOSOLUTIONS, OR APPROVED EQUAL. THE CONTRACTOR SHALL FOLLOW ALL OF THE MANUFACTURERS INSTRUCTIONS FOR INSTALLATION.
- STRUCTURAL RETAINING WALL, FENCING AND HANDRAIL DESIGN BY OTHERS. REFER TO ARCHITECTURAL PLANS.



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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the law of the state of Minnesota.
Signed: [Signature]
Date: 09.10.19 reg. No. 24440

C3-1

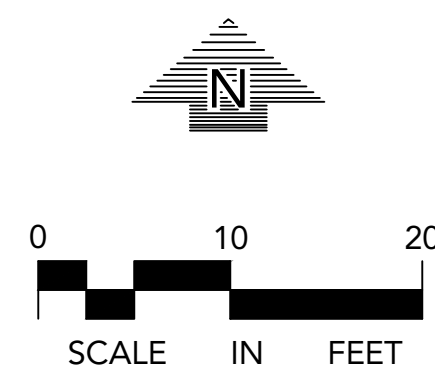
NOTE:
EXISTING CONDITIONS SHOWN ARE FROM
A SURVEY COMPLETED BY #####, DATED
####.



CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED



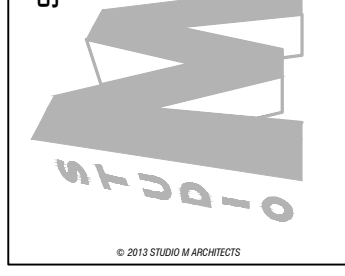
2106
FAIRMOUNT AVENUE SE
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MINNEAPOLIS, MN 55416

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7200 Hennick Lane, Suite 200
Maple Grove, MN 55369
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www.loucksinc.com

SHEET TITLE:
UTILITY PLAN

PROJECT #: **20260.0**
DRAWN BY: **VMA**
CHECKED BY: **MJS**
ISSUE: _____ DATE: _____
PDR SUBMITTAL: **00.00.00**

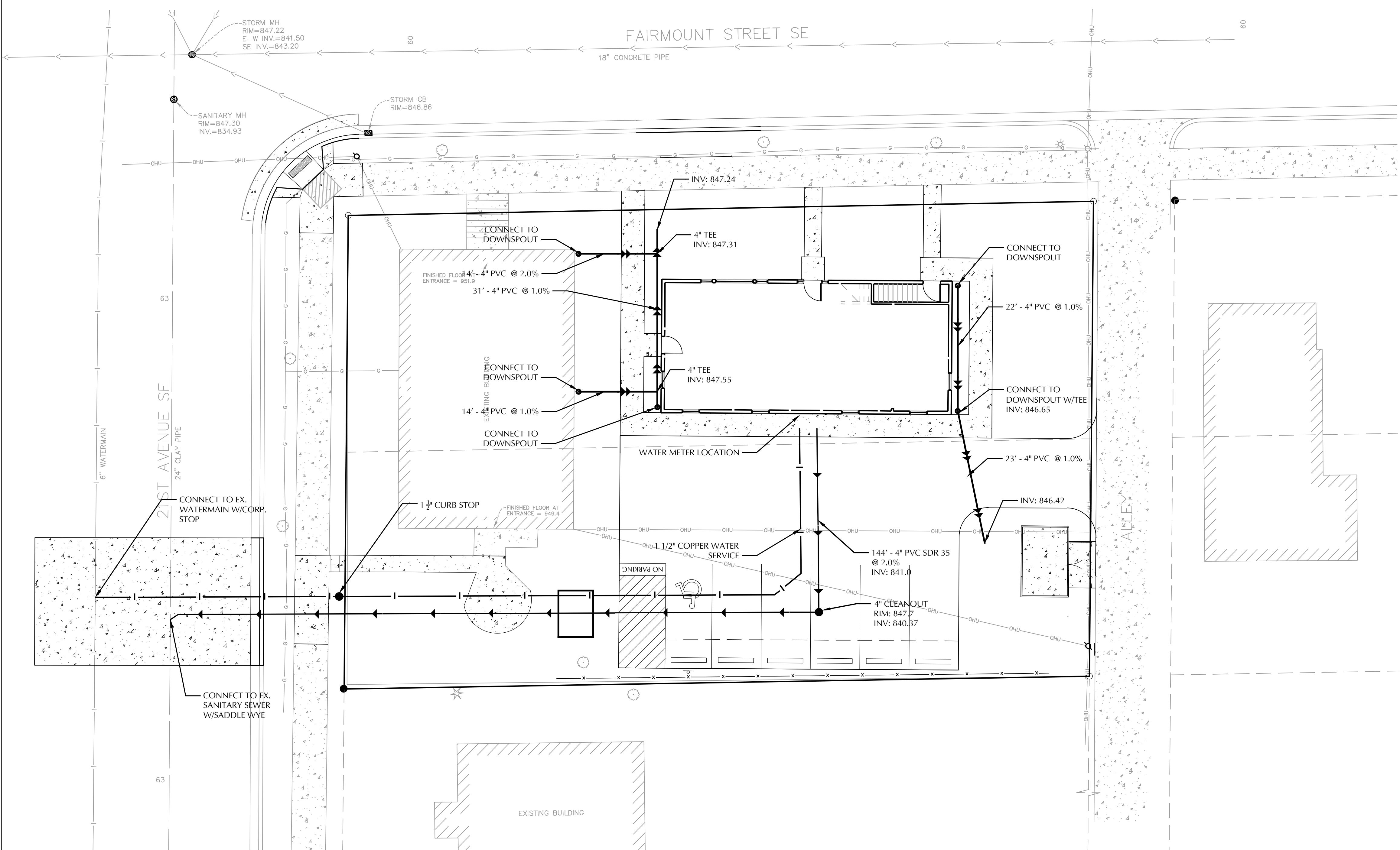
STUDIO M ARCHITECTS, INC.
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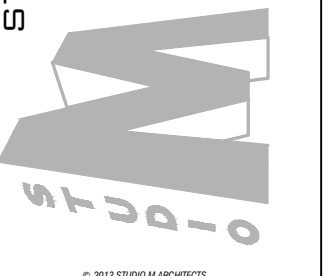
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the law of the state of Minnesota.
Signed: _____
Date: **09.10.19** reg. No. **24440**

UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) SANITARY AND STORM ONLY, 2013 EDITION AND THE CITY'S WM SUPPLEMENTAL SPECIFICATIONS FOR WATER UTILITY IMPROVEMENTS.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 7.5 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 7.5 FEET MINIMUM DEPTH CAN NOT BE ATTAINED. ALL PER CITY'S WM SUPPLEMENTAL SPECIFICATIONS.
- PROPOSED PIPE MATERIALS:
STORM SEWER PVC 4" DIAMETER
WATERMAIN COPPER, TYPE K 1 1/2" DIAMETER
SANITARY SEWER PVC SDR 35 & SCH 40 6" TO 8" DIAMETER
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
a. PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
b. PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
c. ALL FITTINGS MUST COMPLY WITH ASTM D3212.
d. WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- CONTRACTOR AND MANHOLE FABRICATOR SHALL SUMP (LOWER) ALL STORM SEWER CATCH BASIN CASTINGS WITHIN PAVED AREAS 0.16 FEET OR 2-INCHES BELOW THE RIM ELEVATION DEPICTED ON THE UTILITY PLAN.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE ALL SIGNAGE, BARRICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT THE EXPRESSED AUTHORITY OF THE CITY.
- THE CITY SHALL OPERATE ALL GATE VALVES.
- CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE DRILLING THE MANHOLE AT THE PROPOSED INVERT ELEVATIONS AND INSTALLING A RUBBER BOOT. GROUT IN THE BOOT AND AN INVERT FOR THE NEW SEWER LINE.
- PIPE LENGTHS SHOWN ON THE PLAN INCLUDE THE APRON SECTION.
- WATERMAIN PIPE FITTINGS SHALL BE COMPACT TYPE. PIPE AND FITTINGS SHALL HAVE A CEMENT MORTAR LINING. CONDUCTIVITY SHALL BE PROVIDED BY WELDED STRAPS ACROSS EACH JOIN. SEE CITY'S WM SUPPLEMENTAL SPECIFICATIONS FOR WATER UTILITY IMPROVEMENTS.
- TRENCH COMPACTION SHALL BE 95% STANDARD PROCTOR DENSITY IN THE AREA FROM THE PIPE ZONE TO WITHIN 3 FEET OF FINISHED GRADE AND 100% IN FINAL 3 FEET OF THE BACKFILL TO FINISH GRADE.
- ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE REDEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE REDEVELOPMENT.
- APS READY INTERSECTION TO HAVE CONDUIT INSTALLED FOR WIRING TO PODIUM LOCATIONS.
- A DOUBLE DETECTOR CHECK BACKFLOW PREVENTION DEVICE MUST BE PLACED ON THE WATERLINE IN LINE WITH THE FIRE SYSTEM, IF APPLICABLE.
- ANY LIGHTING WIRING DISTURBANCE REQUIRES REPLACEMENT. WIRING IS DIRECT BURIED AND CANNOT BE SPLICED UNDERGROUND. ANY DISTURBANCE TO THE CONDUIT MAT REQUIRE A LONGER SEGMENT OF CONDUIT TO BE INSTALLED.



C4-1



*SLOPE NOT TO EXCEED 1:20 AT CURB RAMPS

MINNEAPOLIS Public Works	DRW: JFC	DATE: 9/10/17	B-624 CURB AND GUTTER	1	STANDARD PLATE NO. ROAD-1003
	APP: GAS	DATE: 5/19/08			

MINNEAPOLIS Public Works	DRW: JFC	DATE: 9/10/17	SAW CUT AT CURB AND GUTTER REMOVAL	2	STANDARD PLATE NO. ROAD-1010
	APP: GAS	DATE: 5/19/08			

EROSION AND SEDIMENT CONTROL NOTES

- INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICE IN MINNEAPOLIS.
- ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES, A GEOTEXTILE FABRIC IS REQUIRED.
- REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASIN INSERTS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF (MNDOT TYPE C INLET PROTECTION). NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.
- LOCATE ALL SOIL AND DIRT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.
- READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATE CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANS. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7-14 DAYS (SLOPE DEPENDENT). USE SEEDING AND MULCHING. EROSION CONTROL MATTING AND/OR SODDING WITH TEMPORARY STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACING.
- REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION COVER OF 70% REQUIRED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.
- ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2573
NOT TO SCALE

MINNEAPOLIS Public Works	DRW: DDD	DATE: 8/06	EROSION CONTROL NOTES	3	STANDARD PLATE NO. SEWR-8007
	APP: HRS	DATE: 4/07			

NOTE:
1. A Y McDONALD OR MUELLER CO. EQUIVALENTS
2. FOR TAPS LARGER THAN 1" CONTACT FORESTRY AND INSPECTIONS AT 813.873.5851
3. CONTACT MPFB FORESTRY DEPT. WHEN NEAR MATURE TREES CONTACT FORESTRY FOR CLEARANCES OR INSPECTIONS AT 813.499.8233
4. CURB STOP AND BOX SHALL BE LOCATED BETWEEN TOP BACK OF CURB AND PROPERTY LINE, PREFERABLY IN GRASS BLVD.

NOT TO SCALE

MINNEAPOLIS Public Works	DRW: MEN	DATE: 2/10/2020	WATER SERVICE	4	STANDARD PLATE NO. WATR-2001-R1
	APP: CMD	DATE: 2/20/2020			

CONCRETE PAVEMENT SPOT CUTS - FULL DEPTH RESTORATION

DESCRIPTION: THIS SCOPE OF WORK SHALL APPLY FOR FAIR AND POOR PAVEMENT CONDITION. REMOVE CONCRETE, PLACE REINFORCING AND DOVELS AS REQUIRED. FURNISH AND PLACE CONCRETE, SAW AND SEAL JOINTS.

WORK TO BE DONE

- DEFINE REMOVE AREA. CHOOSE REPAIR LAYOUT AS SHOWN ABOVE. REPAIR LAYOUT A, B, C AND D AS EXPLAINED BELOW:
A. EXTERIOR EDGE OF A JOINT LOCATION, 4' x 4' MIN. SIZE.
B. EXTERIOR EDGE OF A JOINT LOCATION, 4' x 4' MIN. SIZE.
C. INTERIOR EDGE OF CENTERLINE JOINT, 4' x 4' MIN. SIZE.
D. GAS LINE OR EXPLORATORY HOLES. UNDER 7" DIA. SIZE BACKFILL 1" REPAIR WITH MNDOT 3318 OR EQUIVALENT REPAIR MIX CONCRETE. FOR 8" OR LARGER HOLES, SAW CUT A 2' X 2' SQUARE AND DRILL AND GROUT NO. 13 REINFORCING BARS INTO EXISTING CONCRETE.
- SAW CUT FULL DEPTH AND REMOVE CONCRETE PAVEMENT. RESTORE INPLACE BASE.
- FURNISH AND INSTALL NO. 13 1" x 18" LONG REINFORCING TIE BARS AT 24" CENTER TO CENTER PARALLEL TO CONCRETE SURFACE AT MID DEPTH OF EXISTING CONCRETE PAVEMENT AND ALL SIDES. ALL BARS SHALL BE 18" FROM EDGE OR JOINT. IF ONE SIDE OF REPAIR IS ALONG A LONGITUDINAL JOINT, RETAIN OR REPLACE EXISTING BARS AS NECESSARY.
IF ONE SIDE OF REPAIR MATCHES AN EXISTING TRANSVERSE JOINT USE 1" DOVELS BARS 18" LONG AT 24" CENTER TO CENTER PARALLEL TO CONCRETE SURFACE. COAT FREE END OF DOVEL BARS WITH A FORM COATING MATERIAL MEETING MNDOT SPECIFICATION 3902.
- CLEAN SURFACES OF INPLACE CONCRETE.
- FURNISH AND PLACE CONCRETE. FINISH TO REQUIRED GRADE, SLOPE, TEXTURE AND CURE.
- REESTABLISH TRANSVERSE JOINTS AND LONGITUDINAL JOINTS AND SEAL AS PER MNDOT SPECIFICATIONS.

CONCRETE PAVEMENT THICKNESS SHALL BE A MIN. OF 4" OR MATCH THE EXISTING PAVEMENT, WHICHEVER IS THICKER.
A MINIMUM OF 4" OF COMPACTED CLASS 5 AGGREGATE BASE SHALL BE PLACED DIRECTLY BELOW CONCRETE PAVEMENT.
CLASS 5 AGGREGATES SHALL MEET THE CITY OF MINNEAPOLIS SPECIFICATIONS REQUIREMENTS.
ALL PAVEMENT BARRING SHALL BE COMPLETE CUTS WHICH EXTEND FROM THE PAVEMENT SURFACE TO THE BOTTOM OF THE CONCRETE PAVEMENT.
CONCRETE TO BE UTILIZED FOR SMALL PAVEMENT CUTS SHALL BE SA1, 3P3, 3P3S, 3P3S2 AND 3P3S3 OR 3P3S4 FOR CURB AND GUTTER CONSTRUCTION. FOR LARGE PAVEMENT REPAIR PROJECTS SA4 OR SA4HE SHALL BE USED.

MINNEAPOLIS Public Works	DRW: JFC	DATE: 2/17/17	CONCRETE PAVEMENT SPOT CUTS FULL DEPTH RESTORATION	5	STANDARD PLATE NO. ROAD-5001
	APP: JSH	DATE: 2/17/17			

STANDARD BITUMINOUS PAVEMENT SECTION

LOUCKS	4" CONCRETE WALK MN/DOT 2521	2" BIT. WEAR COURSE, MN/DOT 2360 SPWEA240B	TACK COAT, MN/DOT 2357	2" BIT. NON-WEAR COURSE, MN/DOT 2360 SPNWB230B	6" AGG. BASE, CLASS 5 OR 2 MN/DOT 3138	GEOTEXTILE FILTER FABRIC TYPE V, MN/DOT 3733.2	APPROVED SUBGRADE
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LOUCKS	STANDARD BITUMINOUS PAVEMENT SECTION	6	LOUCKS PLATE NO. 2031
			DRAWN 12/2016

CONCRETE SIDEWALK SECTION

LOUCKS	4" CONCRETE WALK MN/DOT 2521	4" GRANULAR MATERIAL MN/DOT 3149
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LOUCKS	CONCRETE SIDEWALK SECTION	7	LOUCKS PLATE NO. 2034
			DRAWN 12/2016

STOP BLOCK

LOUCKS	1/2" STEEL DOWEL (2 PER CURB) PRE-DRILL HOLE & SECURE W/ EPOXY	8	LOUCKS PLATE NO. 2019
			DRAWN 2/2016

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	DRIVEWAY REFERENCE 17	STANDARD PLATE NO. ROAD-2000-R1
DRAWN: JFC DATE: 7/29/14 APPROVED: JSH DATE: 7/29/14		

DRIVE APPROACH DIMENSIONS			
CODE	DIMENSION	RESIDENTIAL	COMMERCIAL
Y	DRIVE APPROACH ANGLE	60-90°	60-90°
W	DRIVE APPROACH WIDTH	12' MIN. 25' MAX.*	12' MIN.* 25' MAX.*
R	RADIUS OF CURVATURE OF CURB FOR DRIVE APPROACH	2.5' MIN. 5' MAX.	5' STD.* 30' MAX.
R1, R2	RADIUS OF CURVATURE	5' MIN. 15' MAX.	5' MIN. 30' MAX.
F	COMMON FRONTAGE CLEARANCE	5' MIN.	5' MIN.
G	DISTANCE BETWEEN DOUBLE DRIVE APPROACHES	30' MIN.*	30' MIN.*
C	CORNER CLEARANCE AT THE INTERSECTION OF TWO MAJOR STREETS	30' MIN.*	30' MIN.*
N/A	CORNER CLEARANCE AT ALL OTHER INTERSECTIONS	20' MIN.*	20' MIN.*
N/A	CLEARANCE FROM BUS STOP ZONE	40' MIN.*	40' MIN.*

NOTE: PERIODIC CHANGES IN THE ABOVE DIMENSIONS WILL BE MADE AS NECESSARY TO IMPROVE TRAFFIC AND SAFETY ON THE PUBLIC STREETS AND SIDEWALKS.
*OR AS APPROVED BY THE CITY ENGINEER.

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	DRIVEWAY REFERENCE 18	STANDARD PLATE NO. ROAD-2000-R1
DRAWN: JFC DATE: 7/29/14 APPROVED: JSH DATE: 7/29/14		

MINNEAPOLIS Public Works	DATE: 6/21/15	19	STANDARD PLATE NO. ROAD-2001-R1
APP: JSH	DATE: 6/21/15	TYPICAL DRIVEWAY CONSTRUCTION	

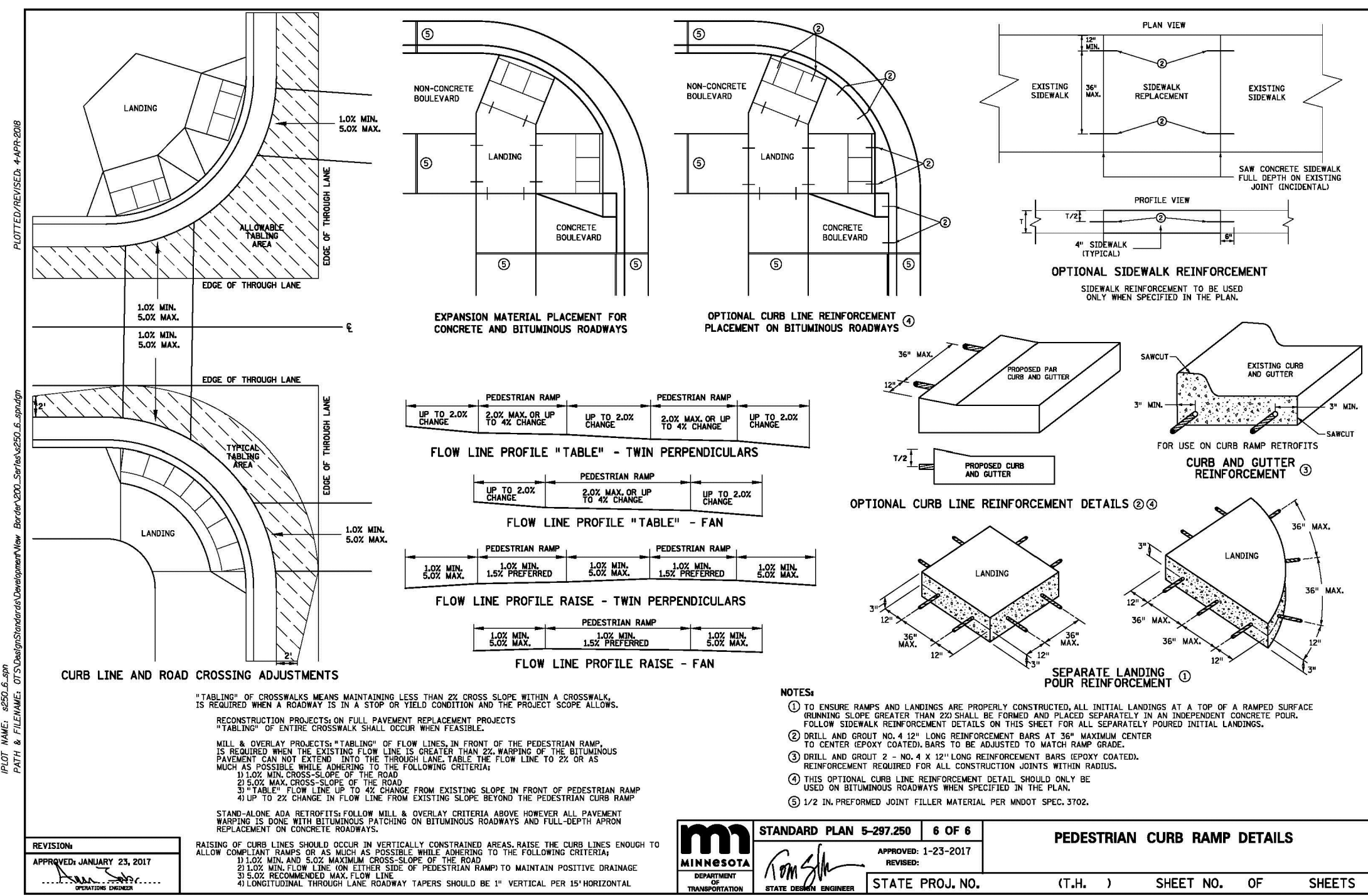
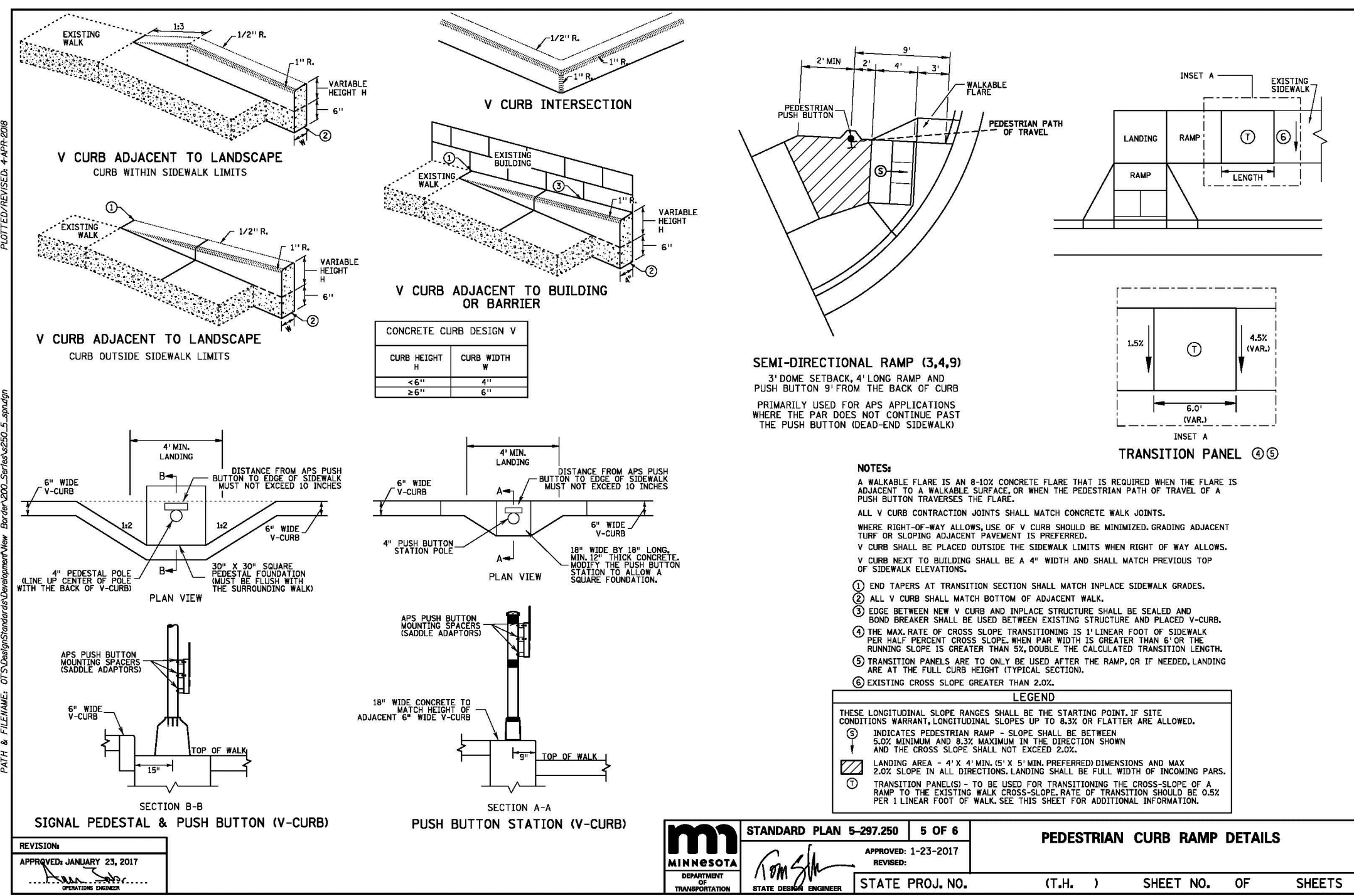
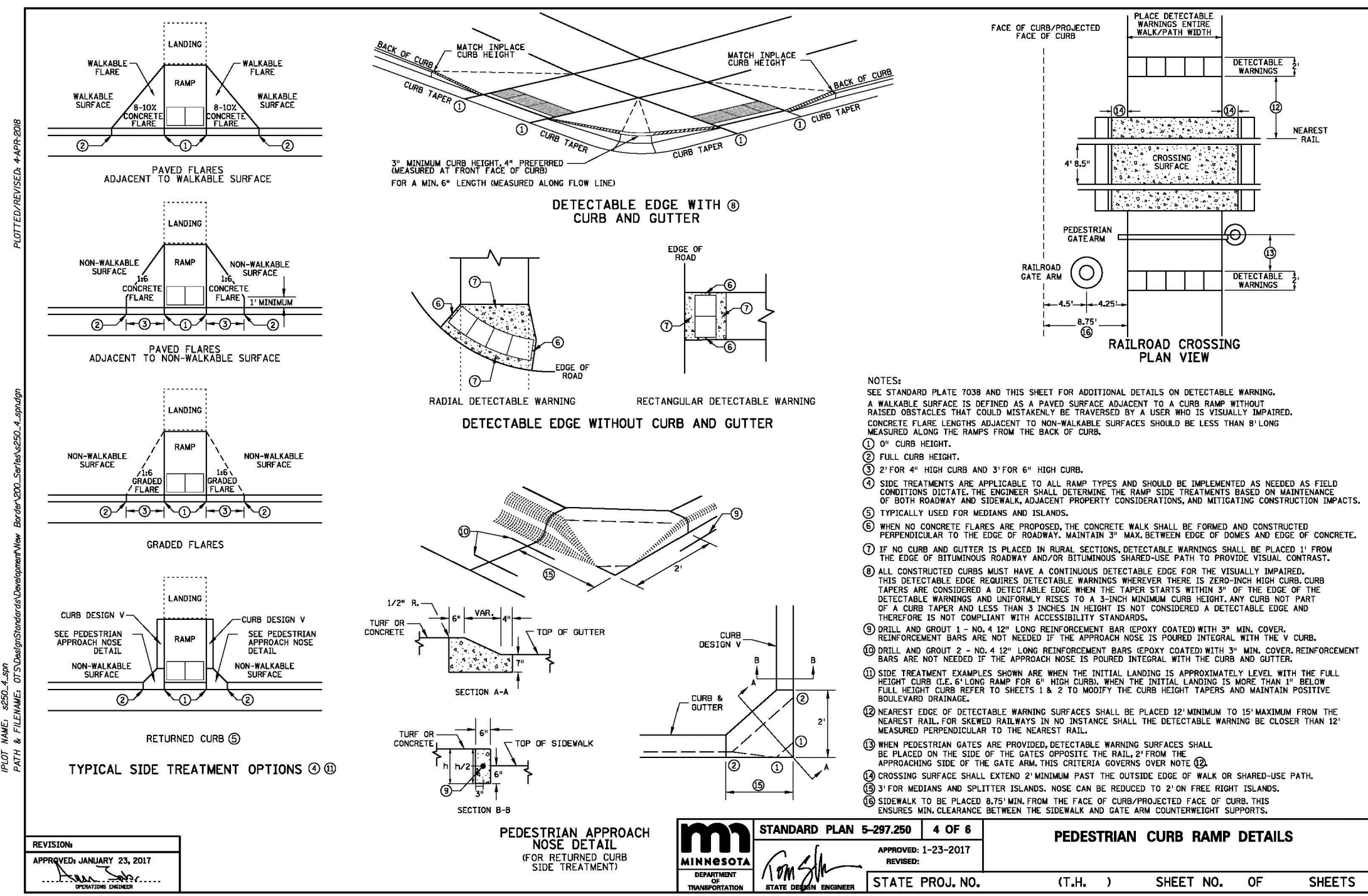
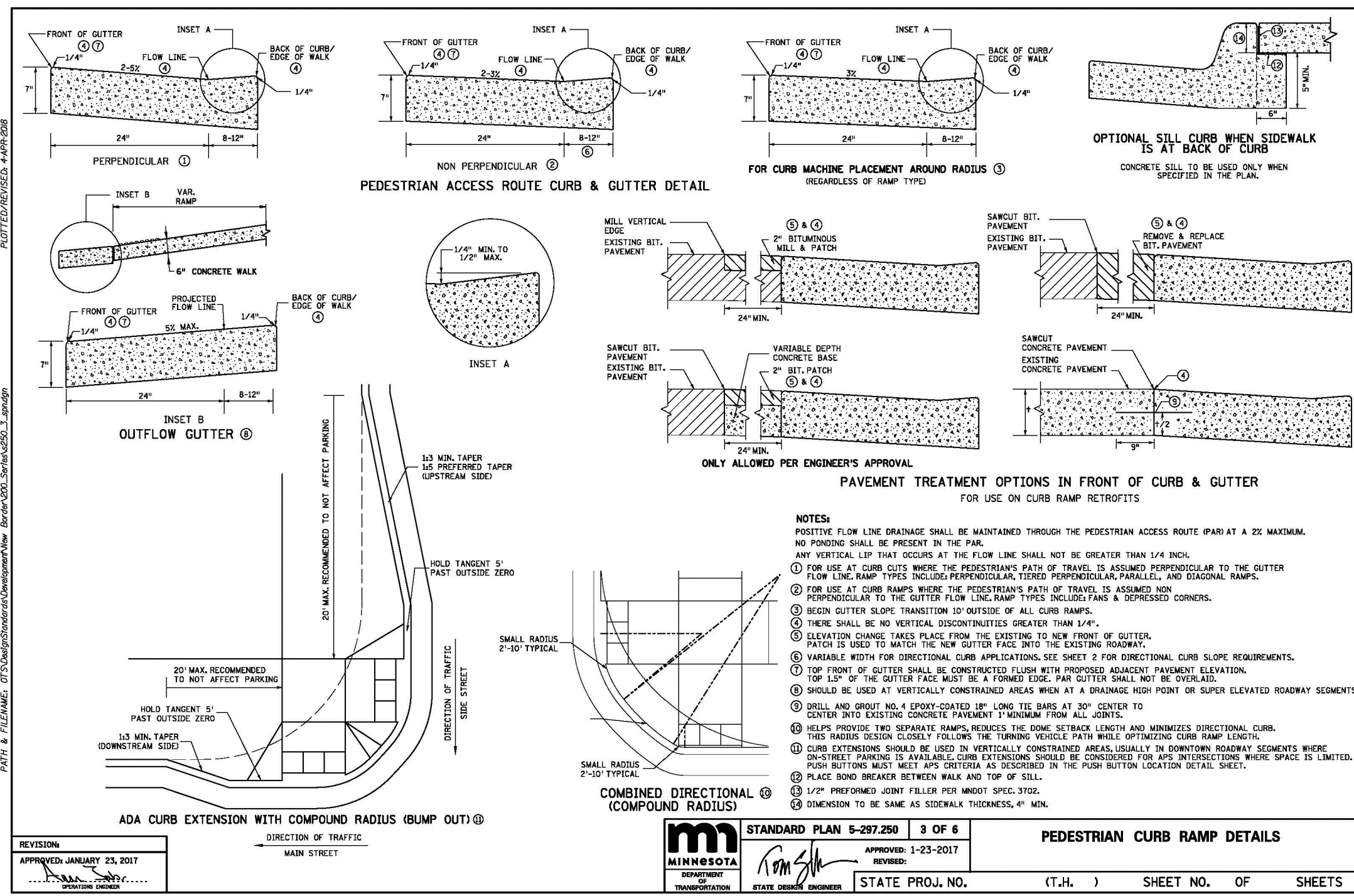
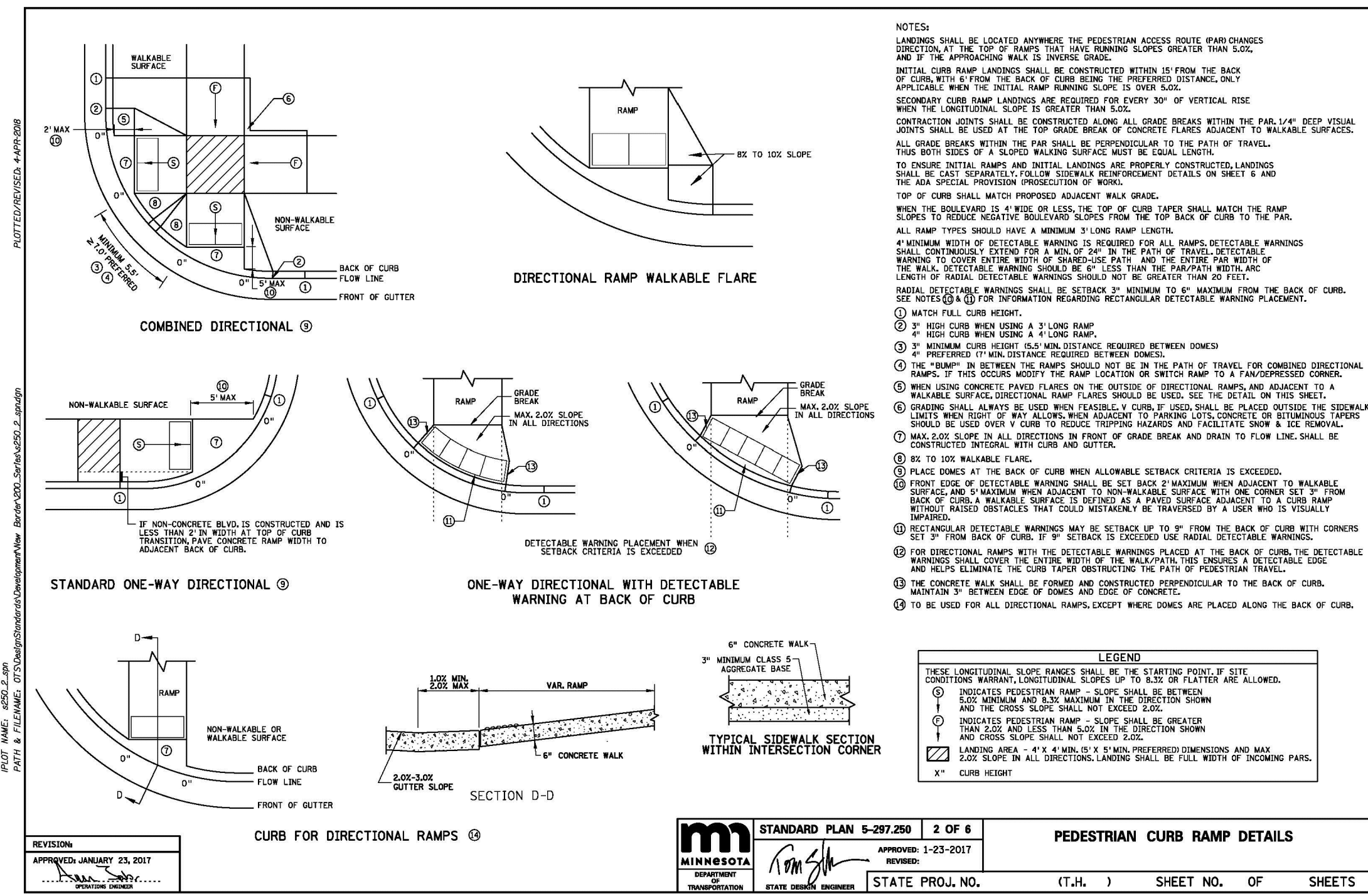
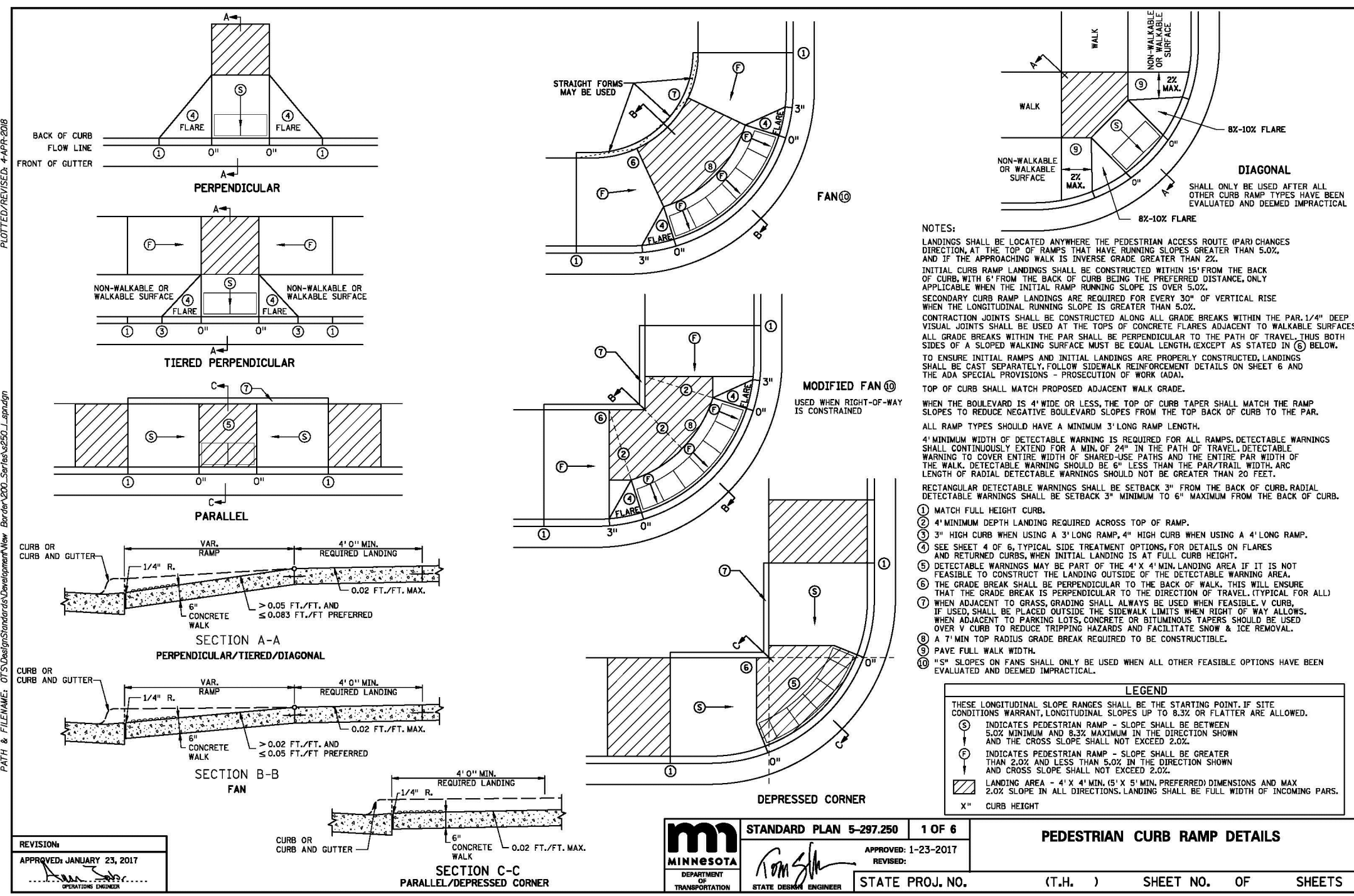
MINNEAPOLIS Public Works	DATE: 2/19/16	20	STANDARD PLATE NO. FORE-1001
APP: RCS	DATE: 2/19/16	TREE PROTECTION ZONE (TPZ)	

MINNEAPOLIS Public Works	DRIVEWAY REFERENCE 21	STANDARD PLATE NO. ROAD-2002
DRAW: JFC DATE: 9/10/07 APP: GAS DATE: 5/19/08		

MINNEAPOLIS Public Works	DRIVEWAY REFERENCE 22	STANDARD PLATE NO. ROAD-2003-R1
DRAW: JFC DATE: 1/4/16 APP: JSH DATE: 12/30/15		

MINNEAPOLIS Public Works	DATE: 1/4/16	23	STANDARD PLATE NO. ROAD-2003-R1
APP: JSH	DATE: 12/30/15	TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION	

MINNEAPOLIS Public Works	DATE: 1/4/16	23	STANDARD PLATE NO. ROAD-2003-R1
APP: JSH	DATE: 12/30/15	TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION	



CITY OF MINNEAPOLIS
ELECTRONIC APPROVAL STAMP

2106 FAIRMOUNT AVENUE SE
2100 FAIRMOUNT AVE. SE
MINNEAPOLIS, MN 55416

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
ENVIRONMENTAL
LANDSCAPE ARCHITECTURE
7200 Hennick Lane, Suite 200
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

SHEET TITLE:
CIVIL DETAILS

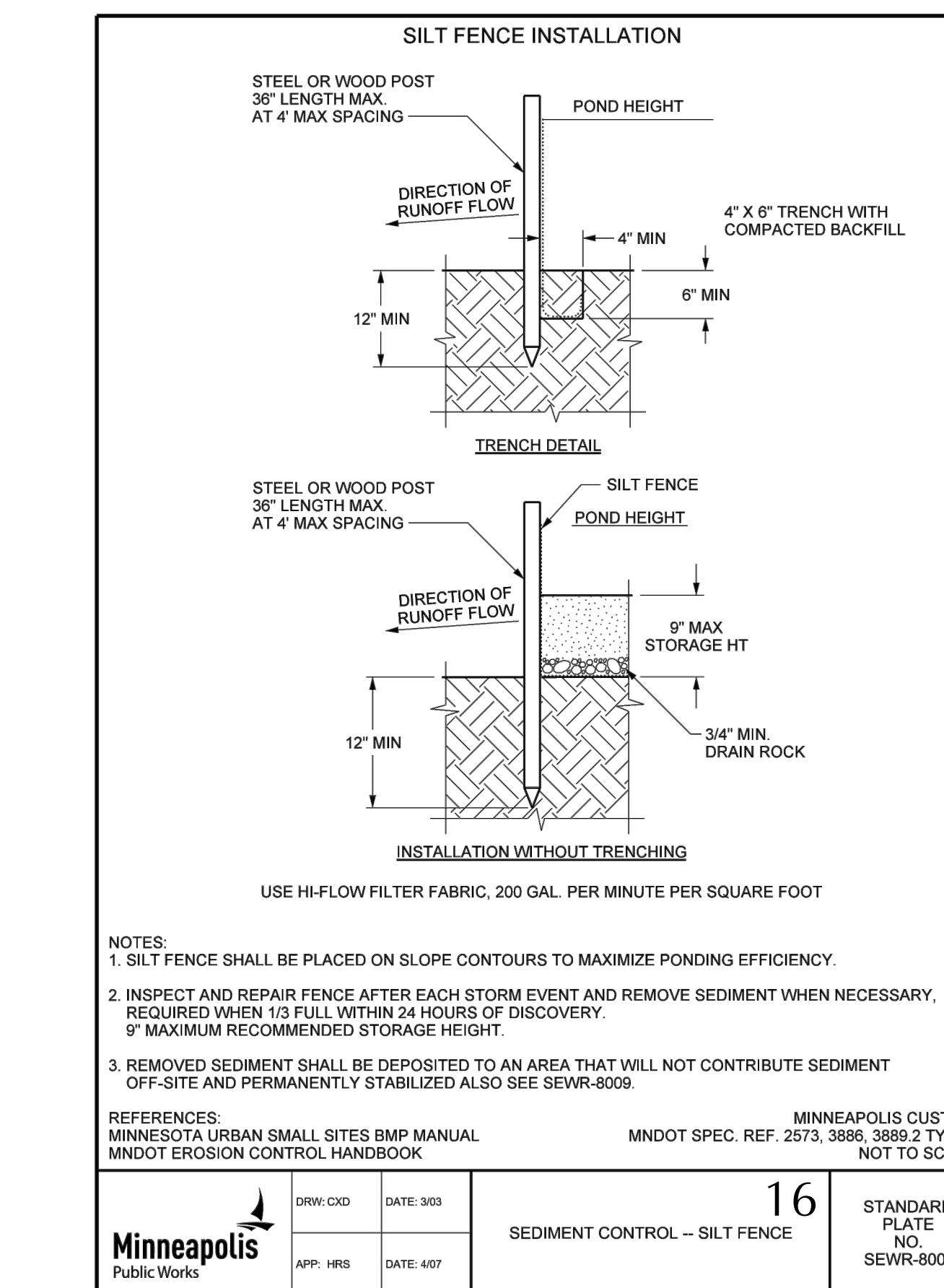
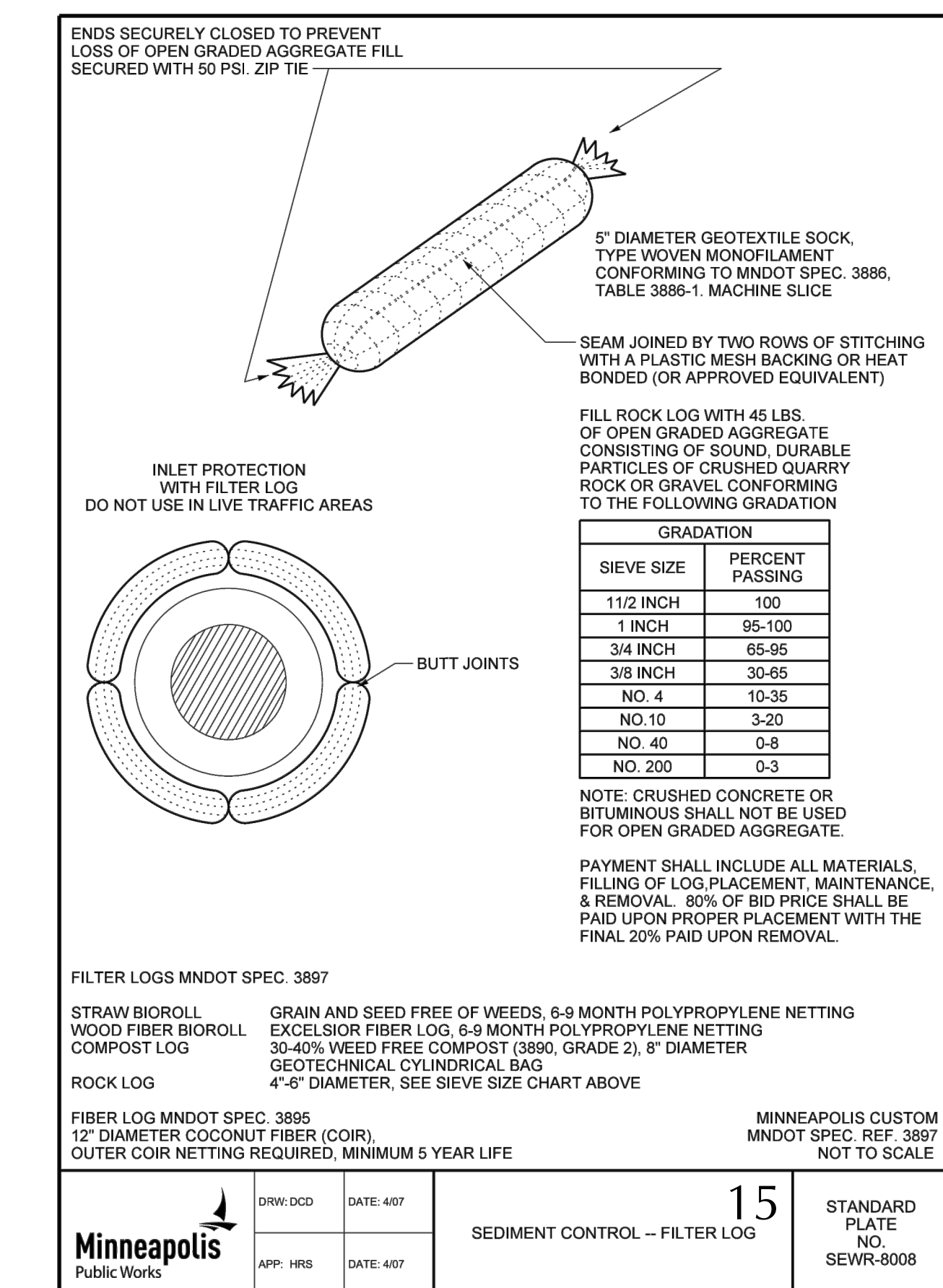
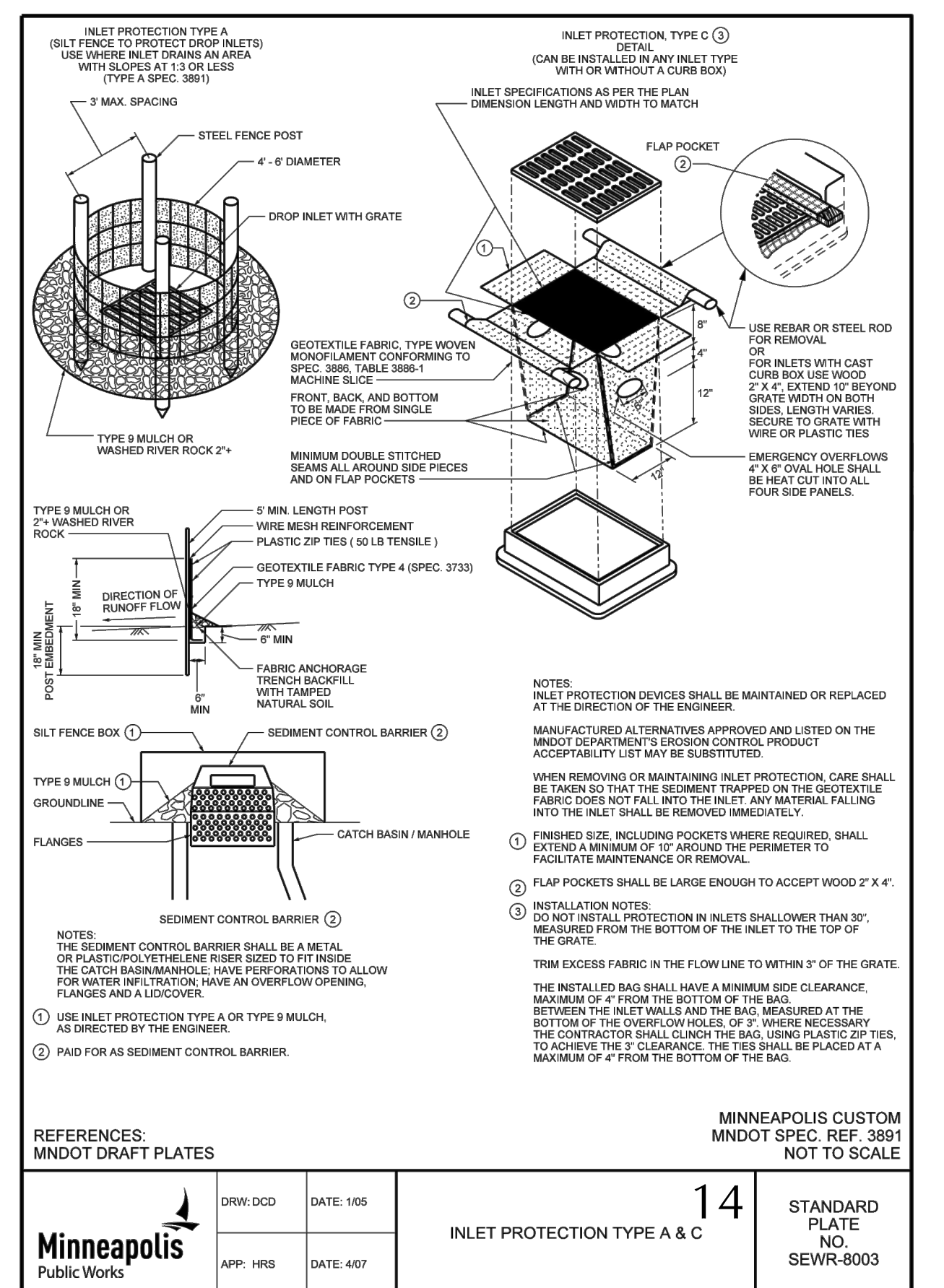
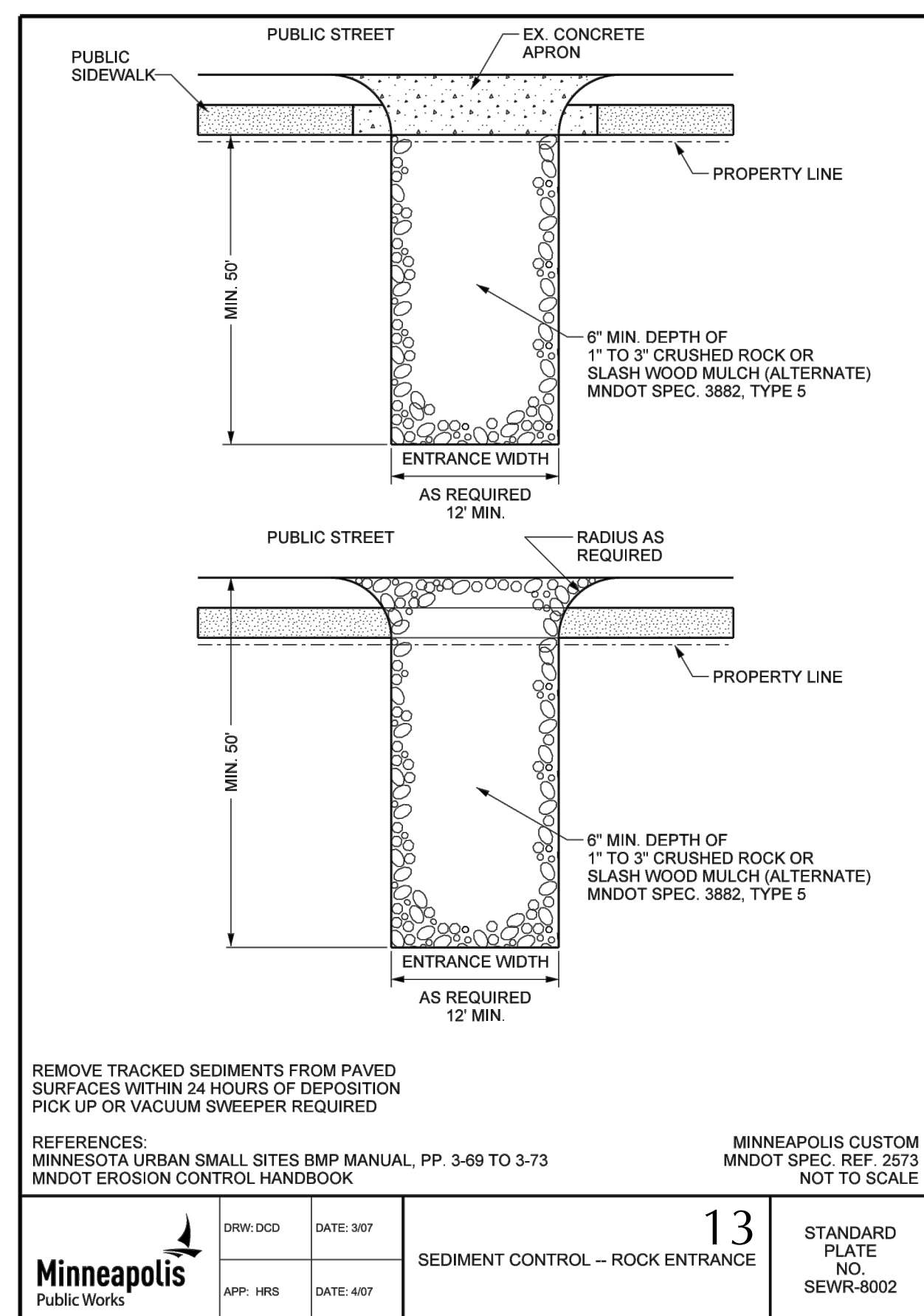
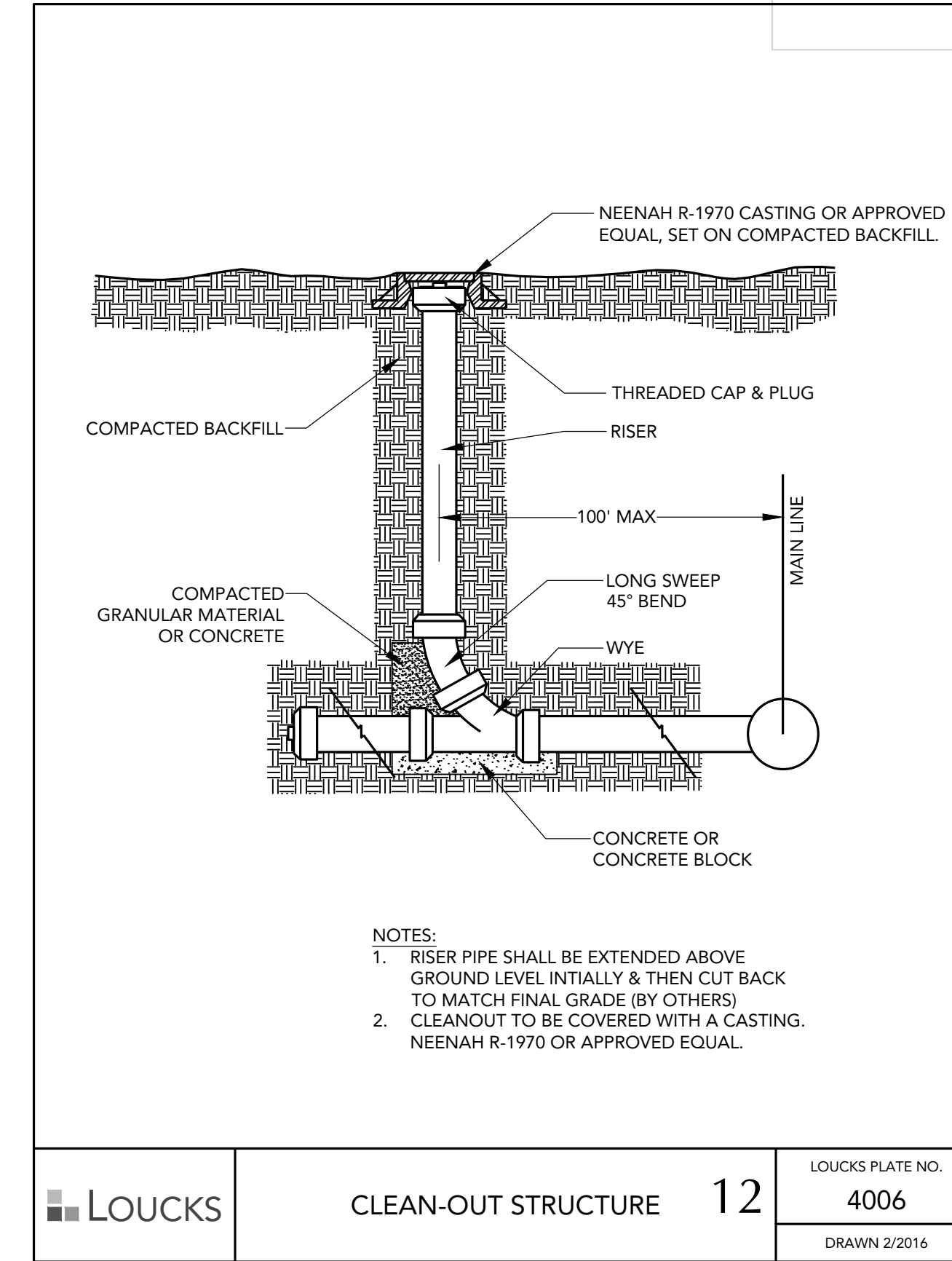
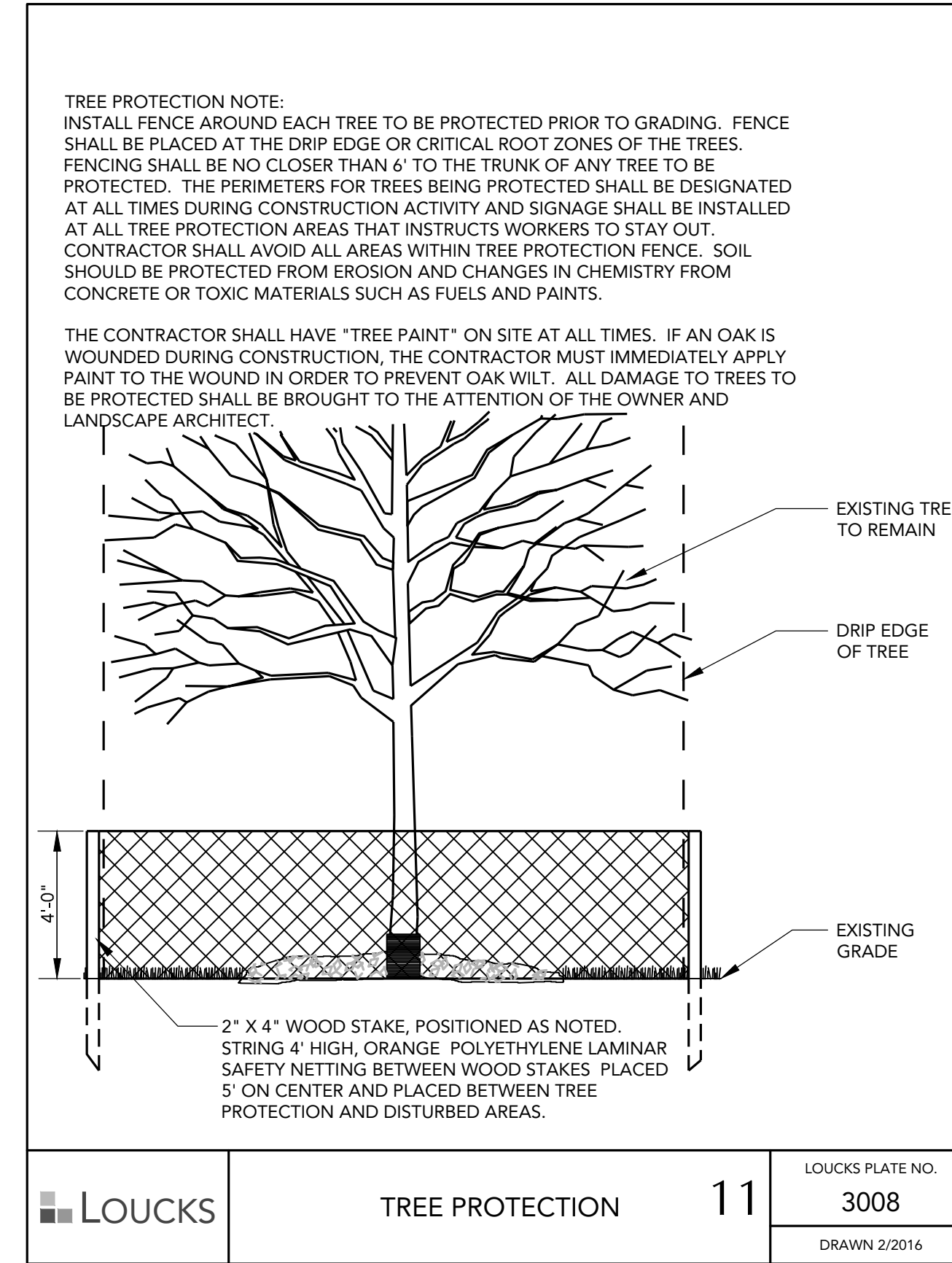
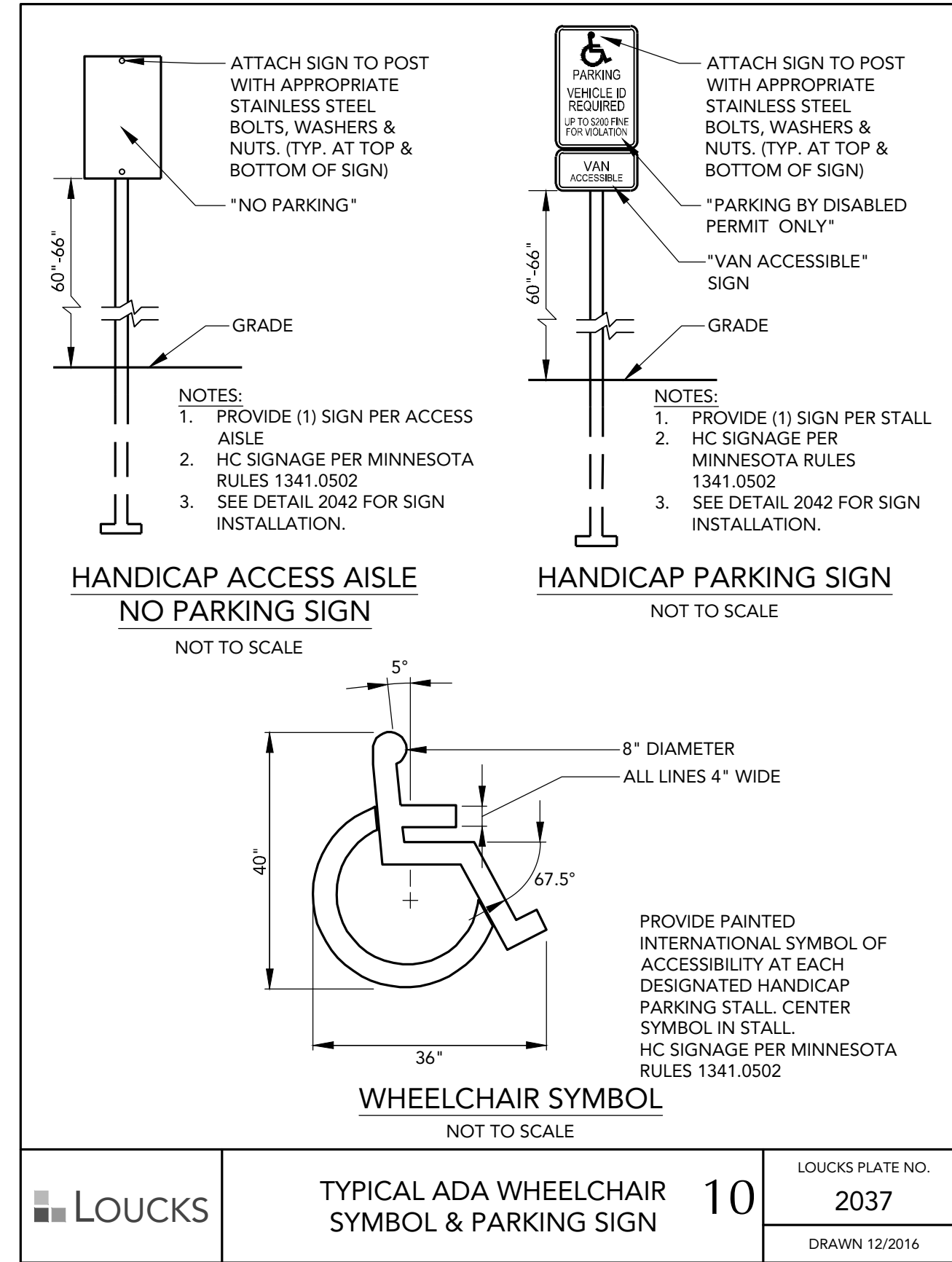
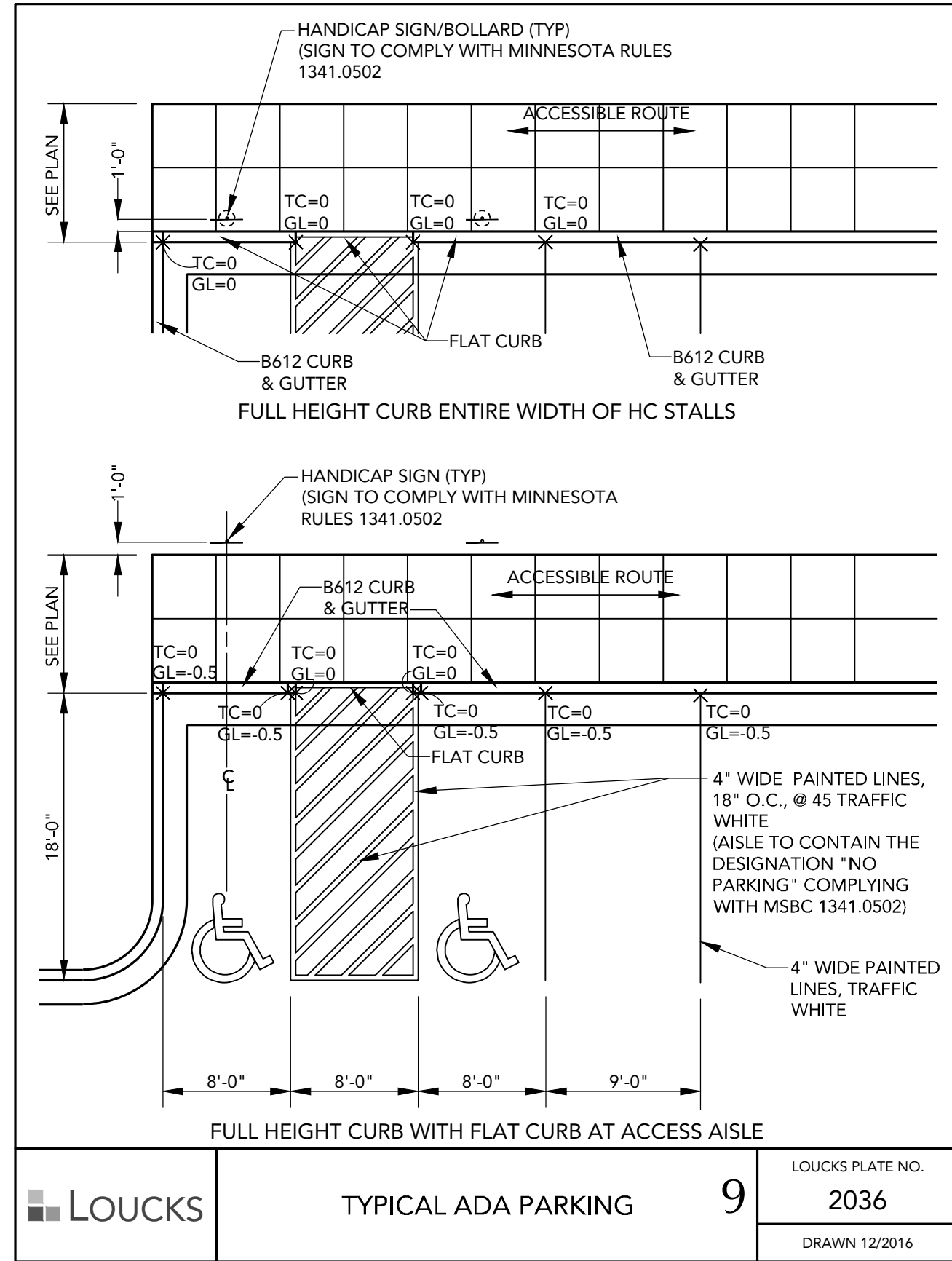
PROJECT #: 20260.0
DRAWN BY: VMA
CHECKED BY: MJS
ISSUE DATE:
PDR SUBMITTAL 00.00.00

STUDIO M ARCHITECTS, INC.
530 4TH 3RD STREET, SUITE 230
MINNEAPOLIS, MINNESOTA 55401
P: 612.924.5375
F: 612.944.1240
WWW.STUDIOMARCHITECTS.NET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the law of the state of Minnesota

signed: _____
date: 09.19.19 reg. no. 24440

C8-4

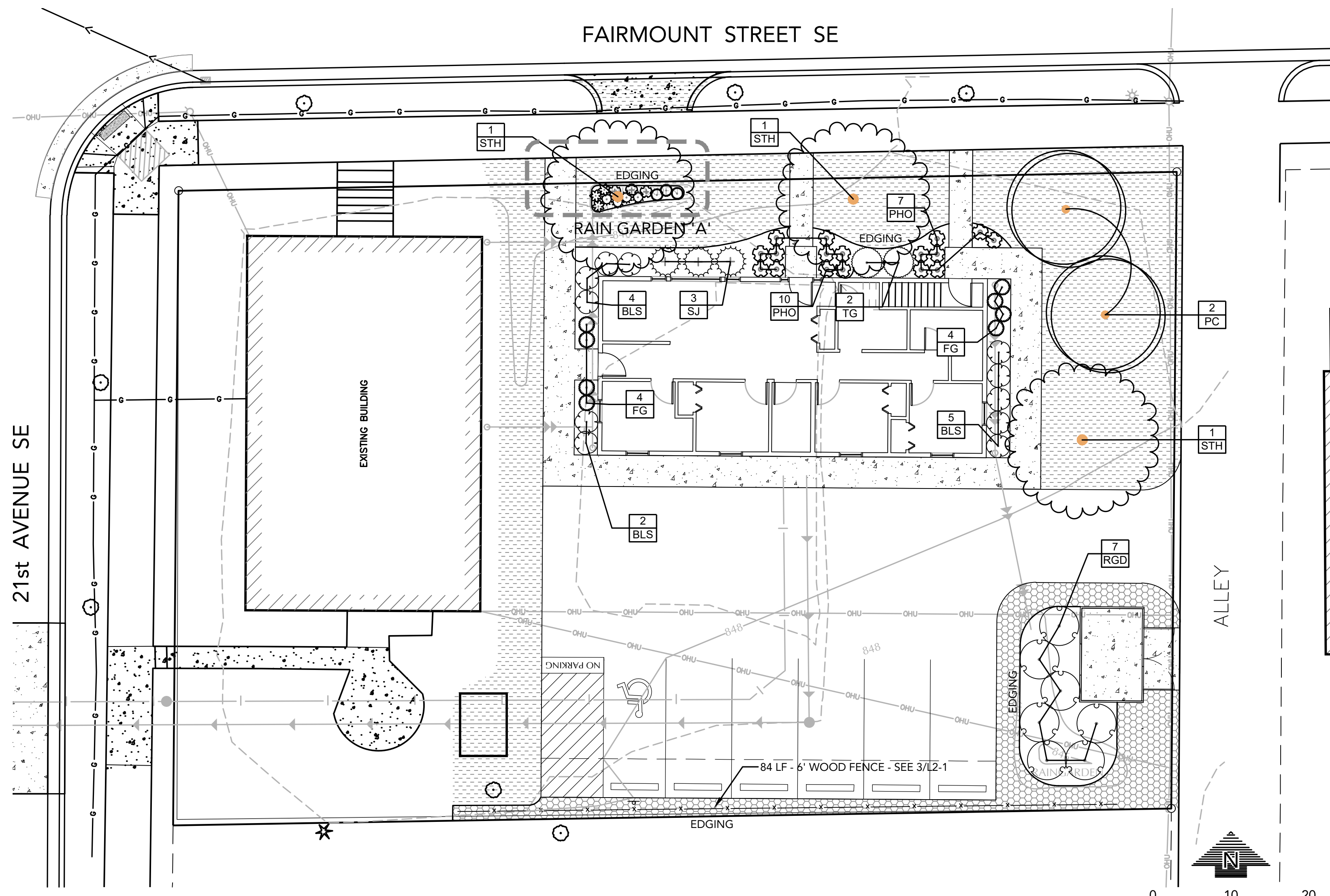


CITY OF MINNEAPOLIS
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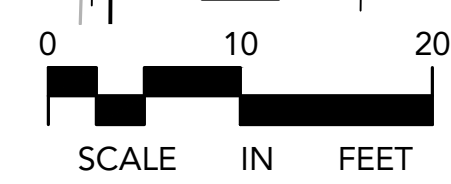
LOUCKS
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LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hennick Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

SHEET TITLE:
LANDSCAPE PLAN

PROJECT #: 20260.0
DRAWN BY: GAJ
CHECKED BY: NWE
ISSUE DATE:
PDR SUBMITTAL 00.00.00



LANDSCAPE PLAN



GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

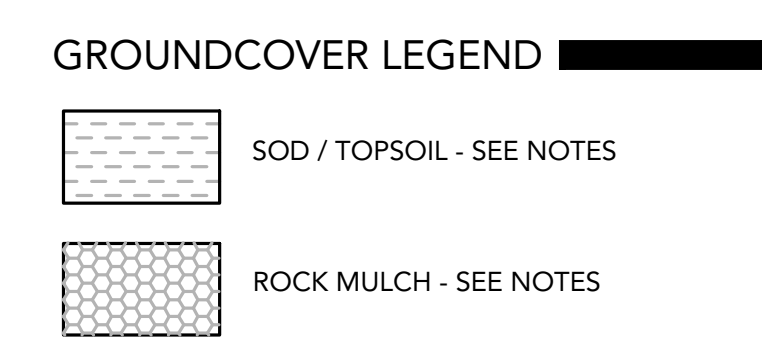
CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

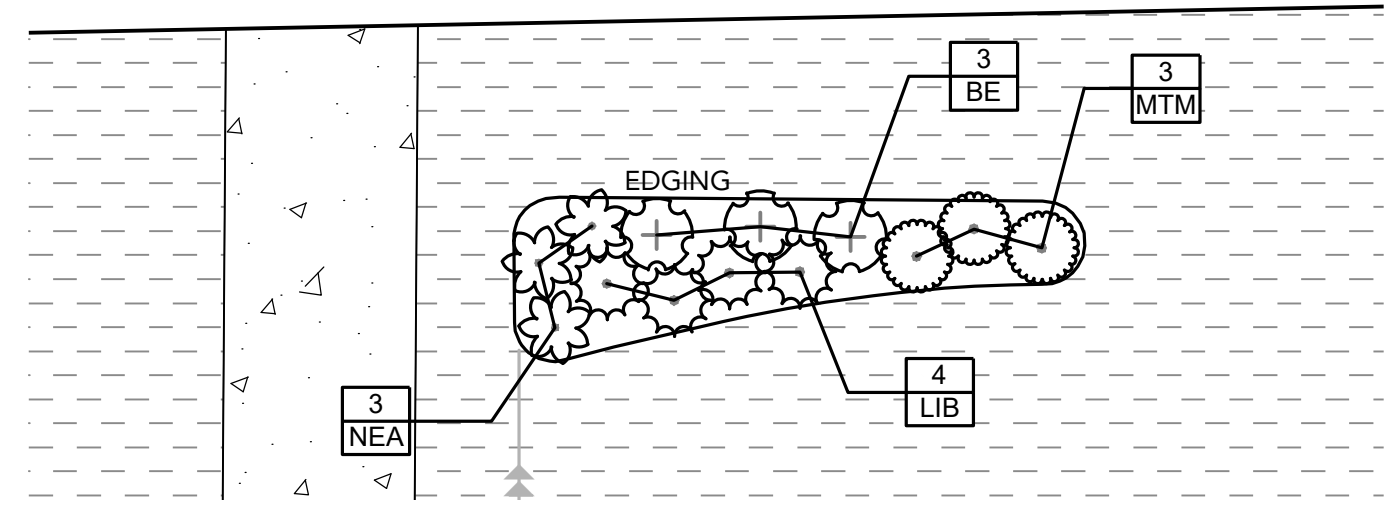
CITY OF MINNEAPOLIS NOTES

ALL WORK SHALL BE COORDINATED WITH THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT RELATED TO PLANTING, REMOVAL OF THE PROCESS FOR PROTECTION OF TREES DURING CONSTRUCTION IN THE CITY RIGHT OF WAY. PLEASE CONTACT CRAIG PINKALLA (612-499-9233) cpinkalla@minneapolis.org

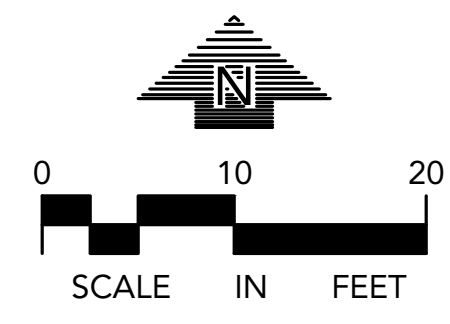


LANDSCAPE REQUIREMENTS

SITE SPACE NOT OCCUPIED BY BUILDINGS	5,795 SF
LANDSCAPE AREA REQUIRED WITHIN SITE SPACE (20% MIN)	1,159 SF
LANDSCAPE AREA PROVIDED	2,418 SF
ONE TREE PER 500 SF OF LANDSCAPED AREA	5
TREES REQUIRED	5
TOTAL TREES PROVIDED	5
ONE SHRUB PER 100 SF OF LANDSCAPED AREA	22
SHRUBS REQUIRED	23
TOTAL SHRUBS PROVIDED	23
PARKING LOT SCREENING - 6' HT SOLID FENCE	

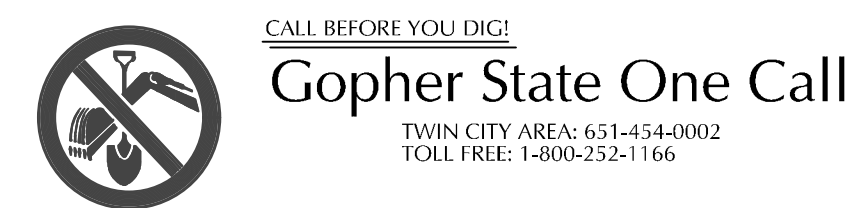


RAIN GARDEN 'A'



PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
STH	3	STREET KEEPER HONEYLOCUST	Gleditsia triacanthos 'Draves' TM	B & B	2.5" Cal
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
PC	2	PRAIRIFIRE CRABAPPLE	Malus x 'Prairifire'	B & B	2.5" Cal
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
RGD	7	RED GNOME DOGWOOD	Cornus alba sibirica 'Red Gnome'	5 gal	24" HGT
BLS	11	BIRCH-LEAF SPIREA	Spirea x betulifolia 'Tor'	5 gal	24" HGT
NEA	3	NEW ENGLAND ASTER	Symphotrichum novae-angliae	1 gal	
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
FG	9	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	
LIB	4	LITTLE BLUESTEM	Schizachyrium scoparium	1 gal	
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
SG	1	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	5 gal	18" SPRD
SJ	3	SCANDIA JUNIPER	Juniperus sabinna 'Scandia'	5 gal	
TG	2	TECHNY GLOBE ARBORVITAE	Thuja occidentalis 'Techny Globe'	5 gal	
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
PHO	17	PATRIOT HOSTA	Hosta x 'Patriot'	1 gal	
MTM	3	MOUNTAIN MINT	Pycnanthemum virginianum	1 gal	
BE	3	BLACK EYED SUSAN	Rudbeckia fulgida 'Goldstrum'	1 gal	



WARNING:

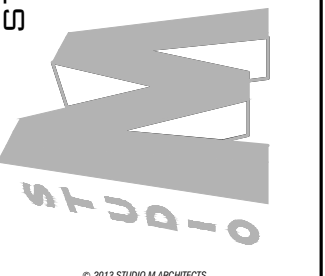
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

STUDIO M ARCHITECTS, INC.
530 NORTH 3RD STREET, SUITE 230
MINNEAPOLIS, MINNESOTA 55401
P: 612.524.5375
F: 612.844.1240
WWW.STUDIOMARCHITECTS.NET

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the law of the state of Minnesota

Signed: _____
Date: 09.10.19 reg. No. 24610



LANDSCAPE INSTALLATION

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V-CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

COMMERCIAL GRADE 5" BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ROCK MULCH WHERE BED MEETS SOD UNLESS NOTED OTHERWISE.

MULCH SHALL BE CLEAN SHREDDED HARDWOOD MULCH WITH UNIFORM PIECE SIZE. ALL ANNUAL AND PERENNIAL BEDS TO RECEIVE 3" OF MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP MULCH WITH A FIBER MAT WEED BARRIER. ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

ROCK MULCH SHALL BE 1" TO 1-1/2" GREY TRAP ROCK, 4" DEPTH, OVER A FIBER MAT WEED BARRIER

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

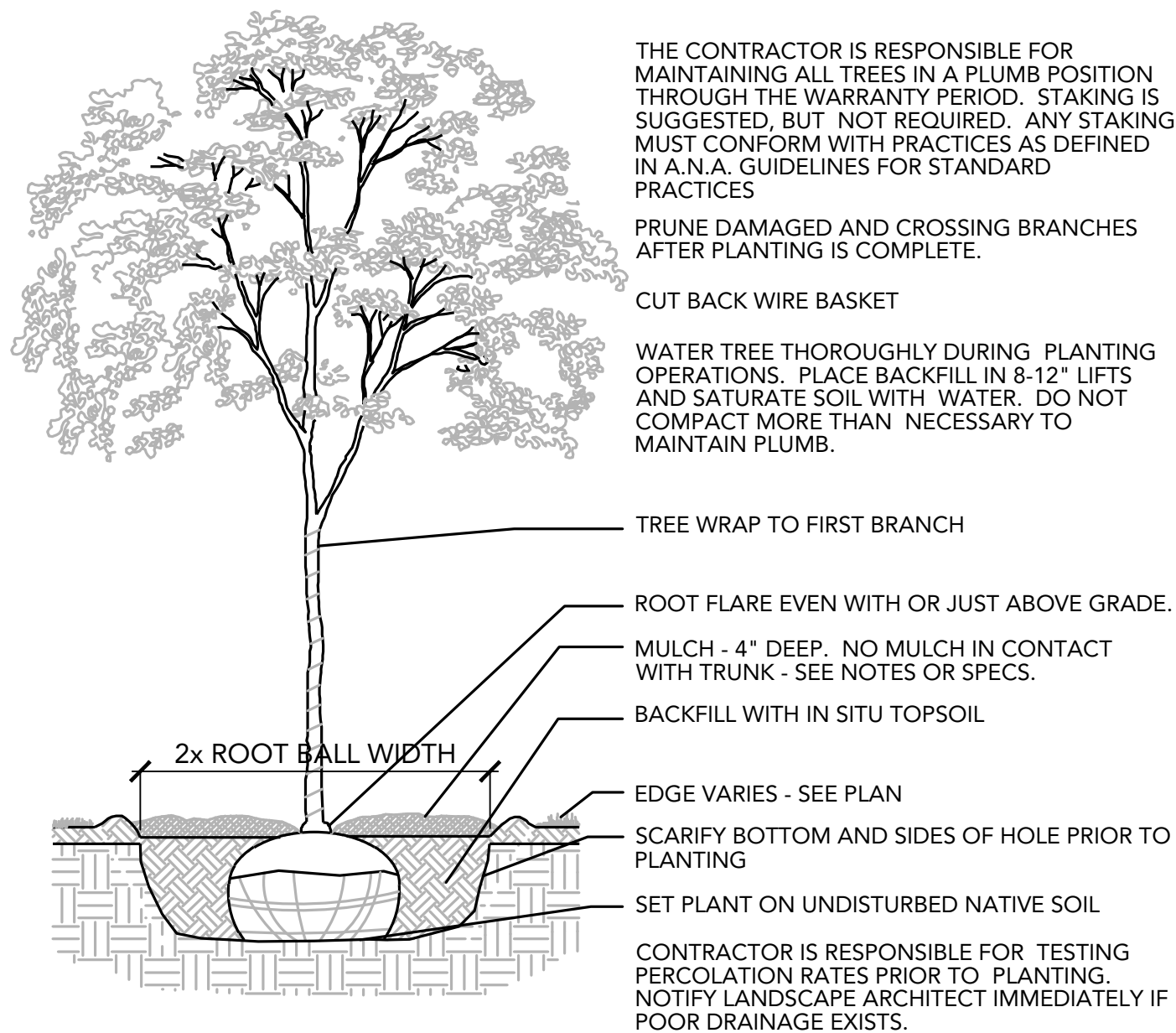
FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

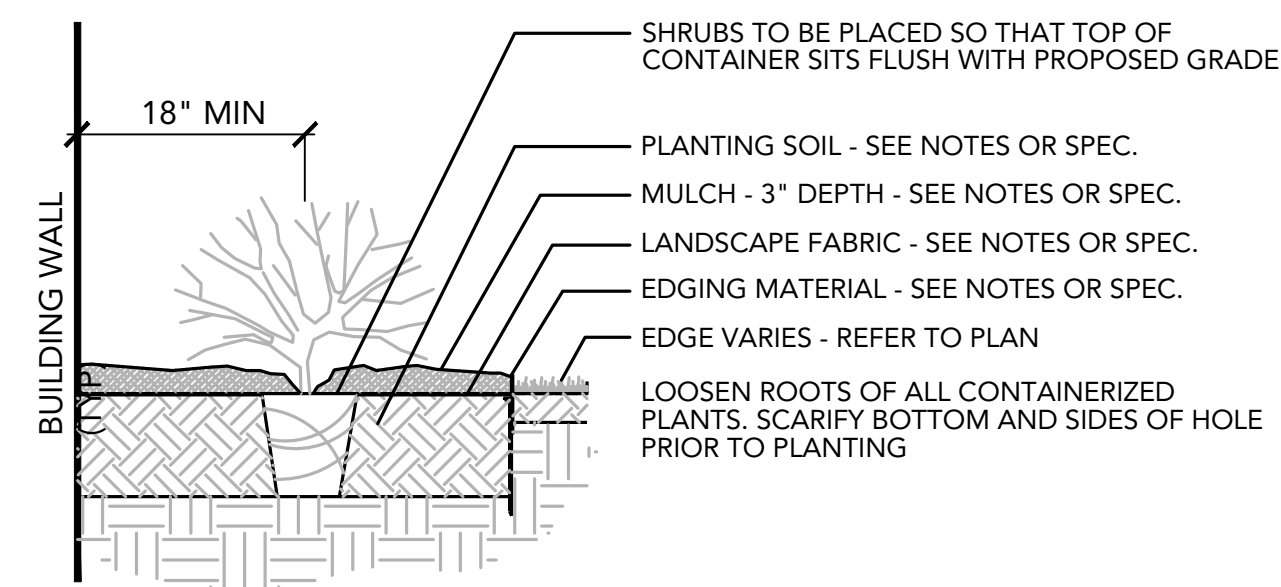
IRRIGATION / WATERING NOTES

IRRIGATION IS NOT PLANNED FOR THIS SITE. FOR THE HEALTH AND SURVIVAL OF ALL PROPOSED PLANTINGS, REGULAR WATERING OF THE PLANTINGS IS RECOMMENDED.

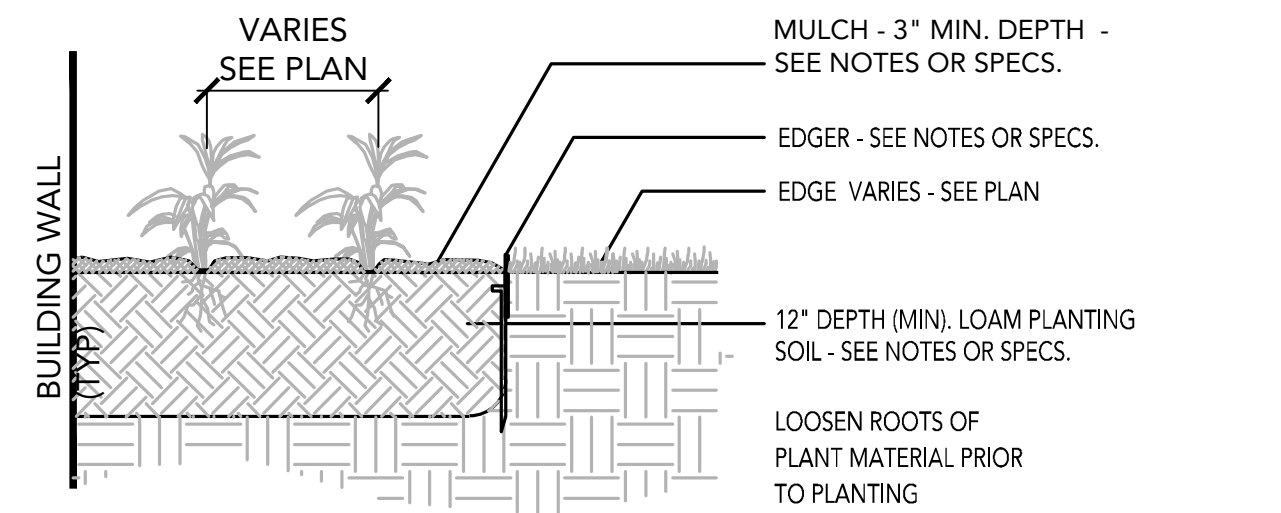
FOR ESTABLISHMENT OF PLANTINGS, THE CONTRACTOR IS TO REGULARLY WATER NEWLY INSTALLED PLANTINGS DURING PROJECT CONSTRUCTION. CONTRACTOR TO PROVIDE OWNER WITH WATERING RECOMMENDATIONS OR WATERING CONTRACT FOR THE 1 YEAR WARRANTY PERIOD.



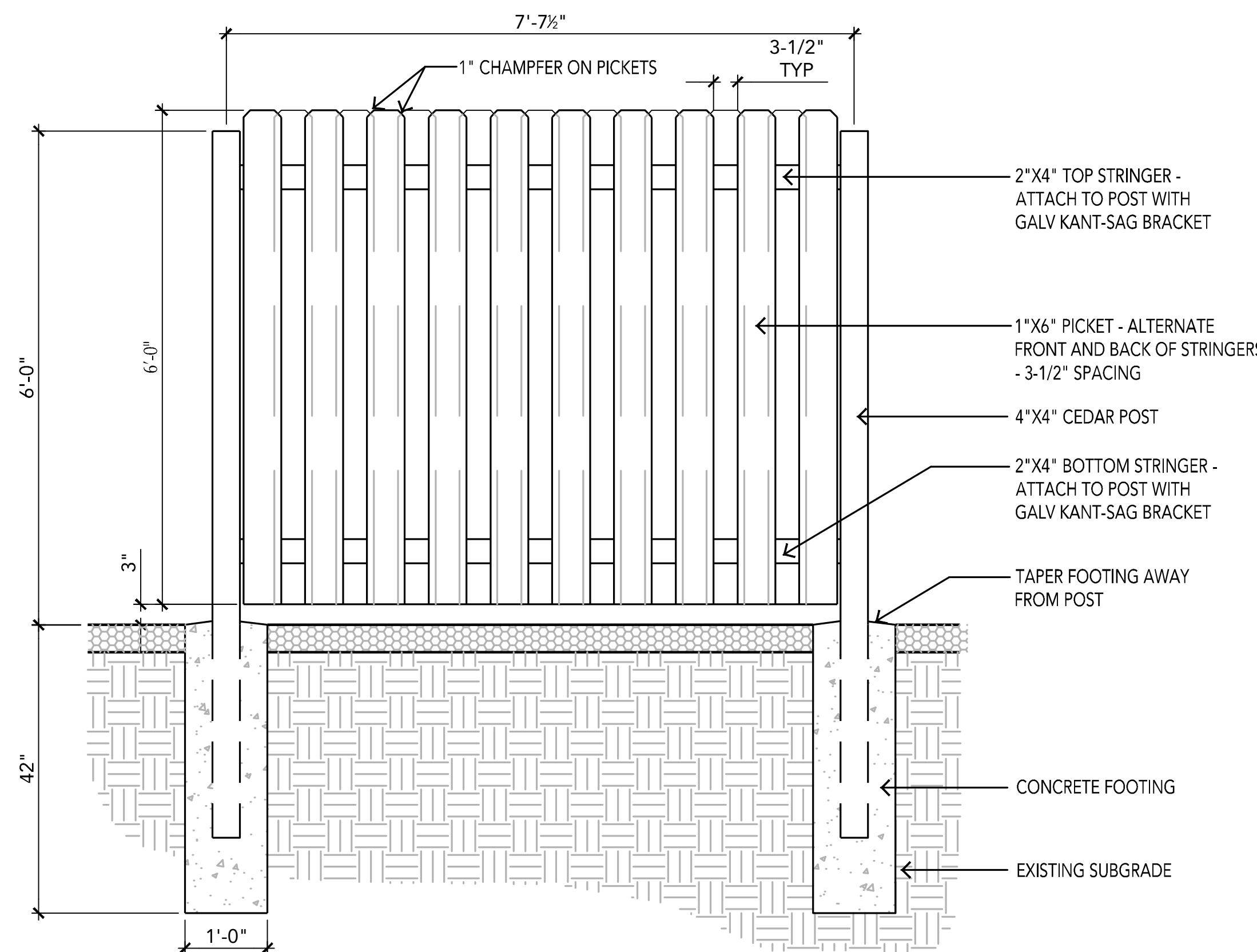
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"
Deciduous Tree.DWG



2 SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"

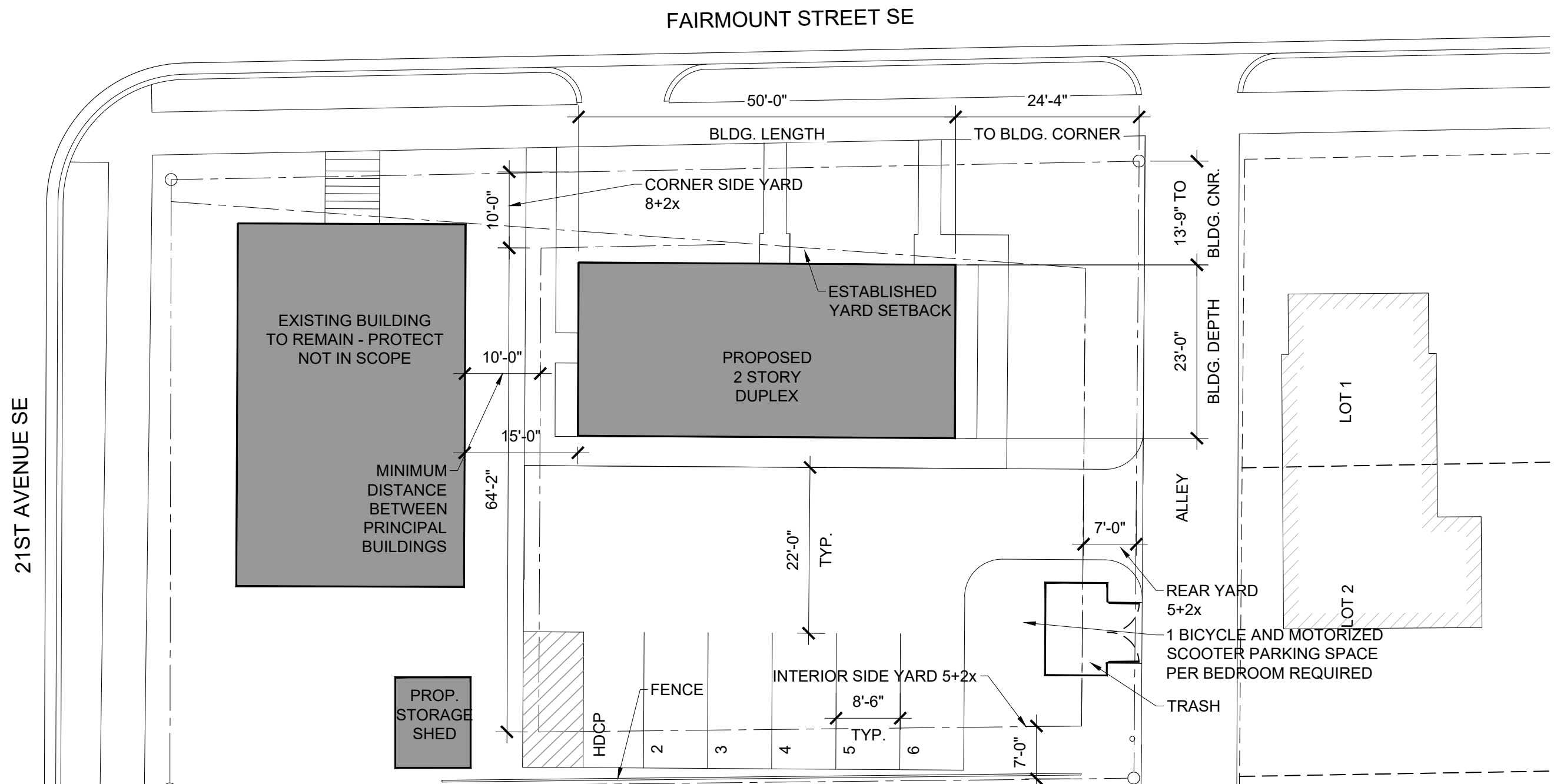


3 PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"
Perennial.DWG



- NOTES:
1. ALL WOOD TO BE CEDAR
 2. STAIN / SEALER COLOR TO BE CHOSEN BY LANDSCAPE ARCHITECT AND OWNER
 3. ALL CONNECTING HARDWARE TO BE GALVANIZED

4 6' WOOD FENCE
SCALE: 3/4" = 1'-0"



EXTERIOR SITE AREA ANALYSIS (CURRENT AND PROPOSED):

EXISTING BUILDING TO REMAIN	1,455.09 SQ FT	(13.97%)
EXISTING CONCRETE TO REMAIN	45.60 SQ FT	(0.44%)
PROPOSED BUILDING	1,150.00 SQ FT	(11.04%)
TRASH	51.10 SQ FT	(0.49%)
PARKING	2,622.77 SQ FT	(25.18%)
CONCRETE	759.85 SQ FT	(7.30%)
GREEN SPACE	4,331.14 SQ FT	(41.58%)
TOTAL	10,415.55 SQ FT	(100.00%)

PROPOSED CONCEPTUAL SITE PLAN

A1

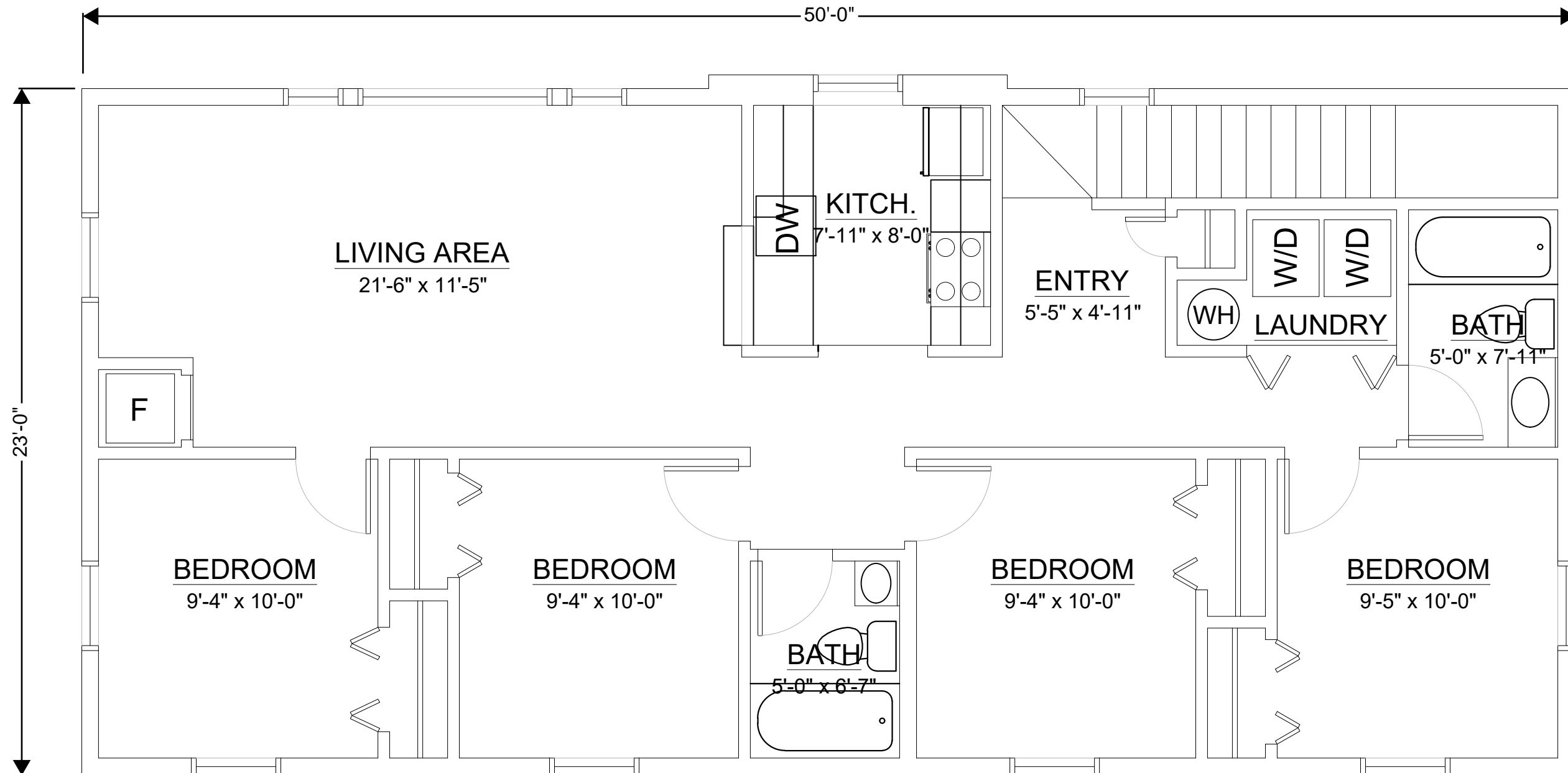




CONCEPTUAL UNIT FLOOR PLAN - LOWER LEVEL

A2 ACCESSIBLE UNIT





CONCEPTUAL UNIT FLOOR PLAN - UPPER LEVEL

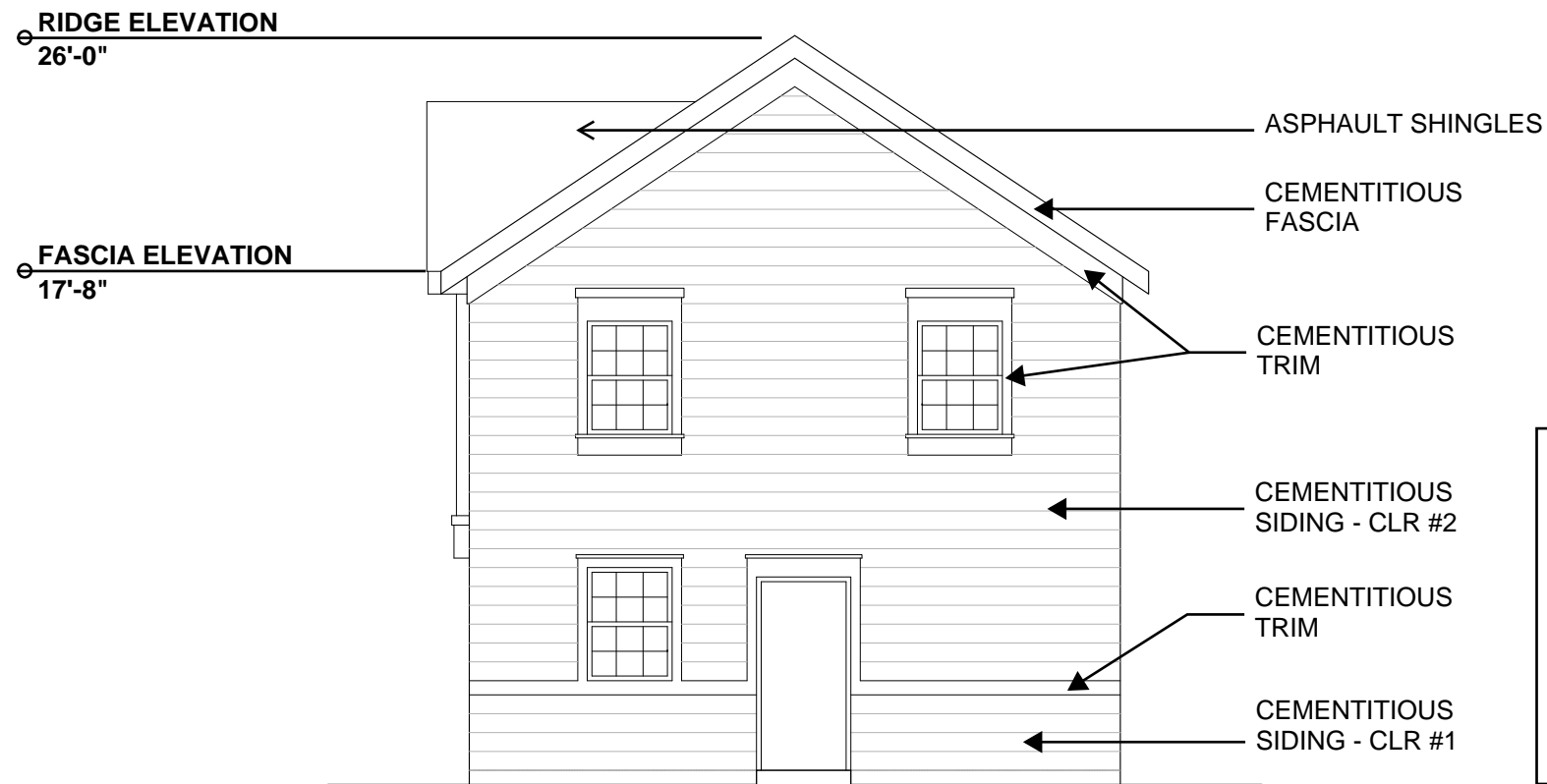
A3





EXTERIOR BUILDING MATERIAL CALCULATIONS ENTRY ELEVATION		
ASPHALT SHINGLE	397 SQ FT	(29.72%)
INSULATED GLAZING	146 SQ FT	(10.93%)
ENTRY DOOR	42 SQ FT	(3.14%)
CEMENTITIOUS LAP SIDING	524 SQ FT	(39.22%)
CEMENTITIOUS TRIM	227 SQ FT	(16.99%)
TOTAL	1,336 SQ FT	(100.00%)

ENTRY EXTERIOR ELEVATION

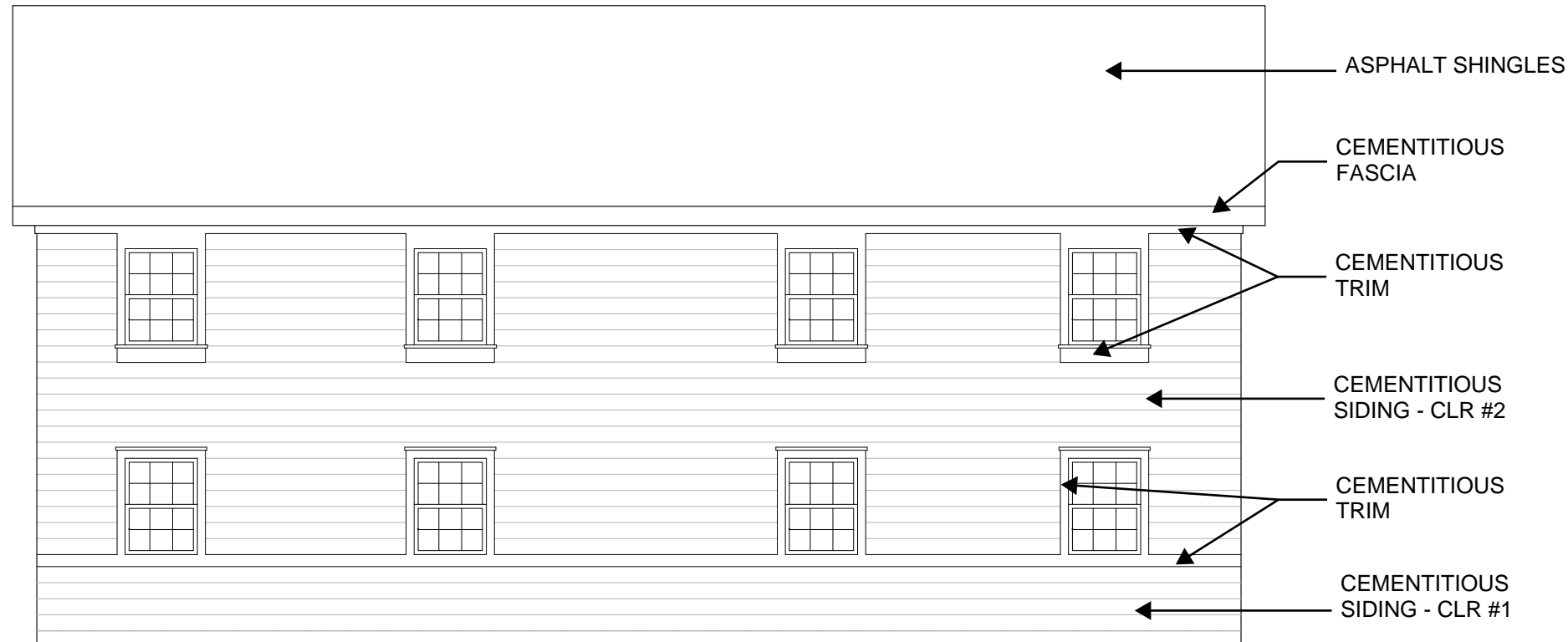


EXTERIOR BUILDING MATERIAL CALCULATIONS EAST ELEVATION		
ASPHALT SHINGLE	30 SQ FT	(5.35%)
INSULATED GLAZING	36 SQ FT	(6.42%)
ENTRY DOOR	20 SQ FT	(3.57%)
CEMENTITIOUS LAP SIDING	386 SQ FT	(68.95%)
CEMENTITIOUS TRIM	88 SQ FT	(15.71%)
TOTAL	560 SQ FT	(100.00%)

EAST EXTERIOR ELEVATION

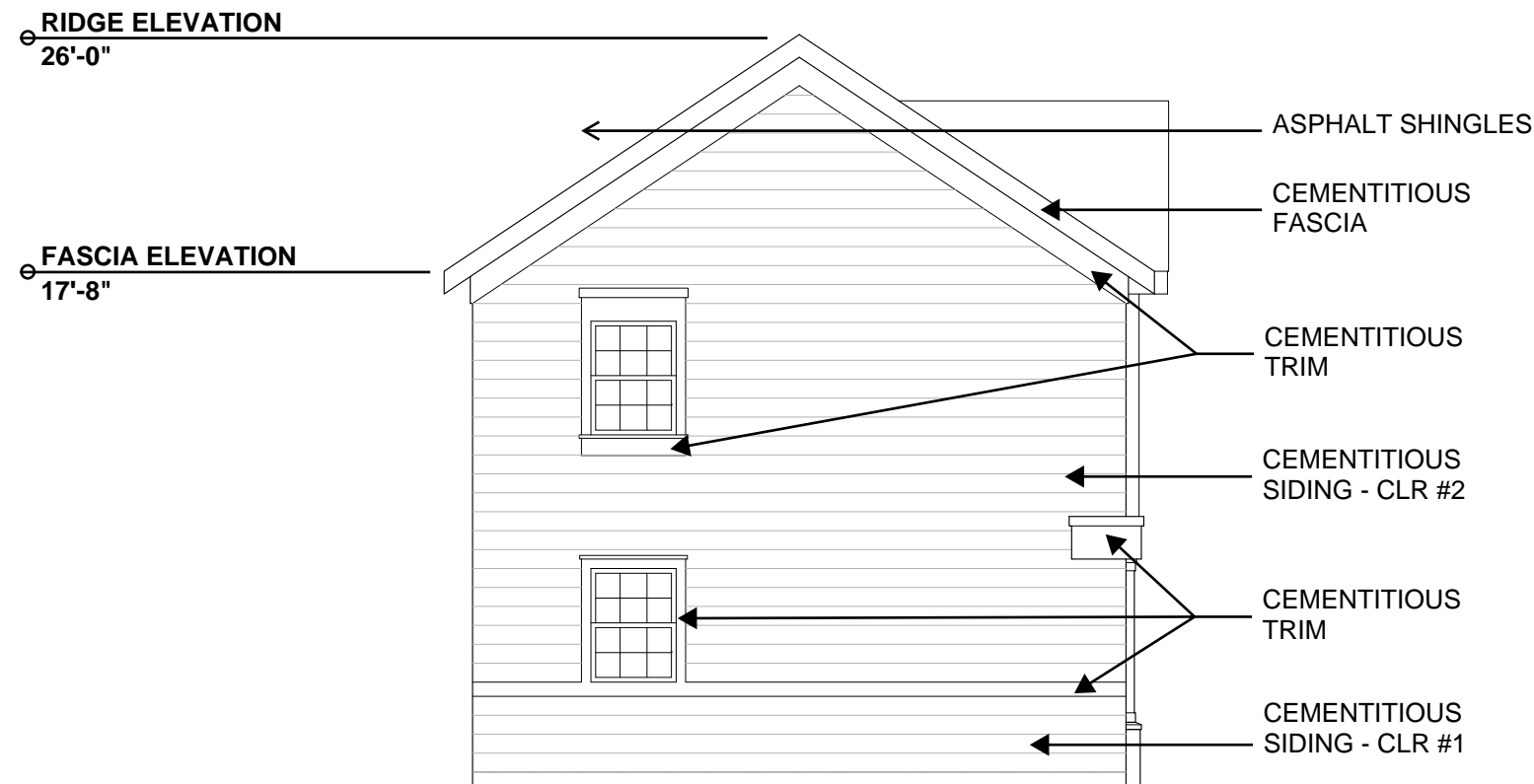
CONCEPTUAL EXTERIOR ELEVATIONS





EXTERIOR BUILDING MATERIAL CALCULATIONS SOUTH ELEVATION		
ASPHALT SHINGLE	430 SQ FT	(32.18%)
INSULATED GLAZING	96 SQ FT	(7.19%)
CEMENTITIOUS LAP SIDING	678 SQ FT	(50.75%)
CEMENTITIOUS TRIM	132 SQ FT	(9.88%)
TOTAL	1,336 SQ FT	(100.00%)

SOUTH EXTERIOR ELEVATION



EXTERIOR BUILDING MATERIAL CALCULATIONS WEST ELEVATION		
ASPHALT SHINGLE	30 SQ FT	(5.35%)
INSULATED GLAZING	24 SQ FT	(4.30%)
CEMENTITIOUS LAP SIDING	426 SQ FT	(76.07%)
CEMENTITIOUS TRIM	80 SQ FT	(14.28%)
TOTAL	560 SQ FT	(100.00%)

WEST EXTERIOR ELEVATION

CONCEPTUAL EXTERIOR ELEVATIONS

