
LAND USE APPLICATION SUMMARY

Property Location: 708 Central Avenue Northeast, 119 7th Street Southeast and 123 7th Street Southeast
Project Name: 700 Central Phase II Apartments
Prepared By: Hilary Dvorak, Principal City Planner, (612) 673-2639
Applicant: 700 Central Owner LLC
Project Contact: Griffin Jameson with Kaas Wilson Architects
Request: To construct a 71-unit, six-story residential building addition to the existing building on the site.

Required Applications:

Conditional Use Permit	To increase the height of the building from 4 stories/56 feet to 6 stories/76 feet.
Variance	To increase the Floor Area Ratio of the building from 2.7 to 3.57.
Site Plan Review	For a 71-unit, six-story residential building addition to the existing building on the site.

SITE DATA

Existing Zoning	C3A Community Activity Center District UA University Area Overlay District
Lot Area	41,649 square feet / .96 acres
Ward(s)	3
Neighborhood(s)	Marcy Holmes; adjacent to Nicollet Island/East Bank
Designated Future Land Use	Community Mixed Use
Goods and Services Corridor	Central Avenue NE, 1 st Avenue NE, Hennepin Avenue / East Hennepin Avenue
Built Form Guidance	Transit 30

Date Application Deemed Complete	December 18, 2019	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	February 16, 2020	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The site is located on the northeast corner of Central Avenue Northeast and 7th Street Southeast. The site is occupied by two buildings that were renovated in 2014 and converted into 80 dwelling units and approximately 5,400 square feet of commercial space. As part of the 2014 development, an underground parking garage was built containing 178 parking spaces. At the time, it was anticipated that a six-story building was going to be built above the parking garage but it never was.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The properties surrounding the site are predominantly zoned industrial to the north, east and west of the site. To the south, the properties are commercially zoned. The uses within the area are varied and include industrial, commercial and residential uses of varying densities. The site is located in the Marcy Holmes neighborhood.

PROJECT DESCRIPTION. This applicant is proposing to construct a 71-unit, six-story residential building addition to the existing building on the site. The proposed building addition will be constructed over an existing underground parking garage that was designed specifically for the proposed type and size of addition. This proposal was originally included as part of a master plan concept for the 700 Central development which included the renovation of the two existing buildings on the site and an underground parking garage with a six-story apartment building above (the building being proposed now).

In 2014, when the applicant first proposed the development, they were also in the process of attempting to list the two existing buildings on the site on the National Register of Historic Places. This did occur, but after the City Planning Commission approved the development. Although the intent was to execute the master plan concept concurrently, the new construction of the six-story residential building was put on hold due to adverse schedule impacts resulting from the historic approval process. With the historic tax credit restrictions set to expire, the applicant is now looking to have the six-story, 71-unit apartment building re-entitled.

RELATED APPROVALS.

Planning Case #	Application(s)	Description	Action
BZZ-2953	Rezoning, Conditional Use Permits, Variance and Site Plan Review	103-unit residential development	Approved, June 26, 2006
BZZ-3972	Conditional Use Permit, Variances and Site Plan Review	160-room hotel with ground level commercial spaces	Approved, March 31, 2008
BZZ-5246	Conditional Use Permits, Variances and Site Plan Review	Mixed-use development that included 105 dwelling units	Approved, September 19, 2011
BZZ-6467	Conditional Use Permit, Variances and Site Plan Review	To allow a new mixed-use development with a total of 156 dwelling units (179 bedrooms) and up to	Approved, April 17, 2014

		10,000 square feet of ground level commercial space	
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PUBLIC COMMENTS. No public comment letters have been received. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the height of the building from 4 stories/56 feet to 6 stories/76 feet based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The height limitation in the C3A Community Activity Center District is four stories or 56 feet, whichever is less. The building addition that the applicant is proposing to construct will be six stories or 76 feet in height. Increasing the height of the building from four stories or 56 feet to six stories or 76 feet would not be detrimental to or endanger the public health, safety, comfort or general welfare. The existing structures on the site include an eight-story or 86-foot tall building and a five-story or 70-foot tall building. The proposed building addition will be shorter than the tallest building on the site.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

Increasing the height of the building from four stories or 56 feet to six stories or 76 feet will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property. The existing structures on the site include an eight-story or 86-foot tall building and a five-story or 70-foot tall building. The proposed building addition will be shorter than the tallest building on the site.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Increasing the height of the building would have no impact on utilities, access roads or drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The additional height of the development would have no impact on the traffic congestion in the area. Measures have been provided in regard to minimizing traffic congestion from a parking perspective as the applicant would be providing adequate off-street parking for the proposed development.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed use would be consistent with the applicable guidance and policies of *Minneapolis 2040*:

Future Land Use	Guidance	Staff Comment
Community Mixed Use	Large-scale mixed use development is encouraged throughout these areas, with commercial uses fronting on major streets.	The building addition will complete a master plan for the site which was first approved in

	Commercial retail spaces are typically smaller in order to generate pedestrian activity, and are often a destination for customers coming from outside of the market area. Active uses that are accessible to the general public such as office, food service, retail, or medical establishments are required at the street level; therefore single-use residential development is not permitted. Contiguous expansion of commercial zoning is allowed.	2014. The vision then was for a new mixed-use development with a total of 156 dwelling units and up to 10,000 square feet of ground level commercial space. With the building addition, there will be a total of 151 dwelling units and approximately 5,400 square feet of ground level commercial space.
Goods and Services Corridor	Goods and Services Corridors serve two purposes: 1) To indicate where commercial uses should front in relation to properties guided for commercial future land uses, and 2) In addition to the guidance for the mixed use land use categories found in this section, Goods and Services Corridors identify where the establishment or expansion of commercial uses can be considered. Properties immediately adjacent to a Goods and Services Corridor may be considered for commercial activity, allowing for uses similar in scale and scope to the Neighborhood and Corridor Mixed Use categories.	There is approximately 5,400 square feet of existing commercial space located along Central Avenue Northeast. There are a total of two commercial tenant spaces in the building. One is occupied by Bad Waitress Restaurant (3,333 square feet) and the other is a vacant office/retail space (1,984 square feet).

Built Form Guidance	Guidance	Staff Comment
Transit 30	New and remodeled buildings in the Transit 30 district should reflect a variety of building types on both moderate and large sized lots. Upper floors of taller buildings should be set back to increase access to light and air. Building heights should be 10 to 30 stories. Building heights should be at least 10 stories in order to best take advantage of the access to transit, jobs, and goods and services provided by the Transit 30 district. Requests to exceed 30 stories will be evaluated on the basis of whether or not a taller building is a reasonable means for further achieving Comprehensive Plan goals.	The Transit 30 Built Form designation calls for building heights that are a minimum of 10 stories. The City's new comprehensive plan, Minneapolis 2040, went into effect on January 1, 2020. The new comprehensive plan contains parcel-specific guidance for Land Use and Built Form for the entire City. The Built Form map guides the scale of development for every parcel in the city, independent of the uses allowed on the site. In some cases, the current zoning code does not have a base zoning district that matches the height and density called for on the Built Form map.

		<p>Per State Law, the City has nine months to adopt official controls that eliminate conflicts between the comprehensive plan and the zoning code (MCO § 473.865). The City will address these conflicts by amending the zoning code with the adoption of Built Form Overlay districts. These overlay districts will contain performance standards that match the scale of development called for in the adopted Built Form Map. This work is currently underway and is expected to be complete by late summer 2020.</p> <p>The proposed building addition exceeds the maximum height allowed in the C3A Community Activity Center District which requires a conditional use permit to exceed, but is well below the minimum called for in Transit 30. The proposed addition is of the same height and scale that was approved in 2014. The proposed addition will be constructed over an existing underground parking garage that was designed and built in 2014 to accommodate the size and type of addition now proposed.</p>
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The following goals from *Minneapolis 2040* apply to this proposal:

Goal 6. High-quality physical environment: In 2040, Minneapolis will enjoy a high-quality and distinctive physical environment in all parts of the city.

Goal 7. History and culture: In 2040, the physical attributes of Minneapolis will reflect the city’s history and cultures.

Goal 9. Complete neighborhoods: In 2040, all Minneapolis residents will have access to employment, retail services, healthy food, parks, and other daily needs via walking, biking, and public transit.

The following policies and action steps from *Minneapolis 2040* apply to this proposal:

Policy 1. Access to Housing: Increase the supply of housing and its diversity of location and types.

- a. Allow housing to be built in all areas of the city, except in Production and Distribution areas.
- b. Allow the highest-density housing in and near Downtown.
- c. Allow multifamily housing on public transit routes, with higher densities along high-frequency routes and near METRO stations.

Policy 4. Access to Commercial Goods and Services: Improve access to goods and services via walking, biking and transit.

e. Allow for increased housing supply within and adjacent to Commercial areas.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the C3A Community Activity Center District and the UA University Area Overlay District.

Additional Standards to Increase Maximum Height

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when determining the maximum height of principal structures in commercial districts:

1. *Access to light and air of surrounding properties.*

The proposed addition would not be expected to have significant impacts on the amount of light and air that surrounding properties receive. The addition would be located 18 feet from the non-conforming residential structures to the east. The existing buildings on the site exceed the maximum allowable threshold for height in the C3A Community Activity Center District.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

There are some smaller, nonconforming residential properties located immediately east of the site, however, there are no significant adjacent public spaces and no adjacent solar energy systems. The proposed building addition would be expected to have some minimal shadowing impacts during the winter on the non-conforming residential structures to the east; however, the properties would not be continually shadowed as the shadow would rotate from north to south throughout the day as expected. The shadow studies have been attached for reference.

3. *The scale and character of surrounding uses.*

The scale and character of the buildings as well as the architectural styles of the surrounding properties in this area are varied. There are a mix of uses that surround the subject site including residential developments of different densities, office space and a variety of commercial establishments. The height of buildings in the immediate area range between one and eight stories while buildings over 20 stories in height are located three blocks to the south. The proposed building addition is compatible with the scale and character of other buildings in the area given the variation and given the specific policy guidance that is applicable for the site.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The two buildings located on the site are listed on the National Register of Historic Places. The proposed building addition will not block views of any landmark buildings, significant open spaces or water bodies. The proposed building addition will be located towards the rear of the existing buildings and would be shorter than the designated buildings.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the Floor Area Ratio of the building from 2.7 to 3.57 based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The allowed floor area ratio (FAR) in the C3A Community Activity Center District is 2.7. The proposed FAR of the building is 3.57. Given the lot size, the maximum amount of development that is allowed as of right is 112,452 square feet. The applicant is proposing to construct a building that is 148,805 square feet.

The proposed building addition is similar in scale and density to the historic buildings that were rehabilitated as part of the 2014 project. Additionally, this scale building is comparable to other developments that are nearby. As part of the 2014 entitlements, a variance request was approved to increase the FAR from 2.7 to 3.5. Practical difficulties do exist in complying with the ordinance in this specific circumstance as adopted city policies call for high density development that is unachievable without a variance given the existing zoning classification of the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The variance request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan. In general, building bulk regulations are established in order to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area. The proposed FAR of the building allows for the desired density in this location. As noted above, the newly adopted Comprehensive Plan designates the site as Transit 30 on the Built Form map. The Transit 30 Built Form designation calls for building heights that are a minimum of 10 stories. The increase in the FAR would allow for a development that is consistent with adopted city policies, specifically the Transit 30 Built Form designation and adopted policies for Goods and Services Corridors.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposed height and overall massing of the development is similar to other nearby developments. The increase in the FAR would allow for a development that is consistent with adopted city policies, specifically the Transit 30 Built Form designation and adopted policies for Goods and Services Corridors.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

Applicable Standards of Chapter 530, Site Plan Review

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of the building addition would be located four feet, four inches from the front property line along 7th Street Southeast.

- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot line includes amenities such as staircases to access the first-floor dwelling units, patios and landscaping.
- All on-site accessory parking is located to the rear or interior of the site or below grade.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line. For ADA reasons, the principal entrance to the building is oriented towards the rear of the building. However, the five walk-up dwelling units along 7th Street Southeast have their own entrances facing the street.
- All principal entrances are clearly defined and emphasized through the use of staircases and patios.

Visual interest – Meets requirements

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements – including recesses, projections, windows, and entries – to divide the building into smaller identifiable sections.
- There are no blank, uninterrupted walls exceeding 25 feet in length.

Exterior materials – Meets requirements

- The applicant is proposing brick and fiber cement as the building addition’s primary exterior materials. Each elevation would comply with the City’s durability standards for exterior materials (see Table 1). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- The building addition is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Brick (face)	100%	14%	38%	50%	33%
Glass	100%	32%	34%	13%	15%
Fiber Cement (≥ 5/8")	75%	54%	17%	37%	52%
Fiber Cement (≤ 5/8")	30%	0%	11%	0%	0%

Windows – Meets requirements

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The project is in compliance with the minimum window requirement (see Table 2).
- All windows are vertical in proportion and are evenly distributed along the building walls.

Table 2. Window Requirements for Residential Uses

	Code	Proposed

1st floor facing 7th Street Southeast	20% minimum	234 sq. ft.	27%	315 sq. ft.
2nd floor and above facing 7th Street Southeast	10% minimum	161 sq. ft.	More than 10%	
1st floor facing the on-site parking	20% minimum	234 sq. ft.	36%	420 sq. ft.
2nd floor and above facing the on-site parking	10% minimum	161 sq. ft.	More than 10%	

Ground floor active functions – Meets requirements

- The ground floor of the building addition facing 7th Street Southeast contains 100 percent active functions.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of the existing buildings on the site and of surrounding buildings.

Parking garages – Meets requirements

- There is an existing underground parking garage on the site that was constructed as part of the 2014 development.
- The proposed parking garage complies with the minimum ground floor active functions requirements.
- Above the ground floor, the parking garage does not contain more than thirty (30) percent of the linear frontage of each floor facing a public street, public sidewalk, or public pathway.
- Vehicles and internal garage lighting would be screened as viewed from the public right-of-way and nearby properties.
- The applicant is proposing exterior materials that would cover and diminish the visibility of any sloping floor.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- There is one curb cut located along 7th Street Southeast that leads to and from the site.
- There are no public alleys adjacent to the site.
- Service vehicle access does not conflict with pedestrian traffic.
- There is no maximum impervious surface requirement in the C3A Community Activity Center District. According to the materials submitted by the applicant, 93 percent of the site will be impervious, while 92 percent of the existing site is impervious.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 2,878 square feet of landscaping on site, or approximately 16 percent of the site not occupied by buildings (see Table 3). Alternative compliance is required.
- The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is seven and the applicant is proposing a total of ten trees.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 34 and the applicant is proposing 50 shrubs.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code	Proposed
Lot Area	--	41,649 sq. ft.
Building Footprint	--	23,784 sq. ft.
Remaining Lot Area	--	17,865 sq. ft.
Landscaping Required	3,432 sq. ft.	2,878 sq. ft.
Canopy Trees (1:500 sq. ft.)	7 trees	10 trees
Shrubs (1:100 sq. ft.)	34 shrubs	50 shrubs

Parking and loading landscaping and screening – Meets requirements

- The existing surface parking lot, located towards the back of the site, is screened along the north and east property lines by a six-foot tall fence.
- The corners of the existing surface parking lot are landscaped as applicable.
- The existing surface parking lot consists of 23 spaces. No parking space is more than 50 feet from an on-site deciduous tree. No tree islands are proposed.

Additional landscaping requirements – Meets requirements

- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.
- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with turf grass, native grasses, perennials, wood mulch, shrubs, and trees.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Meets requirements

- The parking lot is defined by a six-inch by six-inch continuous concrete curb.

Site context – Meets requirements

- The two buildings located on the site are listed on the National Register of Historic Places. The proposed building addition will not block views of any landmark buildings, significant open spaces or water bodies. The proposed building addition will be located towards the rear of the existing buildings and would be shorter than the designated buildings.
- There are some smaller, nonconforming residential properties located immediately east of the site, however, there are no significant adjacent public spaces and no adjacent solar energy systems. The proposed building addition would be expected to have some minimal shadowing impacts during the winter on the non-conforming residential structures to the east; however, the properties would not be continually shadowed as the shadow would rotate from north to south throughout the day as expected. The shadow studies have been attached for reference.
- The building addition has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – Meets requirements

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site and to distinguish between public and non-public spaces.
- The proposed site, landscaping and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Meets requirements

- The two existing buildings are located on the National Register of Historic Places. As part of the 2014 project, the buildings were rehabilitated.

Applicable Regulations of the Zoning Ordinance

The proposed use is permitted in the C3A Community Activity Center District.

Off-street Parking and Loading – Meets requirements

- The off-street parking requirement in the UA University Area Overlay District is .5 spaces per bedroom. There would be a total of 151 dwelling units and 163 bedrooms in the development once the addition is complete.

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Overall Minimum	Maximum Allowed	Proposed
General Retail Sales and Services	4	--	4	10	146
Restaurant, sit down	8	--	8	44	
Residential Dwellings	81	--	81	--	
	93	--	93	54	146

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
General Retail Sales and Services	3	Not less than 50%	--	19
Restaurant, sit down	3	Not less than 50%		
Residential Dwellings	81	--	Not less than 90%	192
	87	2	73	211

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Loading Spaces	Proposed
General Retail Sales and Services	Low	0	1 Small
Restaurant, sit down	Low	0	
Residential Dwellings	1 Small	1 Small	
	1 Small	1 Small	1 Small

Building Bulk and Height – Requires conditional use permit and variance

- The applicant has applied for a conditional use permit to increase the height of the building from 4 stories/56 feet to 6 stories/76 feet (see Table 7).
- The applicant has applied for a variance to increase the maximum floor area ratio from 2.7 to 3.57.

Table 7. Building Bulk and Height Requirements

	Code	Bonuses	Total	Proposed
Lot Area	--	--	--	41,649 sq. ft. / .96 acres
Gross Floor Area	--	--	--	148,805 sq. ft.
Min. Floor Area Ratio	--	--	--	3.57
Max. Floor Area Ratio	2.7	--	2.7	3.57
Max. Building Height	4 stories or 56 ft., whichever is less			6 stories or 76 ft. ft.

Lot and Residential Unit Requirements – Meets requirements

Table 8. Lot and Residential Unit Requirements Summary

	Code	Proposed
Min. Lot Area	--	41,649 sq. ft.

Min. Lot Width	--	165 ft. along Central Avenue Northeast 267 ft. along 7 th Street Southeast
Max. Impervious Surface Area	--	93%
Max. Lot Coverage	--	57%
Dwelling Units (DU)	--	71 DUs 151 total DUs after addition
Density (DU/acre)	--	157 DU/acre

Yard Requirements – Meets requirements

Table 9. Minimum Yard Requirements

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front along Central Avenue Northeast	0 ft.	--	0 ft.	0 ft.
Front along 7th Street Southeast	0 ft.	--	0 ft.	0 ft. for existing building 4'4" for proposed building
Interior Side (North)	0 ft.	--	0 ft.	0 ft.
Interior Side (East)	0 ft.	--	0 ft.	5 ft.

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- In the C3A Community Activity Center District there can be one square foot of signage for every one linear foot of primary building wall. If there is no freestanding sign or roof sign on the property there can be one-and-a-half square feet of signage for every one linear foot of primary building wall. Wall signs are limited to 180 square feet in size and projecting signs are limited to 48 square feet in size. There is no maximum height limitation for either wall signs or projecting signs. Freestanding monument signs are limited to 80 square feet in size and can be no taller than 8 feet. The zoning code limits the number of freestanding signs on a zoning lot to one.
- The applicant is proposing one new sign on the proposed building addition. The wall sign would be 80.5 square feet in size and have an overall height of 43 feet.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of Chapter 535, Regulations of General Applicability.
- No new mechanical equipment will be located on the site.
- However, the applicant is proposing to locate mechanical equipment on the rooftop of the building. Given the parapet height and the location of the mechanical equipment on the roof, the building itself should

screen it from the public street. CPED staff is recommending that the applicant provide information about the size and height of the rooftop mechanical equipment to confirm this.

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Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535, Regulations of General Applicability.
- All refuse and recycling storage containers are located within the building.

Lighting – Meets requirements with Conditions of Approval

- Proposed lighting must comply with Chapter 535, Regulations of General Applicability.
- A lighting plan showing footcandles was not submitted as part of the application materials. CPED is recommending that the final lighting plan conform to the standards of Chapter 535, Regulations of General Applicability.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535, Regulations of General Applicability.
- There is a six-foot tall fence located along the north and east property lines to screen the existing surface parking lot. The fence will remain during and after construction of the proposed building addition.

Specific Development Standards – Not applicable

- The proposed uses within the development are not subject to specific development standards Chapter 536, Specific Development Standards.

UA University Area Overlay District Standards – Meets requirements

- The proposal is in compliance with the UA University Area Overlay District Standards.

Applicable Policies of the Comprehensive Plan

The proposed zoning would be consistent with the applicable guidance and policies of *Minneapolis 2040 (2020)*:

Future Land Use	Guidance	Staff Comment
Community Mixed Use	Large-scale mixed use development is encouraged throughout these areas, with commercial uses fronting on major streets. Commercial retail spaces are typically smaller in order to generate pedestrian activity, and are often a destination for customers coming from outside of the market area. Active uses that are accessible to the general public such as office, food service, retail, or medical establishments are required at the street level; therefore single-use residential development is not permitted. Contiguous expansion of commercial zoning is allowed.	The building addition will complete a master plan for the site which was first approved in 2014. The vision then was for a new mixed-use development with a total of 156 dwelling units and up to 10,000 square feet of ground level commercial space. With the building addition, there will be a total of 151 dwelling units and approximately 5,400 square feet of ground level commercial space.

<p>Goods and Services Corridor</p>	<p>Goods and Services Corridors serve two purposes: 1) To indicate where commercial uses should front in relation to properties guided for commercial future land uses, and 2) In addition to the guidance for the mixed use land use categories found in this section, Goods and Services Corridors identify where the establishment or expansion of commercial uses can be considered. Properties immediately adjacent to a Goods and Services Corridor may be considered for commercial activity, allowing for uses similar in scale and scope to the Neighborhood and Corridor Mixed Use categories.</p>	<p>There is approximately 5,400 square feet of existing commercial space located along Central Avenue Northeast. There are a total of two commercial tenant spaces in the building. One is occupied by Bad Waitress Restaurant (3,333 square feet) and the other is a vacant office/retail space (1,984 square feet).</p>
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<p>Built Form Guidance</p>	<p>Guidance</p>	<p>Staff Comment</p>
<p>Transit 30</p>	<p>New and remodeled buildings in the Transit 30 district should reflect a variety of building types on both moderate and large sized lots. Upper floors of taller buildings should be set back to increase access to light and air. Building heights should be 10 to 30 stories. Building heights should be at least 10 stories in order to best take advantage of the access to transit, jobs, and goods and services provided by the Transit 30 district. Requests to exceed 30 stories will be evaluated on the basis of whether or not a taller building is a reasonable means for further achieving Comprehensive Plan goals.</p>	<p>The City's new comprehensive plan, Minneapolis 2040, went into effect on January 1, 2020. The new comprehensive plan contains parcel-specific guidance for Land Use and Built Form for the entire City. The Built Form map guides the scale of development for every parcel in the city, independent of the uses allowed on the site. In some cases, the current zoning code does not have a base zoning district that matches the height and density called for on the Built Form map. Per State Law, the City has nine months to adopt official controls that eliminate conflicts between the comprehensive plan and the zoning code (MCO § 473.865). The City will address these conflicts by amending the zoning code with the adoption of Built Form Overlay districts. These overlay districts will contain performance standards that match the scale of development called for in the adopted Built Form Map. This work is currently underway</p>

		<p>and is expected to be complete by late summer 2020.</p> <p>In this case, the site is designated as Transit 30 on the Built Form map which calls for a minimum height of 10 stories. The proposed building addition exceeds the maximum height allowed under the current zoning in the C3A Community Activity Center District which requires a conditional use permit to exceed. The proposed addition is of the same height and scale that was approved in 2014. The proposed addition will be constructed over an existing underground parking garage that was designed and built in 2014 to accommodate the size and type of addition now proposed.</p>
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The following policies and action steps from *Minneapolis 2040* apply to this proposal:

Policy 5. Visual Quality of New Development: Ensure a high-quality and distinctive physical environment in all parts of the city through building and site design requirements for both large and small projects.

- a. Allow and encourage a variety of architectural styles.
- c. Ensure that exterior building materials are durable, sustainable, create a lasting addition to the built environment, and contribute positively to the public realm and reflect existing context.
- d. Require that the appearance and materials of the rear and side walls of new buildings are similar to and compatible with the front of the building.
- e. Require adequate distribution of windows and architectural features in order to create visual interest.
- j. Require the screening of utilities, communication, transformers, and other service connections to buildings. Burying connections and lines is encouraged.

Policy 6. Pedestrian-Oriented Building and Site Design: Regulate land uses, building design, and site design of new development consistent with a transportation system that prioritizes walking first, followed by bicycling and transit use, and lastly motor vehicle use.

- a. Orient buildings and building entrances to the street. Encourage multiple entrances to multi-family residential buildings. The number of entrances in non-residential uses should increase in proportion to the length of the building and be located along main corridors or at the street corner.
- c. Require windows and window treatments on buildings that allow clear views into and out of the building.

- d. Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive exterior walls through provision of windows, multiple entrance doors, green walls, and architectural details.
- k. Implement and expand regulations and incentives that promote bicycling, such as the provision of secured storage for bikes near building entrances, storage lockers, and changing and shower facilities.
- n. Below grade parking is encouraged.
- o. Require above-grade parking structures to be designed with active uses along the street walls and with sufficient clearance and floor grades on all levels to allow adaptive reuse in the future.
- x. Discourage multiple curb cuts within a development for automobile passenger drop off and pick-up or any other use.

Alternative Compliance

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **General landscaping and screening.** At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 2,878 square feet of landscaping on site, or approximately 16 percent of the site not occupied by buildings (see Table 3). The footprint of the building was approved in 2014 and has been constructed. Requiring the removal of any portion of the building footprint or the surface parking would be impractical.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by 700 Central Owner LLC for the properties located at 708 Central Avenue Northeast, 119 7th Street Southeast and 123 7th Street Southeast:

A. Conditional Use Permit to increase the height of the building in the SH Shoreland Overlay District.

Recommended motion: **Approve** the conditional use permit to increase the height of the building from 4 stories/56 feet to 6 stories/76 feet, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

B. Variance to increase Floor Area Ratio.

Recommended motion: **Approve** the variance increase the Floor Area Ratio of the building from 2.7 to 3.57.

C. Site Plan Review.

Recommended motion: **Approve** the site plan review to construct a 71-unit, six-story residential building addition to the existing building on the site, subject to the following conditions:

1. All site improvements shall be completed by January 13, 2022, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The applicant shall submit the tax parcel division, combination, or lot line adjustment request form to CPED and submit proof of the filing with Hennepin County.
4. The applicant shall provide information about the size and height of the rooftop mechanical equipment to confirm that the building itself will screen it from the public street.
5. The final lighting plan shall conform to the standards of Chapter 535, Regulations of General Applicability.

ATTACHMENTS

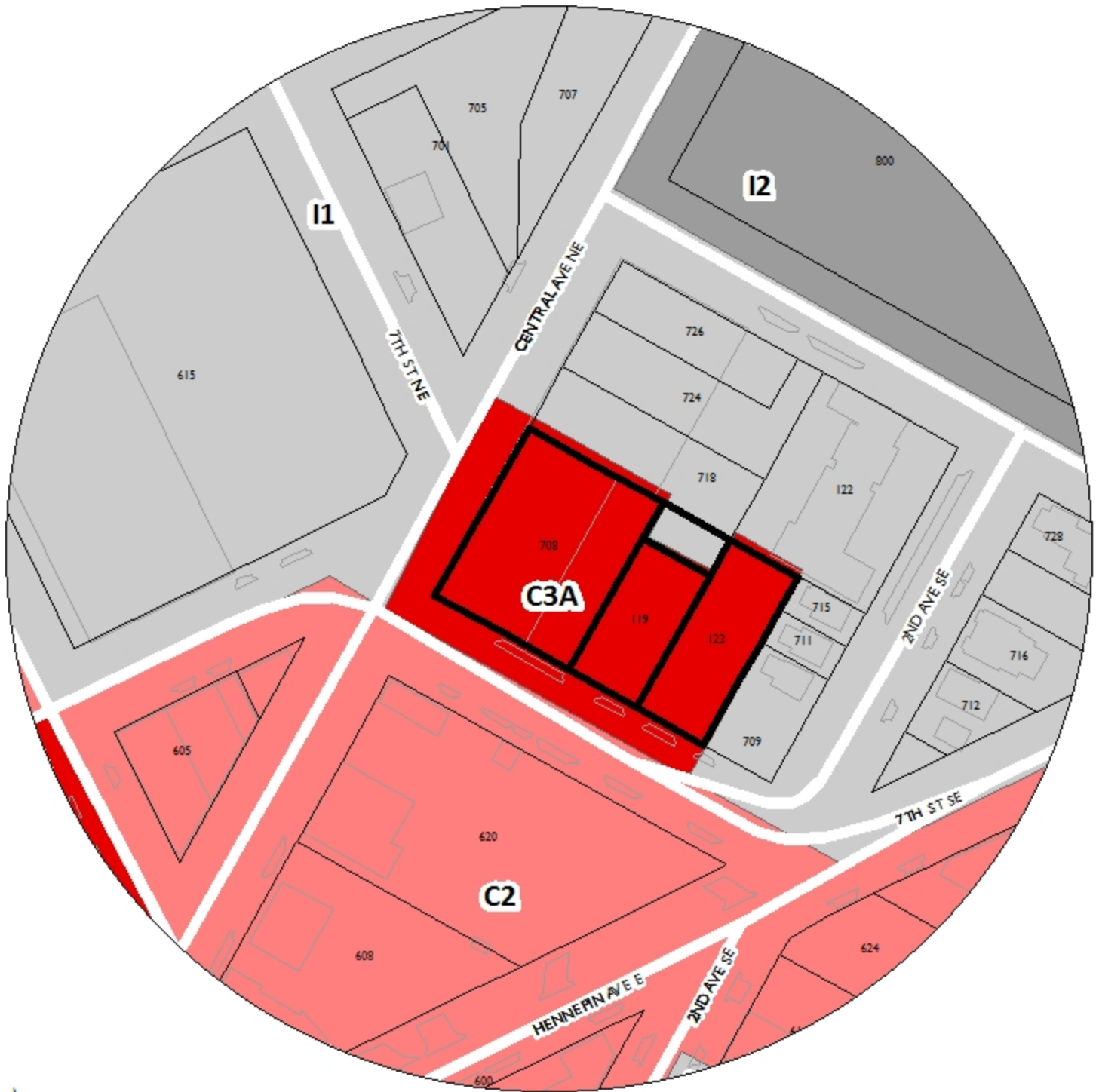
1. Zoning map
2. Written description and findings submitted by applicant
3. Architectural plans
4. Civil plans
5. Correspondence

700 Central Owner LLC

3rd

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

708 Central Ave NE, 119 7th St SE and 123 7th St SE

FILE NUMBER

PLAN10239

PROJECT NARRATIVE

Date:
December 18, 2019 (Revised)



GENERAL DESCRIPTION

This is a proposal for a **71 unit** Apartment building in North east Minneapolis. The project will be located near the intersection of Central Ave NE and 7th Street and will be constructed above an existing parking garage structure. This proposal was originally included as part of a master plan concept for the 700 Central development. The development included the renovation of two historic buildings and a below grade parking structure with a six-story apartment building above (the building being proposed now). This master plan was submitted in 2014 and entitled under the report **BZZ-6467**.

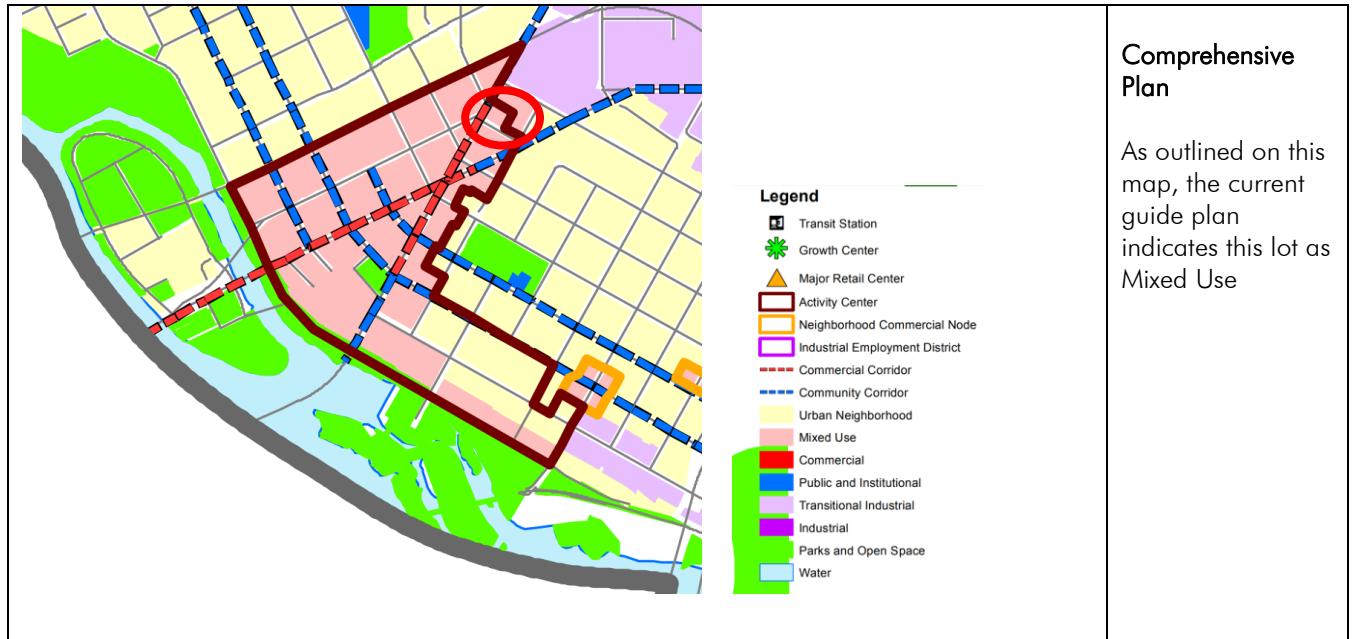
Although the intent was to execute the master plan concept concurrently, the new construction of the six-story apartment building was put on hold due to significant adverse schedule impacts resulting from the historic approval process. With the historic tax credit restrictions set to expire, the original developers are looking to have this six-story, 71-unit apartment building re-entitled.

The existing parking structure was designed specifically for this type and size of apartment building in the future. The existing structure currently sits on three parcels (**2302924110098, 2302924110099, 2302924110101**) and the applicant is looking to combine the existing tax parcels into a single tax parcel for the development. With regards to the planning classification, the new apartment building will be considered an addition to an existing building that currently contains 80 apartment units and 2 commercial retail tenants (Bad Waitress Restaurant 3,333 SF and a Vacant office/retail space 1,984 SF).

700 Central Phase II will be a six-story wood framed (Type IIIA construction type) building constructed over an existing below grade, non-combustible Type IA parking garage. The exterior materials of the building will be a mixture of brick, cast stone, glazing and cement fiber board. Please refer to **Sheets 6.0, 6.1 and 6.2** to review the exterior materials.

1. CITY COMPREHENSIVE PLAN

The current Minneapolis Plan for Sustainable Growth identifies this site as part of the Central Ave Small Area Plan, Mixed Use district and also an Activity Center. Mixed Use may include either a mix of retail, office or residential uses within a building or within a district. There are no requirements that every building be mixed use. The proposed development is for a residential building which complies with the comprehensive plan.



2. ZONING

This site is currently zoned as C3A – Community Activity Center District where Multiple-Family Dwelling uses are a permitted use per Table 548-1. The site is within the University Area Overlay District (UA), which was established to ensure high quality residential development.

Property Description

Per Exhibit A of Old Republic National Title Insurance Company Policy for Title Insurance File NO. 39850, Policy Number LX-10978596 Having an Effective Date of November 19th, 2015:

Parcel 1: Lots 4 and 5, Block 33, Mill Company’s Addition to the Town of St. Anthony Falls
Hennepin County, Minnesota
Torrens Property
Torrens Certificate No. 1414363

Parcel 1A: Together with the Benefits of That Certain Party Wall Easement Create by An Agreement Filed in Book 129 of Miscellaneous Records, Page 503, And an Agreement Filed in Book 226 of Miscellaneous Records, Page 498

Parcel 2: Lots 2 and 3, Block 33, Mill Company’s Addition to The Town of St. Anthony Falls, Hennepin County, Minnesota Except the Rear 35 Feet of Lot 3, Block 33, Mill Company’s Addition to The Town of St. Anthony Falls, Hennepin County, Minnesota. Abstract Property

Density

There are no requirements for Gross Floor Area or Minimum Lot Area in a C3A district. The Maximum Floor Area Ratio (FAR) is 2.7. The current proposed FAR is 3.57 and will require a variance request. The FAR has been calculated including the existing structures Gross Floor Area plus the new apartment building Gross Floor Area. The parking garage area has not been included in the GFA calculation.

Building Area

The current total gross building area for Phase II equals 52,386 SF for the new apartment building. This does not include the area of the existing below grade parking garage. The proposed development includes 35 studio units and 36 1-bedroom units.

The existing Phase I historic building total gross building area is 96,419 SF. This development includes 8 studio units, 60 1-bedroom units and 12 2-bedroom units for a grand total of 80 units.

Building Height

Per Section 548.350 -Building Bulk Requirements the maximum height of all principal structures shall be four (4) stories or fifty-six feet. The current proposal is for a six-story building that measures 75'-8 5/8" to the top of roof parapet. Given this height, this proposal will request a Conditional Use Permit for the additional height of the structure. This request is the same as was requested and approval in 2014.

Minimum Yard Requirements

The required minimum yard requirements in a C3A district are as follow: Front (0), Interior Side (0**). **Since the adjacent residential use with windows are more than 10 feet away from the shared interior property line, the actual interior side yard setback is zero feet and no variances are required for the existing parking structure.

Parking Requirements

Vehicular: Per the UA Overlay District Standards outlined in Section 551.1320 the minimum number of off-street parking spaces for residential use shall be one-half parking space per bedroom with an efficiency dwelling unit considered equivalent to a one bedroom unit. When evaluating the total parking count required inclusive of the previously developed historic building, there are 82 required stalls (See unit mix below). With the current design of the surface parking and parking garage, this site provides 146 stalls.

Phase I Development (Existing) – 80 Units Total – 8 Studios, 60 1-Bedrooms, 12 2-Bedrooms

Phase II Development (Proposed) – 71 Units Total - 35 Studios, 36 1-Bedrooms

3. PRELIMINARY PLAT

The Applicant is requesting an administrative tax parcel combination to combine the existing underlying tax parcels to create a single tax parcel for the development. The tax parcels to be combined are as follows: **2302924110101, 2302924110099, 2302924110098.**

4. CONDITIONAL USE PERMIT - Increase in the maximum building height from 4 stories or 56 feet to 6 stories (75'-8 5/8")

- *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare:*

The addition of a six-story apartment building in the proposed location is not detrimental to or endanger the public health, safety, comfort or general welfare. This project was initially conceived of, and approved, with the idea of being a master plan development. The existing structures on site include a four-story building with a rooftop deck and another seven-story building. The planned development of an additional six-story building both fits the height and scale of the other structures and the desire of the Marcy Holmes Neighborhood Master Plan for increased height. The proposal complements other uses in the area and the additional residential units would further strengthen the existing commercial base within the neighborhood.

- *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district:*

The proposed project is in an area that has been fully developed and the adjacent lots are zoned as Industrial use. Although there are non-conforming residential structures adjacent to this lot, they are located to the East of the proposed building which means these residences will have direct sunlight for most of the day. The only shading that will occur on these residential structures will happen in the waning afternoon hours. Additionally, the proposed building will not require acquisition of additional land, therefore, it will not impact future development possibilities on adjacent lots. From a site area perspective, the proposed apartment building will be no more impactful than the current existing parking structure.

- *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided:*

Given that the proposed apartment building will be placed over an existing developed site, the necessary provisions have already been made to allow for access to the site, utility calculations and storm water management.

- *Adequate measures have been or will be taken to minimize traffic congestion in the public streets:*

Since this project was initially conceived with the idea of being a master plan development the site plan was designed in such a way that would minimize congestion on the public streets for the existing development as well as the future Phase II development. Additionally, the location of this site is very close to multiple bus routes that encourages residents to use alternative transportation methods.

- *The conditional use is consistent with the applicable policies of the comprehensive plan:*

The current Future Use designation for this site is Mixed Use and this site is on the border of the Activity Center district. This project adds additional residential units along the Central Ave Commercial Corridor and promotes residential density in this area. Additionally, The Marcy Holmes Neighborhood Master Plan supports development of multi-family residential use properties within the "Triangle Area" as this will offer a different type and style of housing for the neighborhood. It is also important to note that one of the goals is to manage the transition from higher density areas to lower density areas and that a six-story apartment building is an appropriate example of this transition from the residential high-rises that have been constructed along the Central Ave Commercial Corridor closer to the river. This development will also embrace the concept of pedestrian friendly design which will bring more people to the streets adding to the quality and safety of the neighborhood.

- *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located:*

The conditional use of increasing maximum height conforms with all other regulations of the proposed zoning district, except for the east property line setback that will be requested as a variance.

- *Access to light and air of surrounding properties:*

The proposed building placement on site was carefully considered as part of the Phase I development of the historic buildings to provide minimal impact to the neighboring properties. As a result, the parking structure, which serves as the foundation for the Phase II building, was located adjacent to 7th Street with a minimal setback from the property line. Not only does this allow sufficient light and air to the adjacent properties, but it also complies with the city's surface parking requirements. This street activating design emphasizes a pedestrian friendly environment and provides cohesive circulation around the property.

- *Shadowing of residential properties, significant public spaces, or existing solar energy systems:*

Three residential properties are located on the east side of the proposed development. With the proposed development occurring directly to the west, shadows will only be cast upon these neighboring buildings during the late afternoon/evening. However, the shadowing that will occur will only minimally change with the proposed development as the existing historic buildings along Central Ave have contributed to the shadowing of these non-conforming buildings for many decades. There are not public spaces or existing solar systems that will be impacted by the proposed development.

- *The scale and character of surrounding uses:*

The surrounding uses are largely industrial and commercial office; however, the Central Ave Corridor has experienced substantial new development of similar high-density residential uses. The scale of the proposed building is contextually appropriate of the two historic buildings that comprise the 700 Central apartments. Additionally, the historic character of these buildings has served as a design influence for the proposed exterior design of this building.

- *Preservation of views of landmark buildings, significant open spaces or water bodies:*

There are no landmark buildings, significant open spaces, or bodies of water in the immediate area that will be affected by the proposed project.

5. VARIANCES –

- Request #01 – To increase the allowed density by increase the FAR from 2.7 to 3.57
 - *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The proposed new apartment building is similar in scale and density to the historic buildings that were rehabilitated as part of Phase I. Additionally, this scale building is comparable to other apartment developments that are also in this neighborhood. When the FAR is calculated it must include the existing historic buildings as well since the new apartment building is considered an addition to the existing building. As part of the 2014 entitlements, a variance request was requested and approved to increase the FAR from 2.7 to 3.5. The overall FAR marginally increases to 3.57 with the new apartment building, however, this specific area has been highlighted in the University Overlay that encourages high density.

- *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The intended use of this building falls within the permitted uses of the zoning district and creates additional living options to residents of this neighborhood, consistent with the UA district guidelines. By permitting additional density on this site, the neighborhood streetscape and retailers benefit from the increase in pedestrian activity.

- *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties*

The small increase from 2.7 to 3.57 will not be injurious to other properties in the vicinity including the Phase I historic developments. The size and scale of the new apartment building was carefully considered as part of the master plan concept so that the historic building and the new apartment building felt similar in scale and materials in an effort to make it a harmonious site with buildings of varying character. Additionally, the development brings additionally residents to the neighborhood leading to more eyes on the street making for a safer environment.

6. EXTERIOR MATERIALS

The exterior cladding materials shall comply with the city of Minneapolis Design Standards and applicable material percentages. Please refer to **Sheets 6.0, 6.1 and 6.2** to see a breakdown of the proposed materials for the project. The project will incorporate brick, cast stone, glass, Hardie Reveal CFB panel, and CFB lap siding.

7. SIGNAGE

The maximum area per sign in this district is 180 SF for an attached sign. The proposed signage area as shown on **Sheets 6.0** is 80.5 SF.

GENERAL PROJECT DESCRIPTION

1. EXISTING LAND USE

The current site contains two historic apartment buildings as well as a below grade parking structure that was designed and built as the foundation for a six-story wood frame building.

2. DEVELOPMENT METHOD

Project will be codeveloped by Bader Development and Nolan Properties Group and managed by Steven Scott Management.

3. LEGAL INSTRUMENTS

The Applicant is including with this application a request for an administrative tax parcel combination to combine the existing underlying tax parcels to create a single tax parcel for the development. The tax parcels to be combined are as follows: **2302924110101, 2302924110099, 2302924110098.**

4. LIGHTING

A site lighting plan will be submitted to the city at a later date. There are existing site light fixtures that were part of the original 700 Central development that will remain. There will be additional building mounted light fixtures that will be part of the proposed new development that will be downcast and shielded light fixtures.

5. STORM WATER CALCS

See attached Civil Engineering Plans for Stormwater management design

6. WATERSHED DISTRICT

Not applicable.

7. GEOTECHNICAL REPORT

Not applicable as no foundation work or excavation is required as part of this proposed development.

700 Central Phase II

119 7th Street SE, Minneapolis, MN 55414
12/18/19

DEVELOPER
Bader/Nolan Development

ARCHITECT
Kaas Wilson Architects



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PARKING SCHEDULE
EXISTING PARKING TOTAL: 170
PHASE 1 TEMPORARY SURFACE SPACES REMOVED: 24 PARKING GARAGE STALLS REMOVED FOR TRASH ROOM: 2
PARKING GRAND TOTAL: 146

BIKE PARKING

DERO BIKE WALL RACK TYPICAL AT ALL STANDARD AND COMPACT STALLS IN EXISTING PARKING STRUCTURE - 96 DOUBLE BIKE RACKS PROVIDED (192 TOTAL SPACES)

DERO POST MOUNTED BIKE STALLS @ SITE - 19 EXISTING STALLS

TOTAL SITE: 211

700 CENTRAL PHASE II - UNIT MIX (PROPOSED)

UNIT MIX			
Name	Count	Unit Gross Area	
		Main Floor	%
1 BR			
Unit A2	5	697 ft ²	7%
Unit A3	25	668 ft ²	35%
Unit A4	6	768 ft ²	8%
Studio			
Unit S1	29	509 ft ²	41%
Unit S2	6	547 ft ²	8%
Grand total	71		

700 CENTRAL PHASE I - UNIT MIX (EXISTING DEVELOPMENT)

STUDIO UNITS - 8
1-BEDROOM UNITS - 60
2-BEDROOM UNITS - 12

GRAND TOTAL: 80

DEVELOPMENT SUMMARY

ZONING:
COMMUNITY ACTIVITY CENTER DISTRICT (C3A) WITH UNIVERSITY AREA OVERLAY DISTRICT (UA)
MAX HEIGHT: 4 STORIES / 56 FEET
MAX F.A.R.: 2.7

SITE:
41,649 S.F. (.95 ACRES)
F.A.R.: 52,386 (NEW) + 96,419 (EXISTING) SF / 41,649 SF = **3.57**

CONSTRUCTION:
FIVE STORIES TYPE III-A (WOOD) OVER THREE STORIES TYPE-1A (POST-TENSION CONCRETE-TWO STORIES BELOW GRADE)
CONSTRUCTION -

GROSS AREA

Level	Area
Level 6	8,816 ft ²
Level 5	8,816 ft ²
Level 4	8,816 ft ²
Level 3	8,816 ft ²
Level 2	8,816 ft ²
Level 1	8,308 ft ²
Grand total	52,386 ft ²

- 1 700 CENTRAL PHASE 1
- 2 701 CENTRAL APARTMENTS
- 3 ELECTRIC MACHINERY CO
- 4 HOLIDAY GAS STATION & WHITE CASTLE
- 5 OTTER'S SALOON
- 6 THE BANKS BUILDING COMMERCIAL
- 7 DENNY KEMP SALON SPA
- 8 RED 20 APARTMENTS
- 9 COMMUNITY PATIO







VIEW FROM CENTRAL AVE & 6TH ST NE



VIEW FROM CENTRAL AVE & 1ST AVE NE



VIEW FROM CENTRAL AVE & SE 7TH ST



VIEW FROM CENTRAL AVE BRIDGE



VIEW FROM 7TH ST NE



VIEW FROM 7TH ST NE & CENTRAL AVE



VIEW FROM 7TH ST NE & HENNEPIN AVE



VIEW FROM HENNEPIN AVE



VIEW FROM SE 8TH ST & SE 2ND AVE



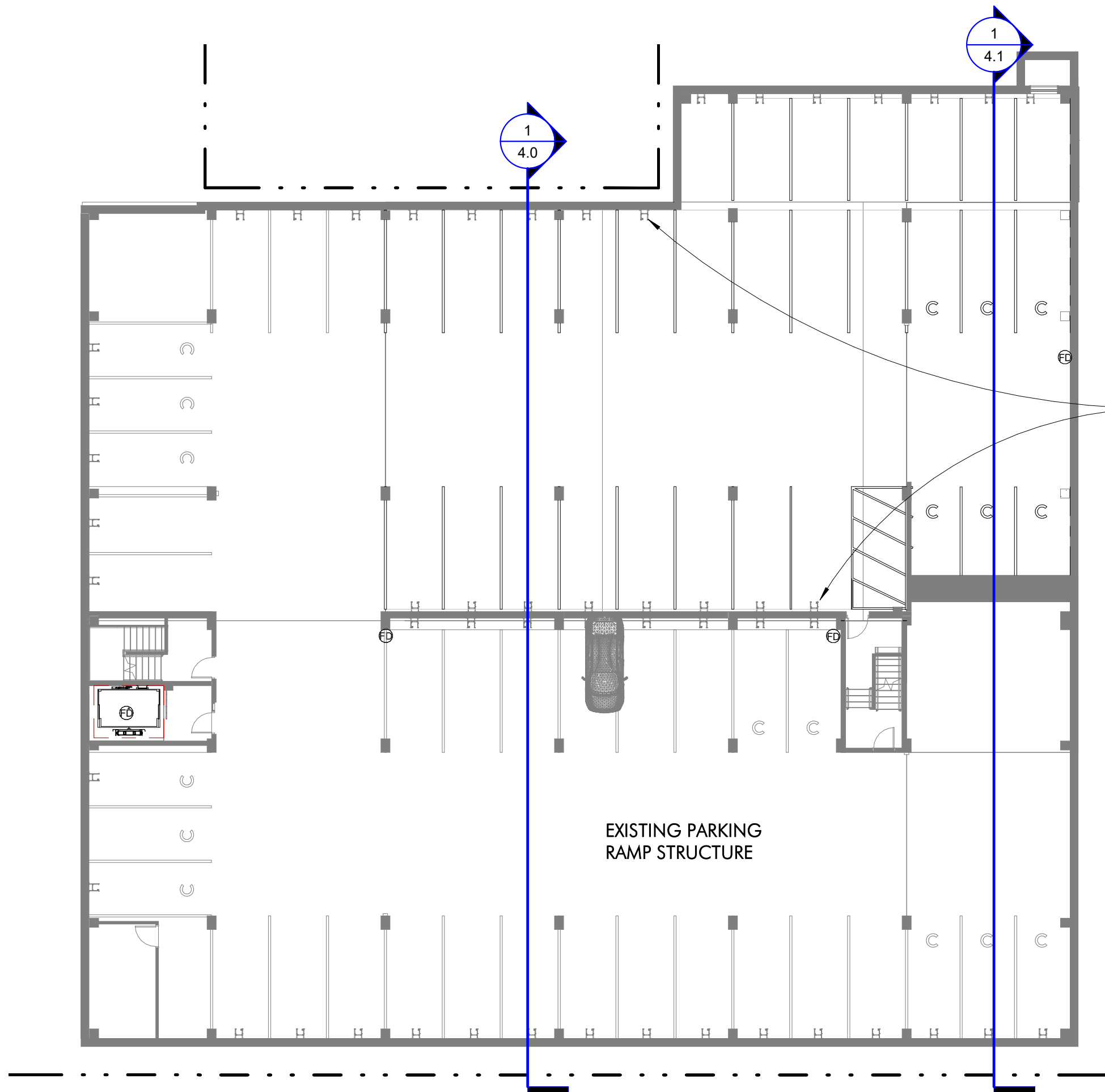
VIEW FROM SE 8TH ST & CENTRAL AVE



VIEW FROM SE 8TH ST



SCALE - 1" = 30'-0"

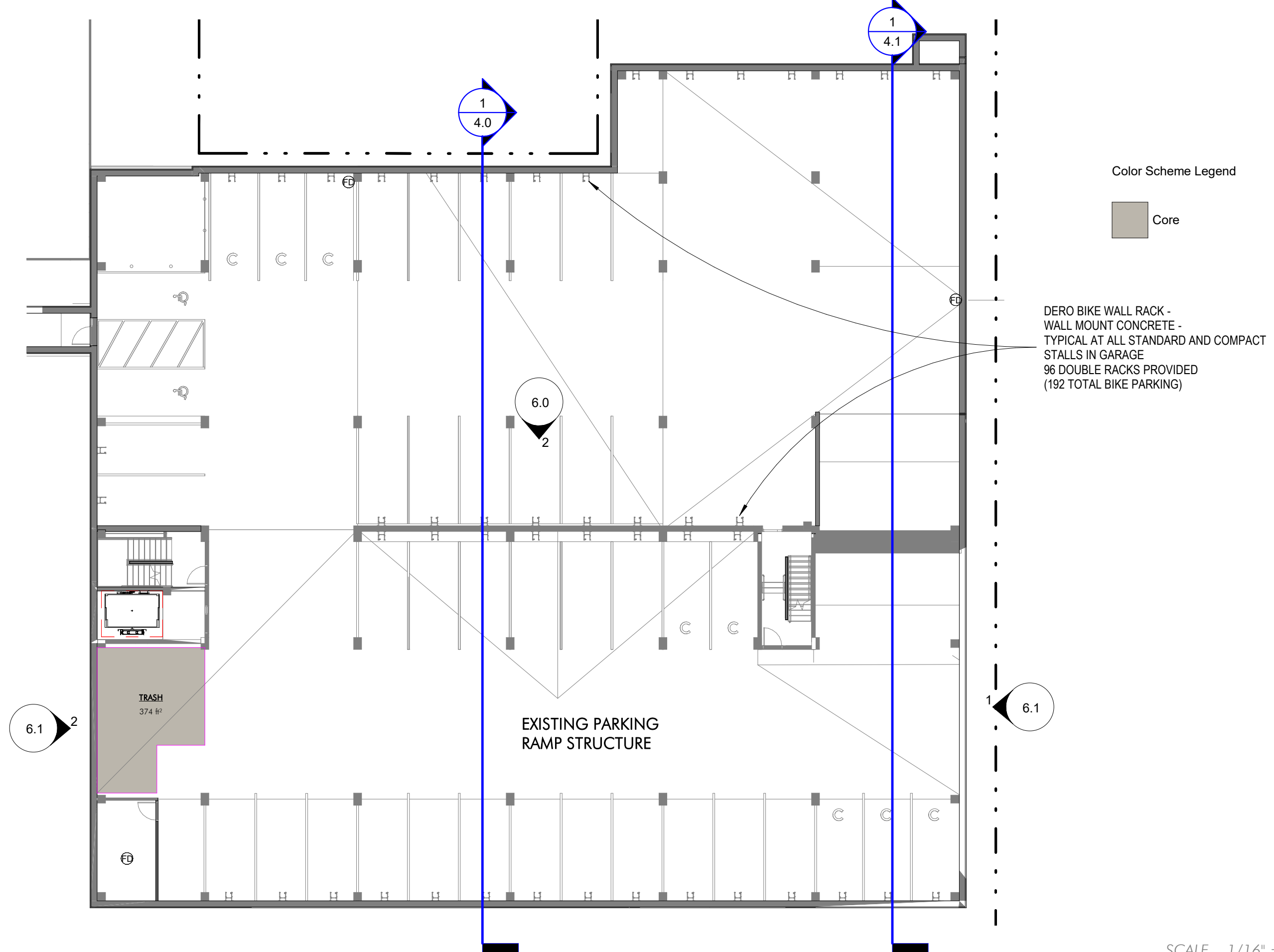


DERO BIKE WALL RACK -
 WALL MOUNT CONCRETE -
 TYPICAL AT ALL STANDARD AND COMPACT
 STALLS IN GARAGE
 96 DOUBLE RACKS PROVIDED
 (192 TOTAL BIKE PARKING)

EXISTING PARKING
 RAMP STRUCTURE



SCALE - 1/16" = 1'-0"



Color Scheme Legend



DERO BIKE WALL RACK -
WALL MOUNT CONCRETE -
TYPICAL AT ALL STANDARD AND COMPACT
STALLS IN GARAGE
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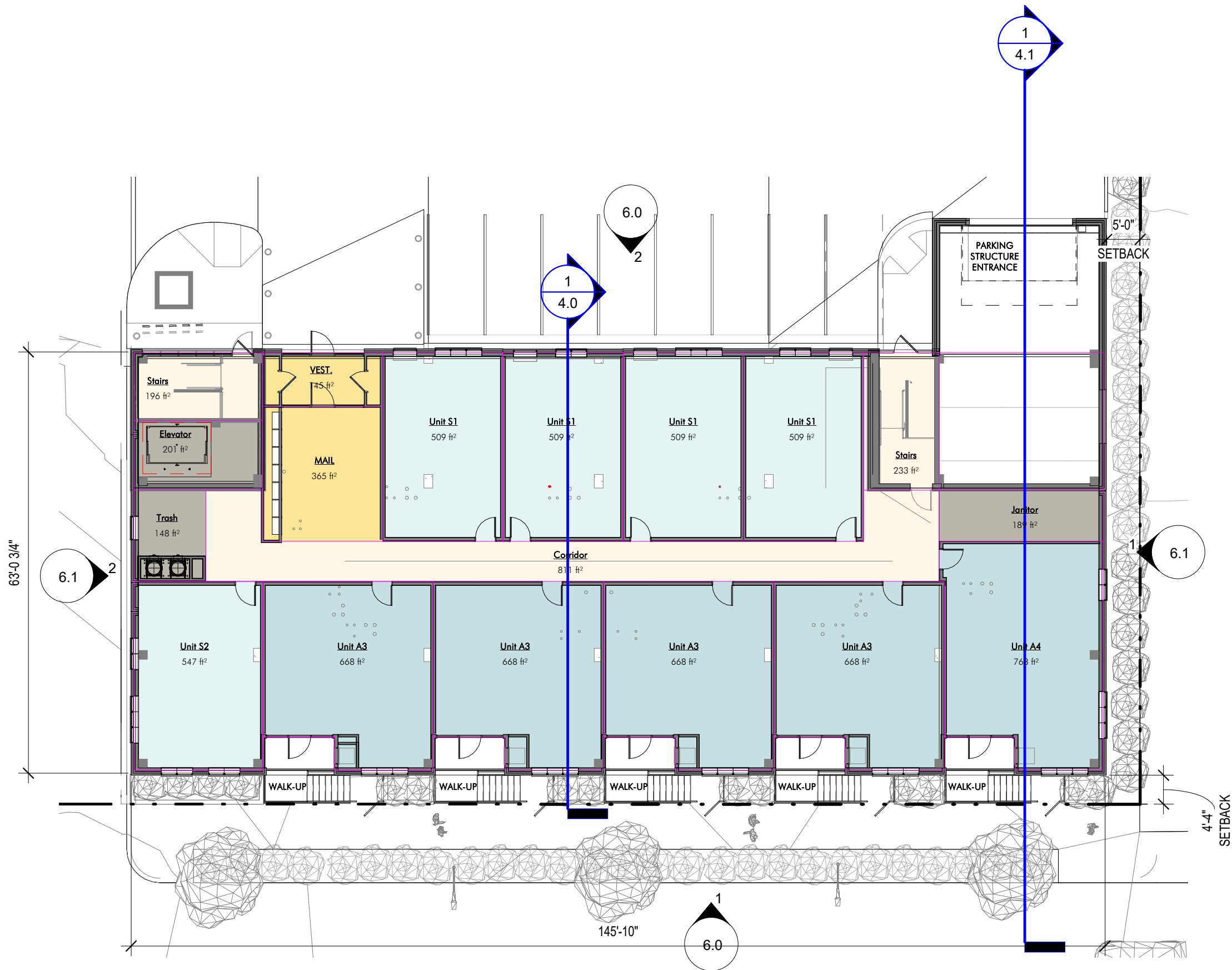
EXISTING PARKING
RAMP STRUCTURE

TRASH
374 SF

SCALE - 1/16" = 1'-0"

FLOOR PLAN - LEVEL -1

700 Central Phase II



Color Scheme Legend

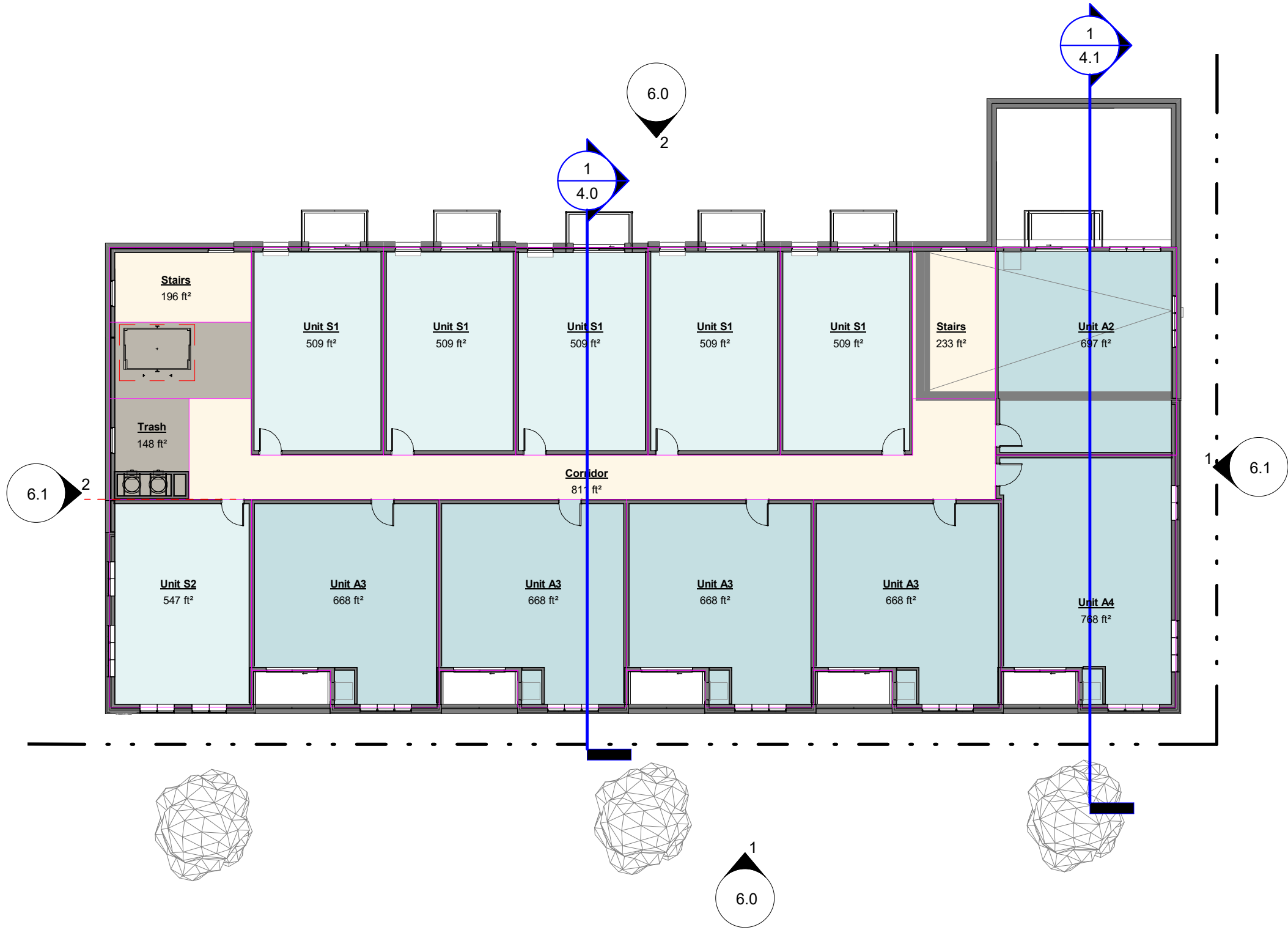
- 1BR
- Circulation
- Common Area
- Core
- Studio

UNIT MIX			
Name	Count	Unit Gross Area	%
		Main Floor	
1BR			
Unit A2	5	697 ft ²	7%
Unit A3	25	668 ft ²	35%
Unit A4	6	768 ft ²	8%
Studio			
Unit S1	29	509 ft ²	41%
Unit S2	6	547 ft ²	8%
Grand total	71		

SCALE - 1/16" = 1'-0"

Color Scheme Legend

- 1BR
- Circulation
- Core
- Studio



UNIT MIX

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		Main Floor	%
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SCALE - 1/16" = 1'-0"

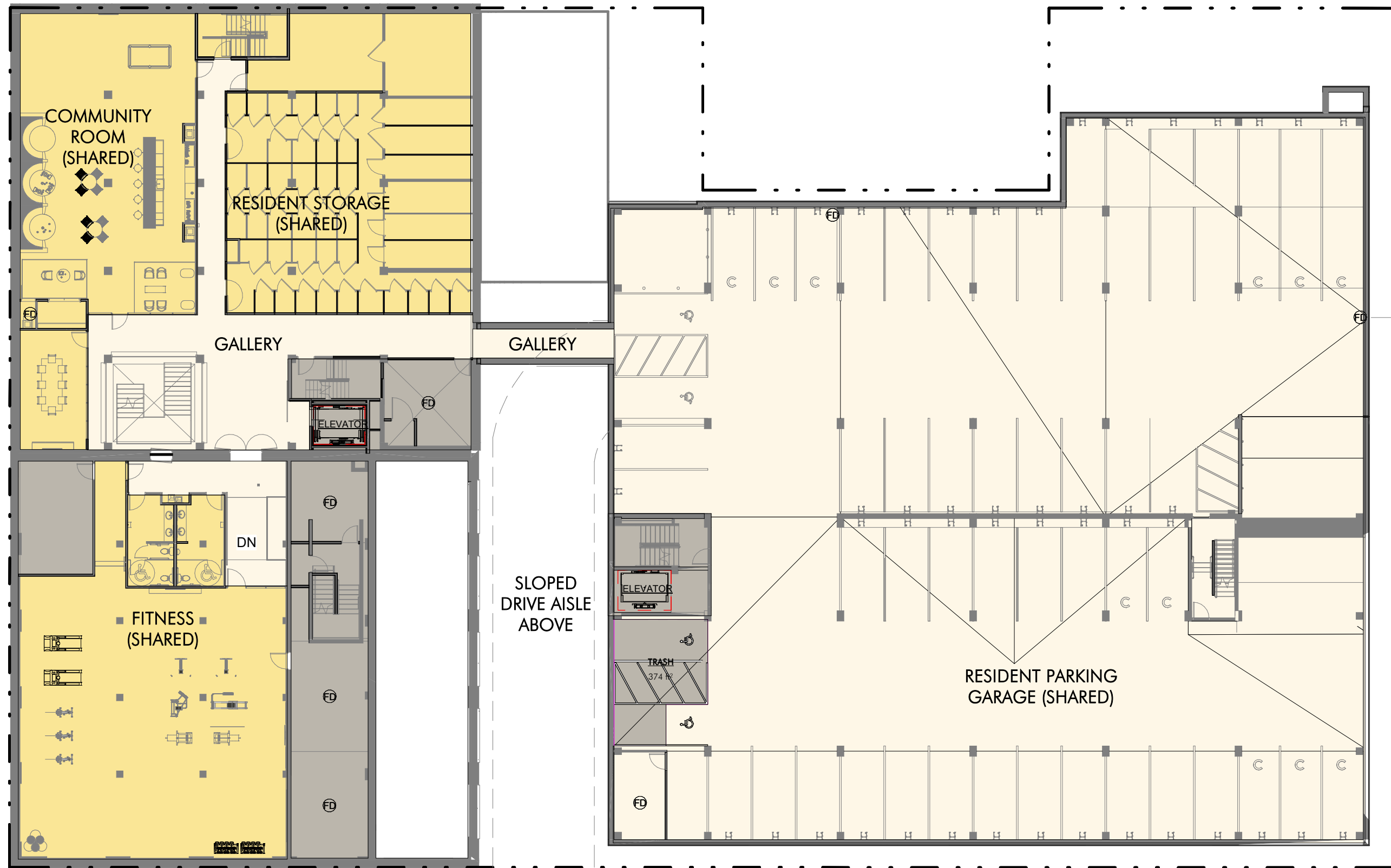


Color Scheme Legend

- 1BR
- Circulation
- Core
- Studio

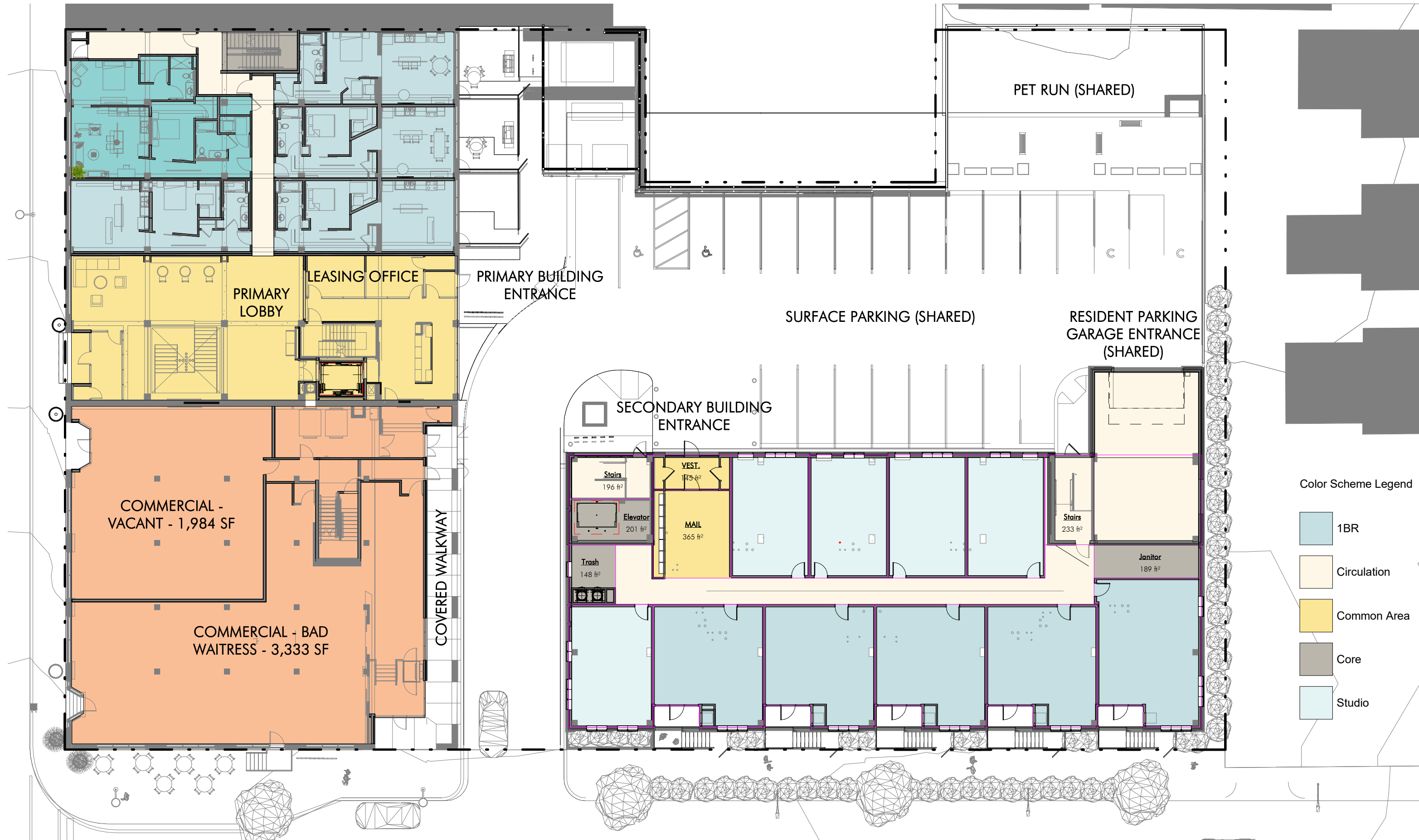
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Grand total	71		

SCALE - 1/16" = 1'-0"



Color Scheme Legend





COMMERCIAL -
VACANT - 1,984 SF

COMMERCIAL - BAD
WAITRESS - 3,333 SF

PRIMARY
LOBBY

LEASING OFFICE

PRIMARY BUILDING
ENTRANCE

SECONDARY BUILDING
ENTRANCE

SURFACE PARKING (SHARED)

RESIDENT PARKING
GARAGE ENTRANCE
(SHARED)

COVERED WALKWAY

Stairs
196 ft²

Elevator
201 ft²

Trash
148 ft²

VEST.
145 ft²

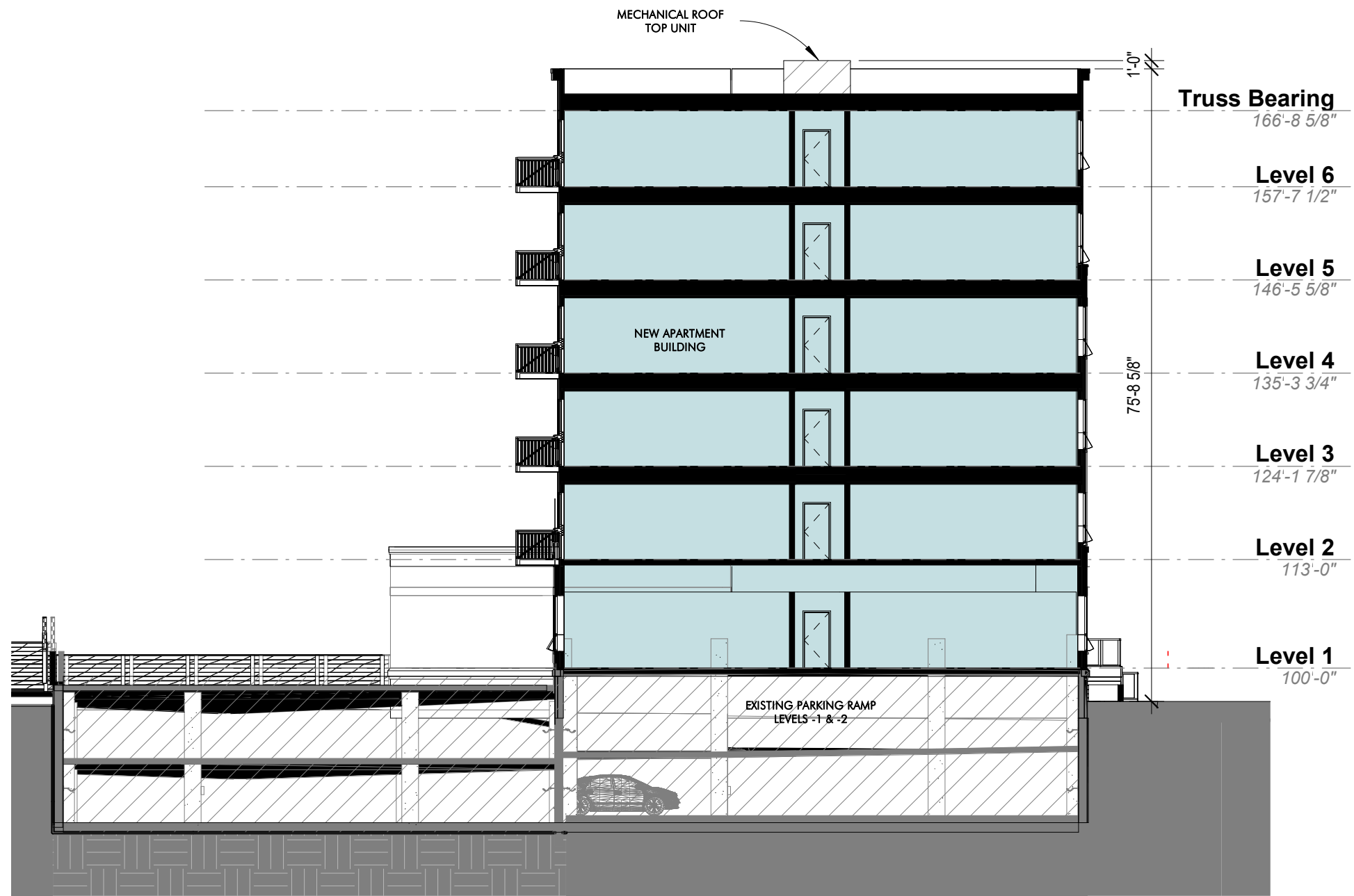
MAIL
365 ft²

Stairs
233 ft²

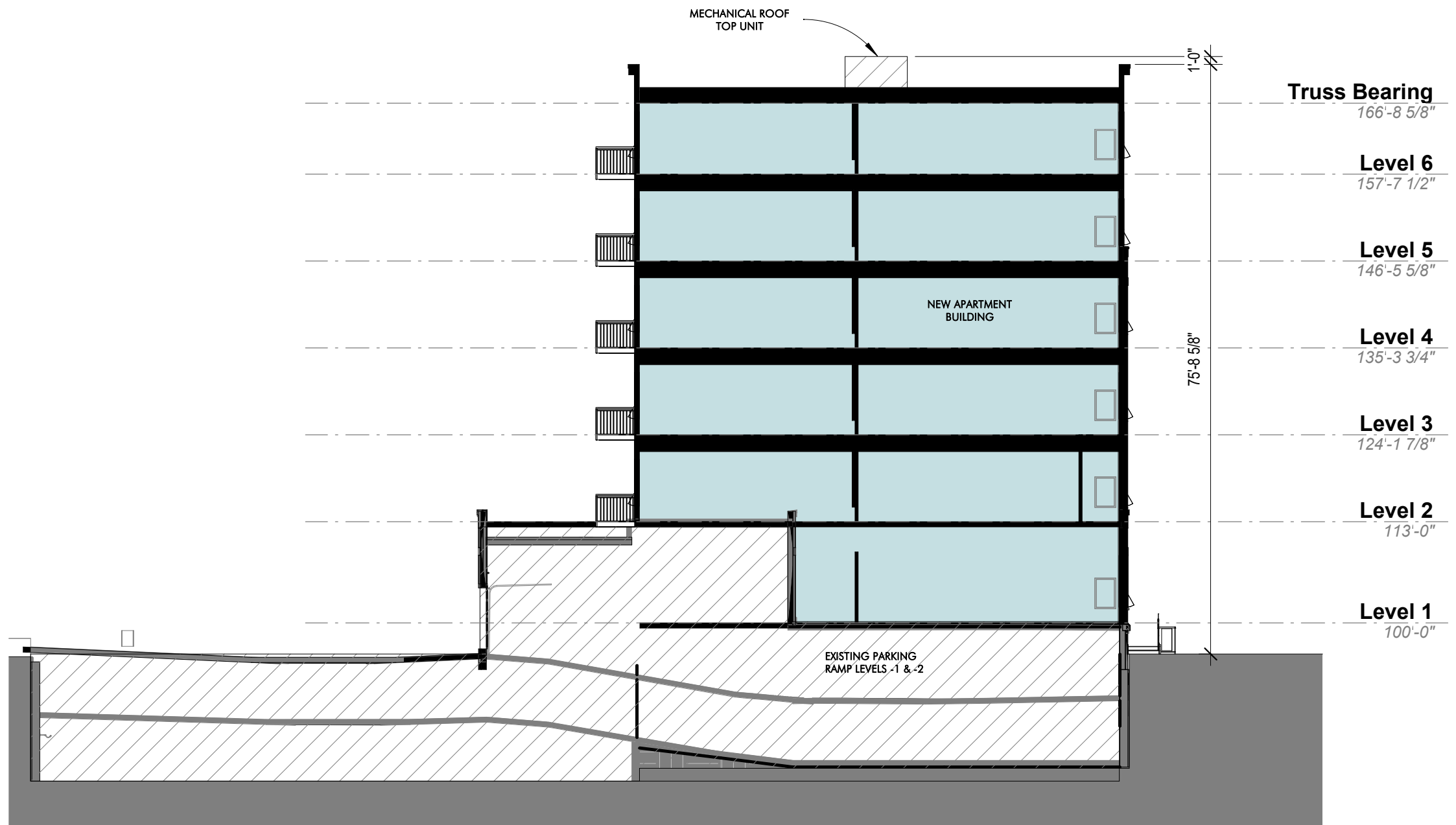
Janitor
189 ft²

Color Scheme Legend

- 1BR
- Circulation
- Common Area
- Core
- Studio



SCALE - 1/16" = 1'-0"



① Building Section1
1/16" = 1'-0"











① Elevation - South (7th Street)
1" = 20'-0"

EXTERIOR MATERIAL PERCENTAGES (SOUTH)

BRICK	3,950 SF	38%
GLAZING	3,525 SF	34%
CFB PANEL >5/8"	1,722 SF	17%
CFB PANEL <5/8"	1,201 SF	11%
Total	10,398 SF	

EXTERIOR MATERIAL PERCENTAGES (NORTH)

BRICK	1,420 SF	14%
GLAZING	3,218 SF	32%
CFB PANEL >5/8"	5,500 SF	54%
CFB PANEL <5/8"	0 SF	00%
Total	10,138 SF	

② Elevation - North
1" = 20'-0"





② Elevation - West
1" = 20'-0"

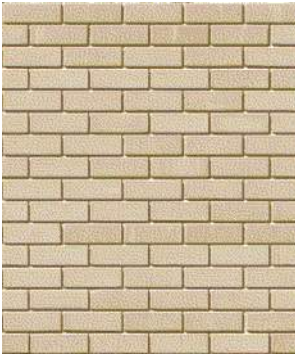


EXTERIOR MATERIAL PERCENTAGES (WEST)		
BRICK	1,441 SF	33%
GLAZING	660 SF	15%
CFB PANEL >5/8"	2,340 SF	52%
CFB PANEL <5/8"	0 SF	0%
	4,441 SF	







① Elevation - East
1" = 20'-0"

EXTERIOR MATERIAL PERCENTAGES (EAST)		
BRICK	2,356 SF	50%
GLAZING	637 SF	13%
CFB PANEL >5/8"	1,730 SF	37%
CFB PANEL <5/8"	0 SF	0%
	4,723 SF	

Exterior Material Areas

Material Mark	Description	Area	Percentage	Image
BRICK1	BRICK - UTILITY SIZE - COLOR: BUFF	7,703 ft ²	23%	
BRICK2	BRICK SOLDIER - UTILITY SIZE - COLOR: BUFF	763 ft ²	2%	
CFB1	CFB LAP <5/8" THICK - COLOR SEALSKIN	2,015 ft ²	6%	

Exterior Material Areas

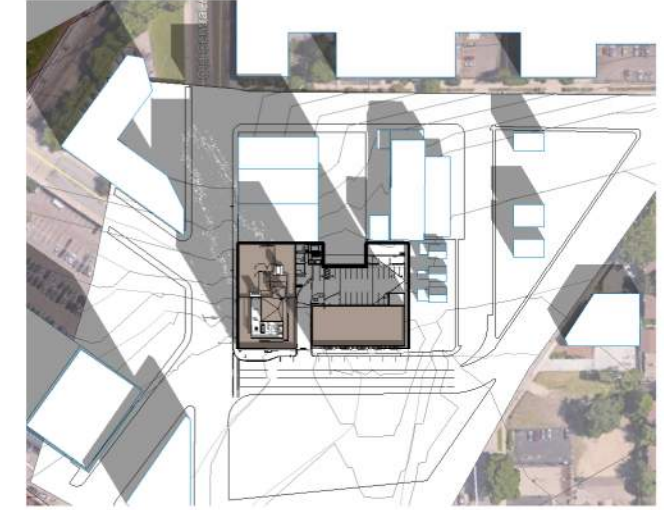
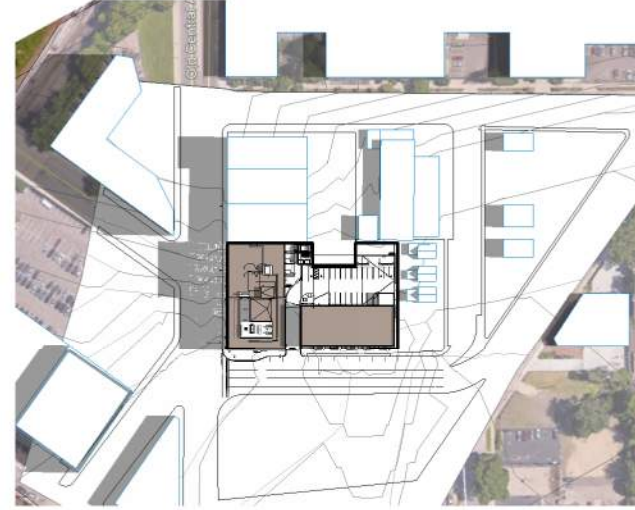
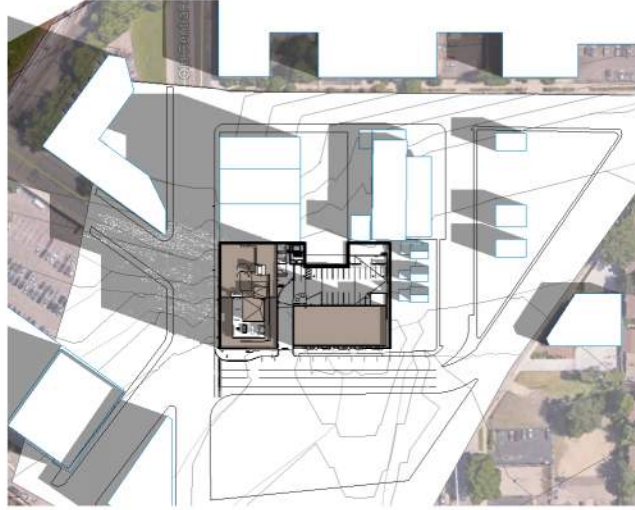
Material Mark	Description	Area	Percentage	Image
CFB2	CFB PANEL >5/8" THICK - COLOR MUSKET GRAY	10,201 ft ²	31%	
CFB3	CFB PANEL >5/8" THICK - COLOR BUFF	3,824 ft ²	12%	
GLASS1	WINDOW GLAZING	8,006 ft ²	24%	
STONE1	CAST STONE BAND - COLOR	448 ft ²	1%	
		32,960 ft ²		

SPRING / FALL EQUINOX
MARCH/SEPTEMBER 21

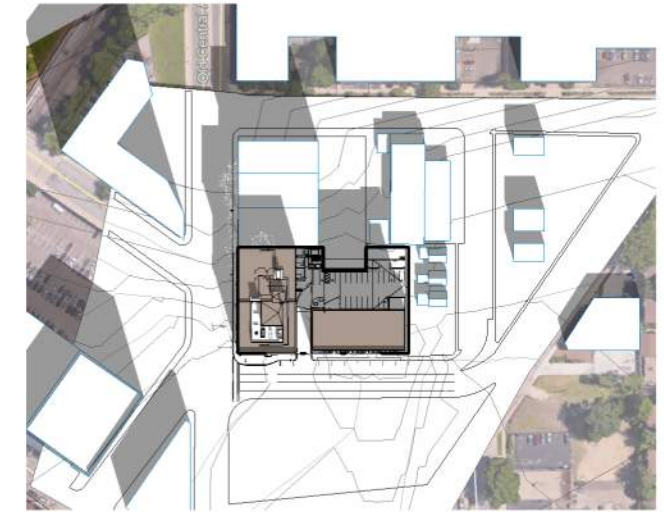
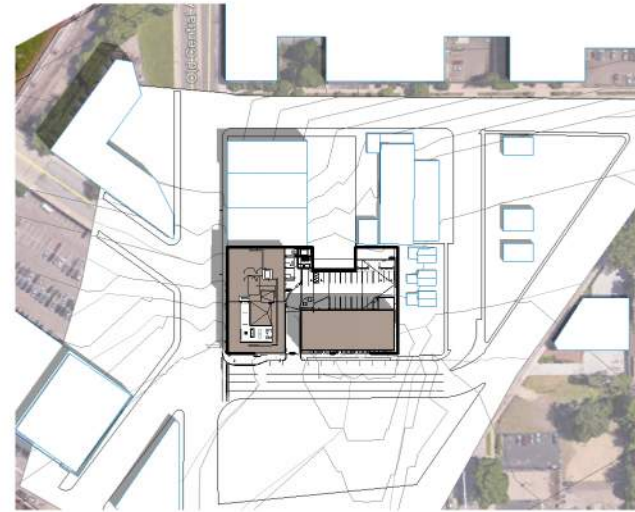
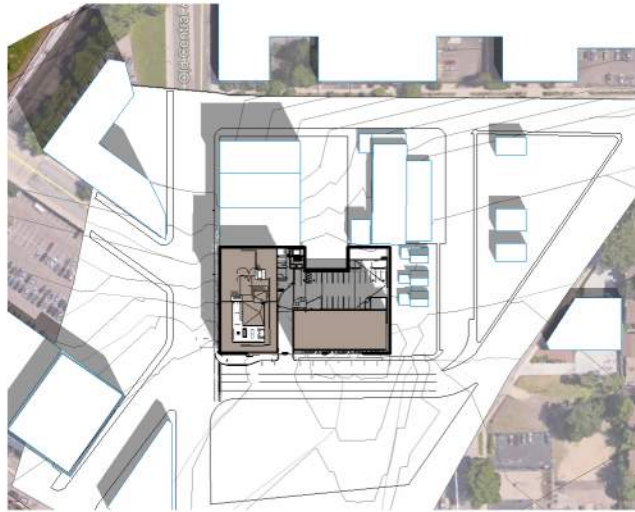
SUMMER SOLSTICE
JUNE 21

WINTER SOLSTICE
DECEMBER 21

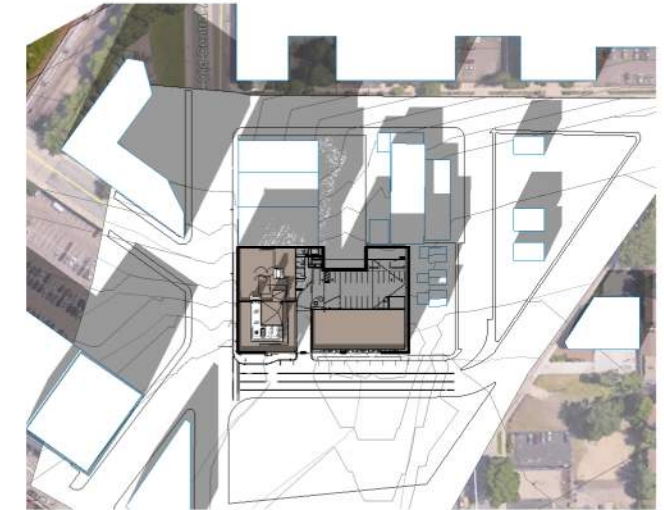
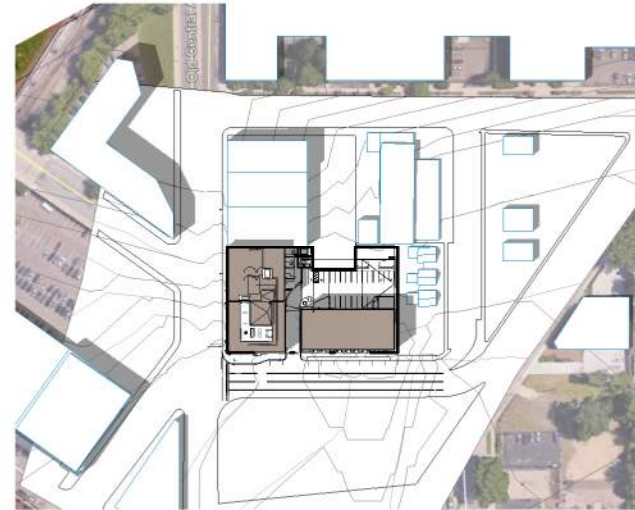
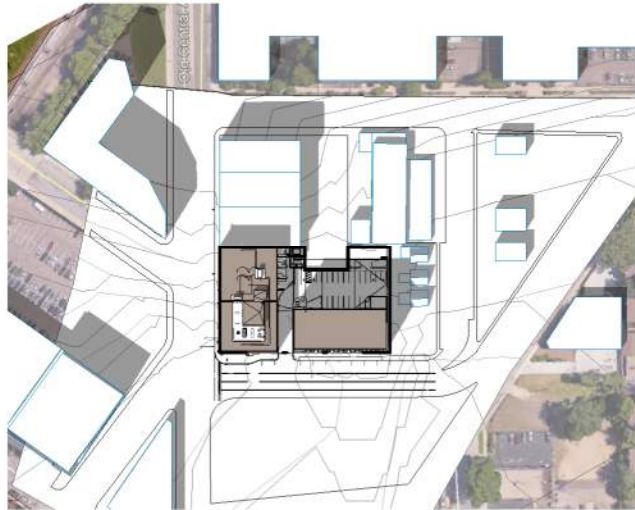
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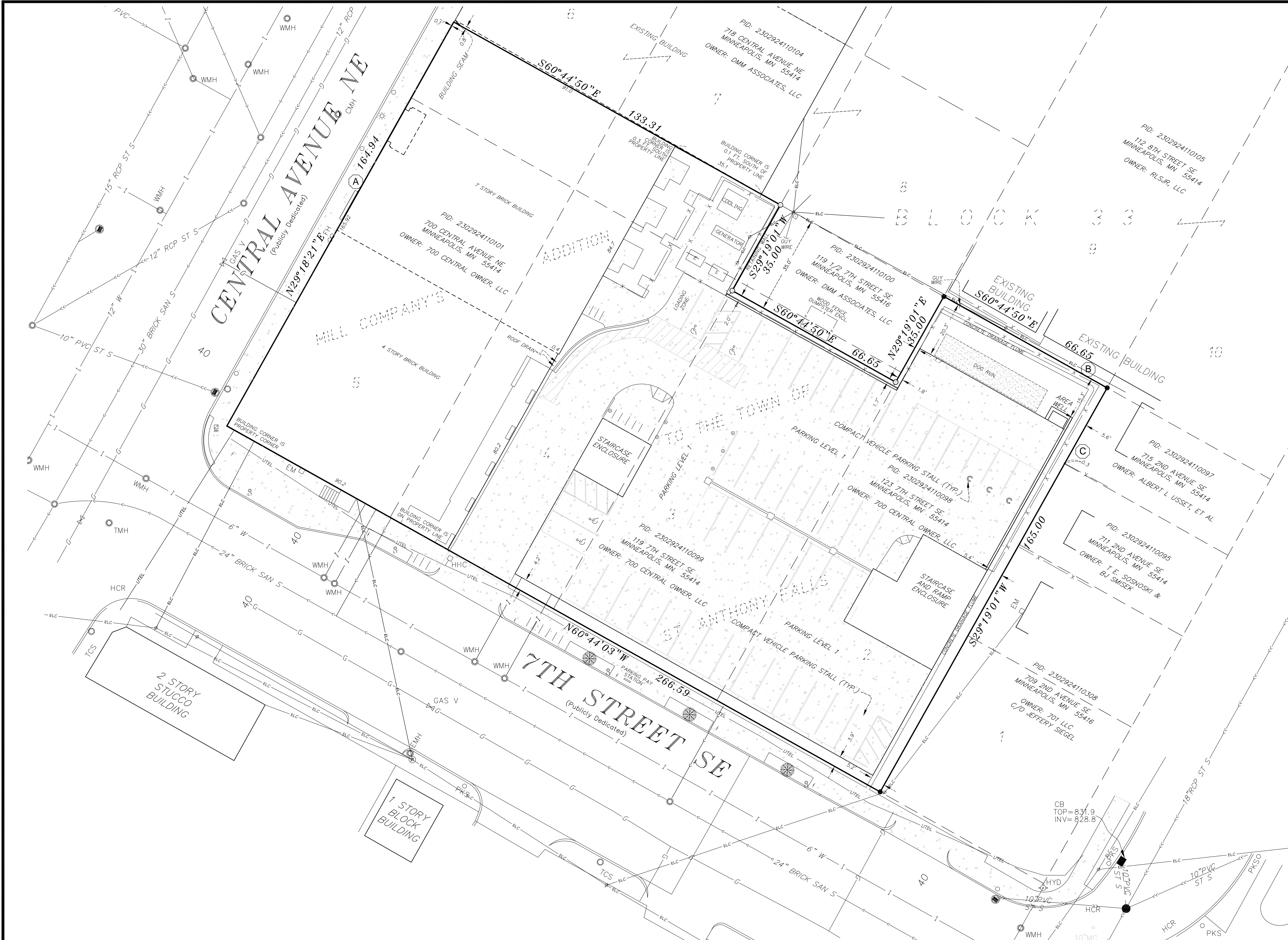


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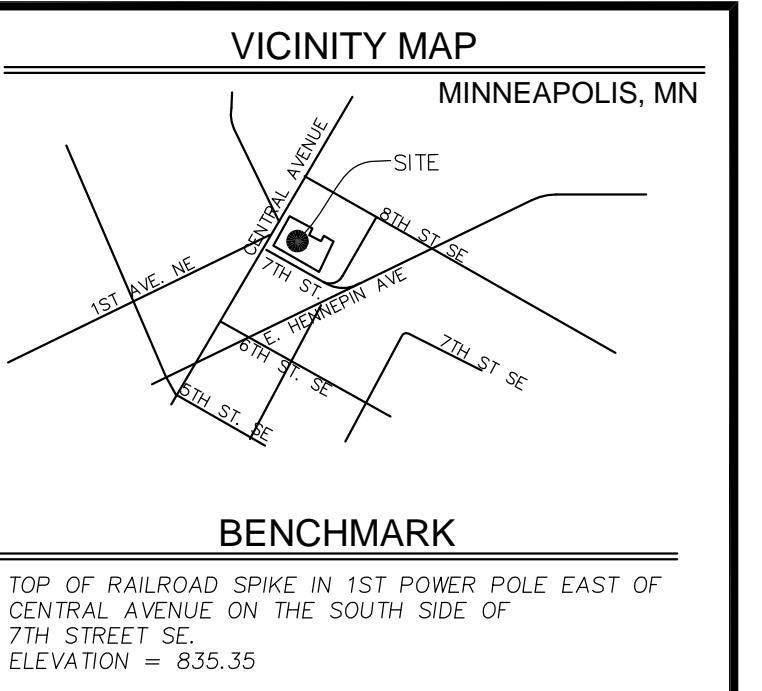
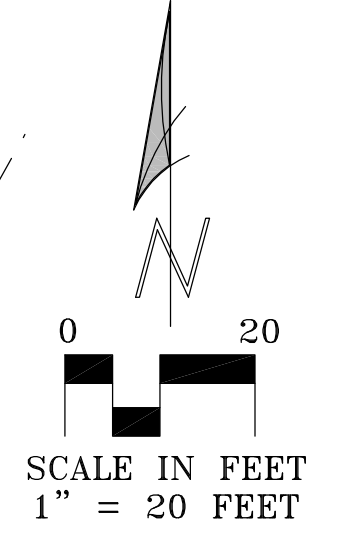


3:00 PM





ZONING AND SETBACKS
 ACCORDING TO THE CITY OF MINNEAPOLIS, MINNESOTA
 ZONING: C3A (COMMUNITY ACTIVITY CENTER DISTRICT)
 WITH UA (UNIVERSITY AREA OVERLAY DISTRICT)
 PER MINNEAPOLIS ZONING CODE 548.140:
 YARD REQUIREMENTS: SETBACKS: 548.140. - YARD REQUIREMENTS.
 (A) IN GENERAL, UNLESS SUBJECT TO THE PROVISIONS OF SECTIONS (B) AND (C), USES LOCATED IN THE COMMERCIAL DISTRICTS SHALL NOT BE SUBJECT TO MINIMUM YARD REQUIREMENTS. HEIGHT: 548.350. - BUILDING BULK REQUIREMENTS. THE MAXIMUM HEIGHT OF ALL PRINCIPAL STRUCTURES LOCATED IN THE C3A DISTRICT, EXCEPT SINGLE AND TWO-FAMILY DWELLINGS AND CLUSTER DEVELOPMENTS, SHALL BE FOUR (4) STORIES OR FIFTY-SIX (56) FEET, WHICHEVER IS LESS. HARDCOVER: THE MAXIMUM FLOOR AREA RATIO OF ALL STRUCTURES SHALL BE TWO AND SEVEN-TENTHS (2.7).
 DUE TO THE COMPLEXITY OF THE CITY OF MINNEAPOLIS, MN ZONING REGULATIONS, IT IS RECOMMENDED THE CITY OF MINNEAPOLIS BE CONTACTED AT 612-673-3000 TO INQUIRE ABOUT ZONING REGULATIONS.



AREA SUMMARY
 TOTAL PARCEL AREA: 41,649 SQ. FT. OR 0.96 ACRES

FEMA INFORMATION
 SUBJECT PROPERTY LIES IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE RATE MAP NUMBER 270330035E HAVING AN EFFECTIVE DATE OF SEPTEMBER 2, 2004.

PARKING SUMMARY

REGULAR PARKING STALLS	136
COMPACT CAR PARKING	28
HANDICAP ACCESSIBLE STALLS	6
TOTAL STALLS	170

PROPERTY DESCRIPTION
 PER EXHIBIT A OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY POLICY FOR TITLE INSURANCE FILE NO. 39850, POLICY NUMBER LX-10978596 HAVING AN EFFECTIVE DATE OF NOVEMBER 19TH, 2015:
PARCEL 1:
 LOTS 4 AND 5, BLOCK 33, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, HENNEPIN COUNTY, MINNESOTA
 TORRENS PROPERTY
 TORRENS CERTIFICATE NO. 1414363
PARCEL 1A:
 TOGETHER WITH THE BENEFITS OF THAT CERTAIN PARTY WALL EASEMENT CREATED BY AN AGREEMENT FILED IN BOOK 129 OF MISCELLANEOUS RECORDS, PAGE 503, AND AN AGREEMENT FILED IN BOOK 226 OF MISCELLANEOUS RECORDS, PAGE 498.
PARCEL 2:
 LOTS 2 AND 3, BLOCK 33, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, HENNEPIN COUNTY, MINNESOTA EXCEPT THE REAR 35 FEET OF LOT 3, BLOCK 33, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, HENNEPIN COUNTY, MINNESOTA.
 ABSTRACT PROPERTY.

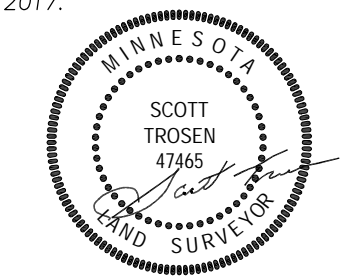
TITLE ITEMS
 PER SCHEDULE B OF OLD REPUBLIC NATIONAL TITLE INSURANCE POLICY FOR TITLE INSURANCE FILE NO. 39850, POLICY NUMBER LX-10978596 HAVING AN EFFECTIVE DATE OF NOVEMBER 19TH, 2015 AND THE FINAL TITLE ENDORSEMENT DATED THE DATE OF CLOSING:
 ITEM 1 - NOT SURVEY RELATED
 ITEM 2 - SUBJECT TO EASEMENT FOR PARTY WALL, AS CREATED IN DOCUMENT DATED JANUARY 6, 1910, FILED DECEMBER 6, 1910, IN BOOK 129 OF MISCELLANEOUS RECORDS, PAGE 503.
 AMENDED BY AGREEMENT DATED OCTOBER 2, 1923, FILED DECEMBER 28, 1923, IN BOOK 226 OF MISCELLANEOUS RECORDS, PAGE 498.
 *SAID EASEMENT IS BLANKET IN NATURE FOR THE PARTY WALL LOCATED ON THE PROPERTY LINE BETWEEN THE SUBJECT PROPERTY AND THE PARCEL TO THE NORTH.
 (AFFECTS PARCEL 1 - BUILDINGS AS SHOWN)
 ITEM 3 - SUBJECT TO TERMS OF CONDITIONS OF CONDITIONAL USE PERMIT APPROVED SEPTEMBER 19, 2011, FILED NOVEMBER 4, 2011, AS DOCUMENT NO. A9711540 (ABSTRACT) AND AS DOCUMENT NO. T4899060 (TORRENS).
 *SAID CUP ALLOWS FOR INCREASE OF THE ALLOWABLE BUILDING HEIGHT TO 10 STORIES OR 120 FEET.
 (AFFECTS PARCELS 1 AND 2 - NOT SHOWN)
 ITEM 4 - SUBJECT TO THE FOLLOWING MATTERS AS SHOWN ON THE SURVEY BY RORY L. SYNSTELIEN WITH HANSON THORP PELLINEN OLSON, INC., DATED AUGUST 8, 2015, LAST REVISED NOVEMBER 11, 2015, DESIGNATED AS PROJECT NO. 15-056:
 A) METAL PARAPET ENCLOSEMENTS ONTO THE RIGHT OF WAY OF CENTRAL AVENUE NORTHEAST
 B) OVERHEAD POWER LINES RUN THROUGH THE NORTHEAST CORNER OF THE SUBJECT PROPERTY WITHOUT THE BENEFIT OF A RECORDED EASEMENT.
 C) ENCROACHMENT OF NEIGHBOR'S CHAIN LINK FENCE OVER THE SOUTHEASTERLY BOUNDARY INTO THE SUBJECT PROPERTY BY 0.3 FEET.
 ITEM 5 - SUBJECT TO TERMS AND CONDITIONS OF CONDITIONAL USE PERMIT DATED APRIL 23, 2014, FILED JUNE 30, 2015, AS DOCUMENT NO. 10208644 (ABSTRACT) AND AS DOCUMENT NO. 5268262 (TORRENS).
 (AFFECTS PARCELS 1 AND 2 - NOT SHOWN)

NOTES

- FOR THE PURPOSES OF THIS SURVEY THE SOUTHWEST LINE OF BLOCK 33, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS IS ASSUMED TO BEAR NORTH 60 DEGREES 44 MINUTES 03 SECONDS WEST.
- THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON. THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM UTILITY PLANS AND THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED OR SCALED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- THE PROPERTY HAS ACCESS TO 7TH STREET SOUTH EAST AND PEDESTRIAN ACCESS TO CENTRAL AVENUE NORTHEAST BOTH PUBLICLY DEDICATED RIGHTS OF WAY.
- APPARENT ENCROACHMENTS:
 A) METAL PARAPET ENCLOSEMENTS ONTO THE RIGHT OF WAY OF CENTRAL AVENUE NORTHEAST
 B) OVERHEAD POWER LINES RUN THROUGH THE NORTHEAST CORNER OF THE SUBJECT PROPERTY WITHOUT THE BENEFIT OF A RECORDED EASEMENT.
 C) ENCROACHMENT OF NEIGHBOR'S CHAIN LINK FENCE OVER THE SOUTHEASTERLY BOUNDARY INTO THE SUBJECT PROPERTY BY 0.3 FEET.
- PER TABLE A ITEM 16: AT THE TIME OF THE SURVEY, THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
 PER TABLE A ITEM 17: THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES
 PER TABLE A ITEM 18: THERE WAS NO EVIDENCE OF WETLANDS OR DELINEATION MARKERS OF WETLANDS
- PER TABLE A ITEMS 10(a) - DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS DESIGNATED BY THE CLIENT WITH RESPECT TO ADJOINING PROPERTIES AND ITEM 10(b) - DETERMINATION OF WHETHER CERTAIN WALLS DESIGNATED BY THE CLIENT ARE PLUMB. REFER TO PARTY WALL DETAIL FOR MORE CURRENT INFORMATION AS ORIGINALLY PROVIDED BY THE SURVEY SIGNED BY RORY L. SYNSTELIEN WITH HANSON THORP PELLINEN OLSON, INC., DATED AUGUST 8, 2015, LAST REVISED NOVEMBER 11, 2015, DESIGNATED AS PROJECT NO. 15-056

CERTIFICATION
 TO 700 CENTRAL OWNER, LLC, DOUGHERTY MORTGAGE LLC, ITS SUCCESSORS AND/OR ASSIGNS, COMMERCIAL PARTNERS TITLE, LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT ("HUD").
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 8, 9, 10(a), 10(b), 11, 12, 13, 16, 17, 18 AND 19 OF TABLE A THEREOF.
 THE FIELD WORK WAS COMPLETED ON JUNE 9, 2017 AND JUNE 14, 2017.

DATE OF PLAT OR MAP: JUNE 20, 2017
 SCOTT C. TROSEN MINNESOTA LS 47465



TROSEN LAND SURVEYING, LLC
 236 LEWIS STREET SOUTH
 SHAKOPEE, MN 55379
 PH: 612-900-1182
 WWW.TROSENLANDSURVEYING.COM

REV.	DATE	REVISIONS DESCRIPTION
1	7.18.17	Client Comments
2	7.18.17	Client Comments
3	8.15.17	Alta/NSPS Comments
4	8.24.17	Alta/NSPS Comments - Parking Ramp

PROJECT: TLS1727
 DRAWING: altn-TLS1727.dwg
 DRAWN BY: SCT
 CHECKED BY: SCT
 SUBMITTED: 06.20.17

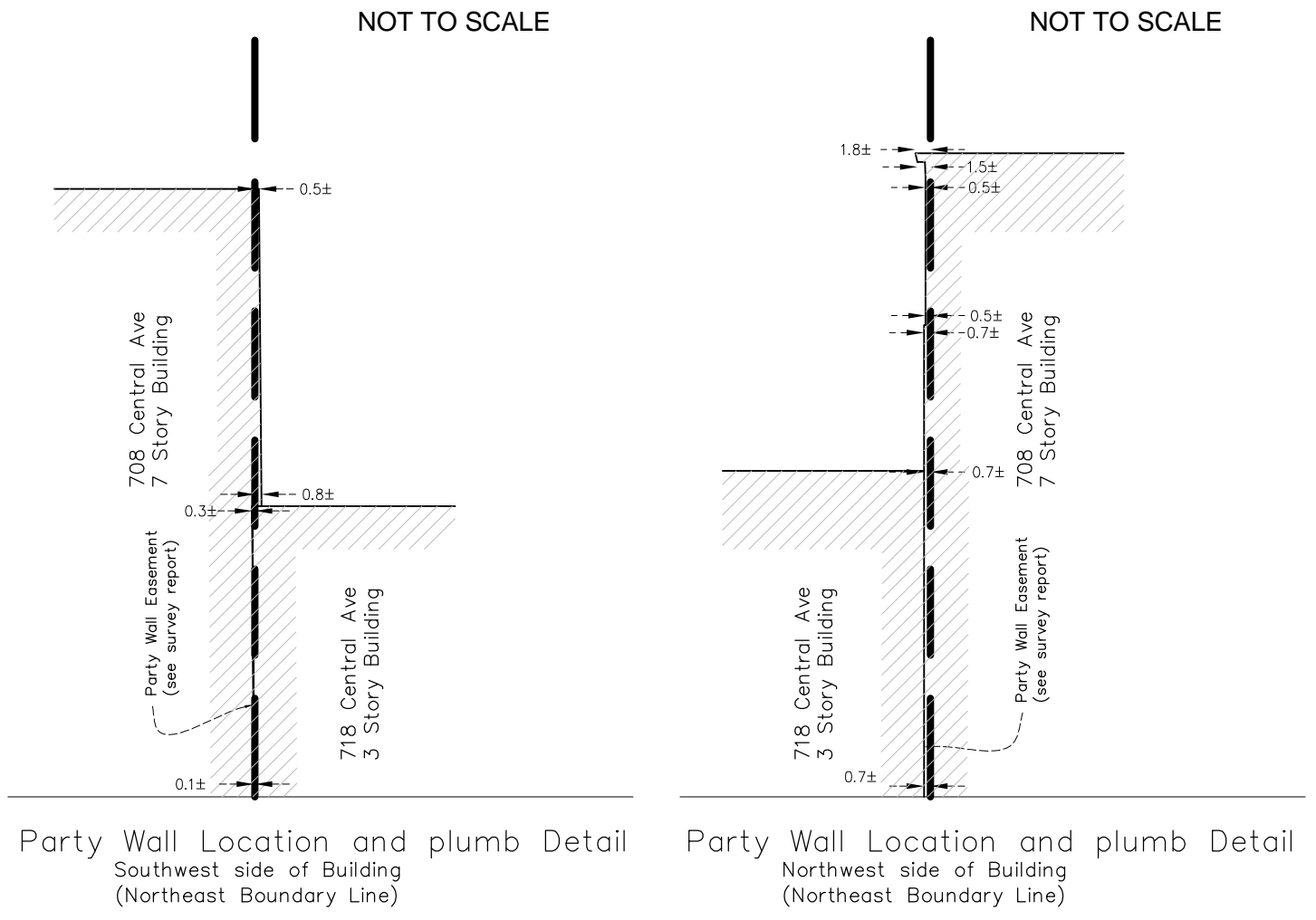
CLIENT:
 Nolan Properties Group, LLC
 328 Barry Ave. S.
 Suite 300
 Wayzata, MN 55391

PROJECT:
 700 CENTRAL AVENUE
 Minneapolis, MN 55414
 FHA Project Number 092-35793

Being p/o Block 33, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, Hennepin County, Minnesota

ALTA/NSPS Land Title Survey
 SHEET 1 OF 2

PARTY WALL LOCATION AND PLUMB DETAIL



LEGEND

	= CONCRETE SURFACE
	= MANHOLE
	= CATCH BASIN
	= FIRE HYDRANT
	= LIGHT POLE
	= POWERPOLE
	= UTILITY BOX
	= GUARD POST
	= MISC. SIGN
	= UNDERGROUND GAS MAIN
	= UNDERGROUND TELEPHONE
	= ELECTRIC LINE
	= STORM SEWER
	= SANITARY SEWER
	= WATERMAIN
	= FENCE
	= IRON MONUMENT FOUND
	= SET MONUMENT
	= APPARENT ENCROACHMENT

VICINITY MAP
MINNEAPOLIS, MN



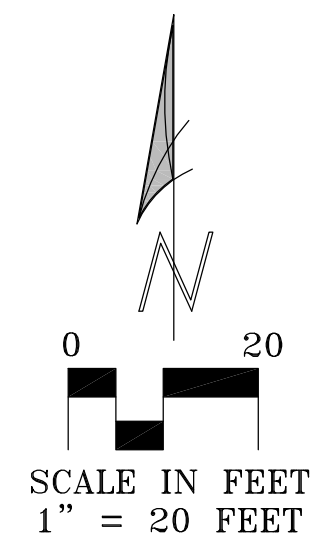
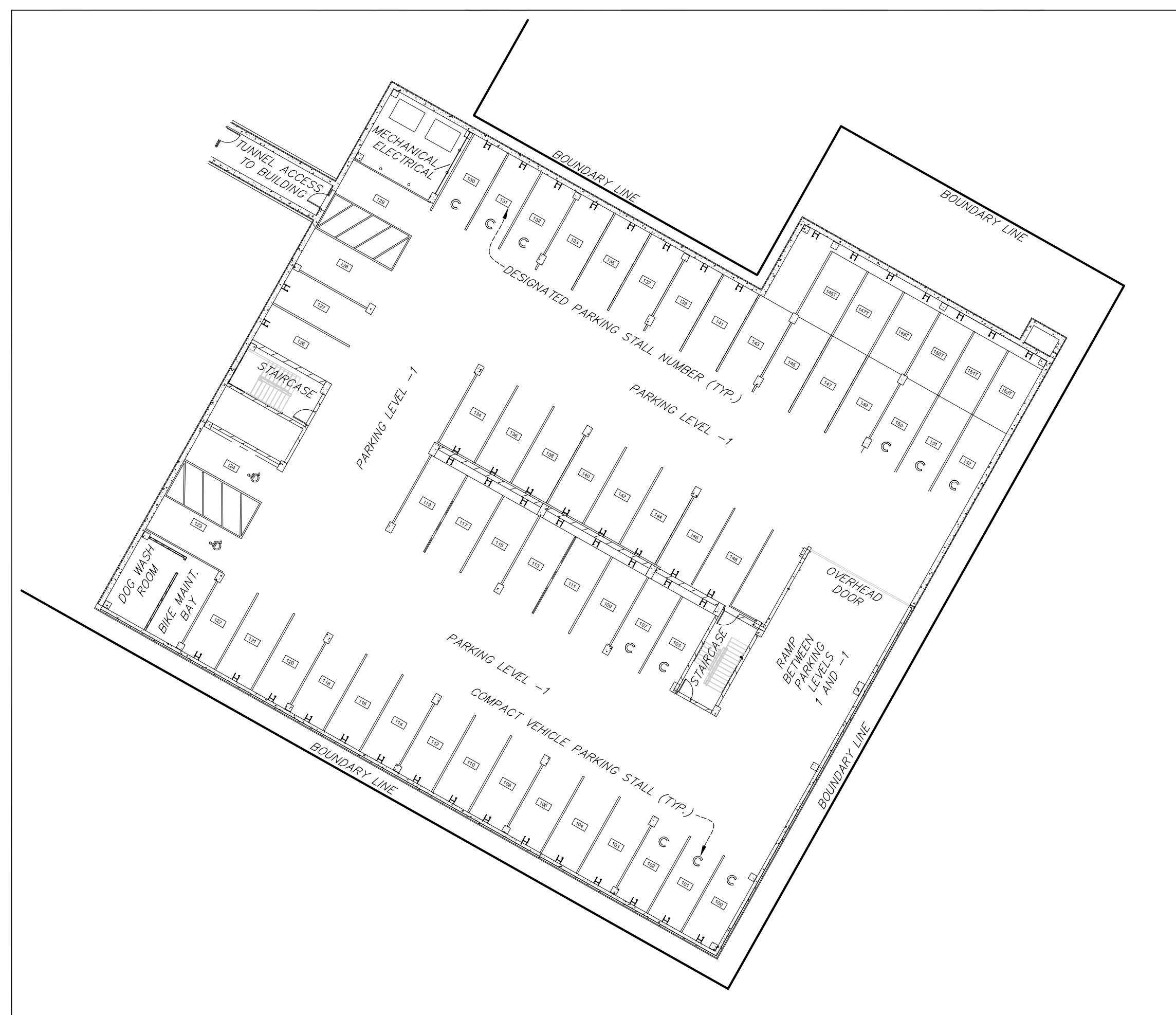
BENCHMARK

TOP OF RAILROAD SPIKE IN 1ST POWER POLE EAST OF CENTRAL AVENUE ON THE SOUTH SIDE OF 7TH STREET SE.
ELEVATION = 835.35

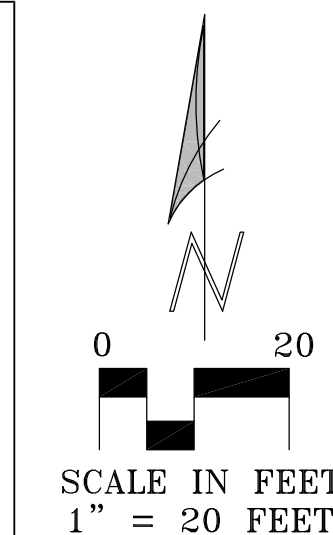
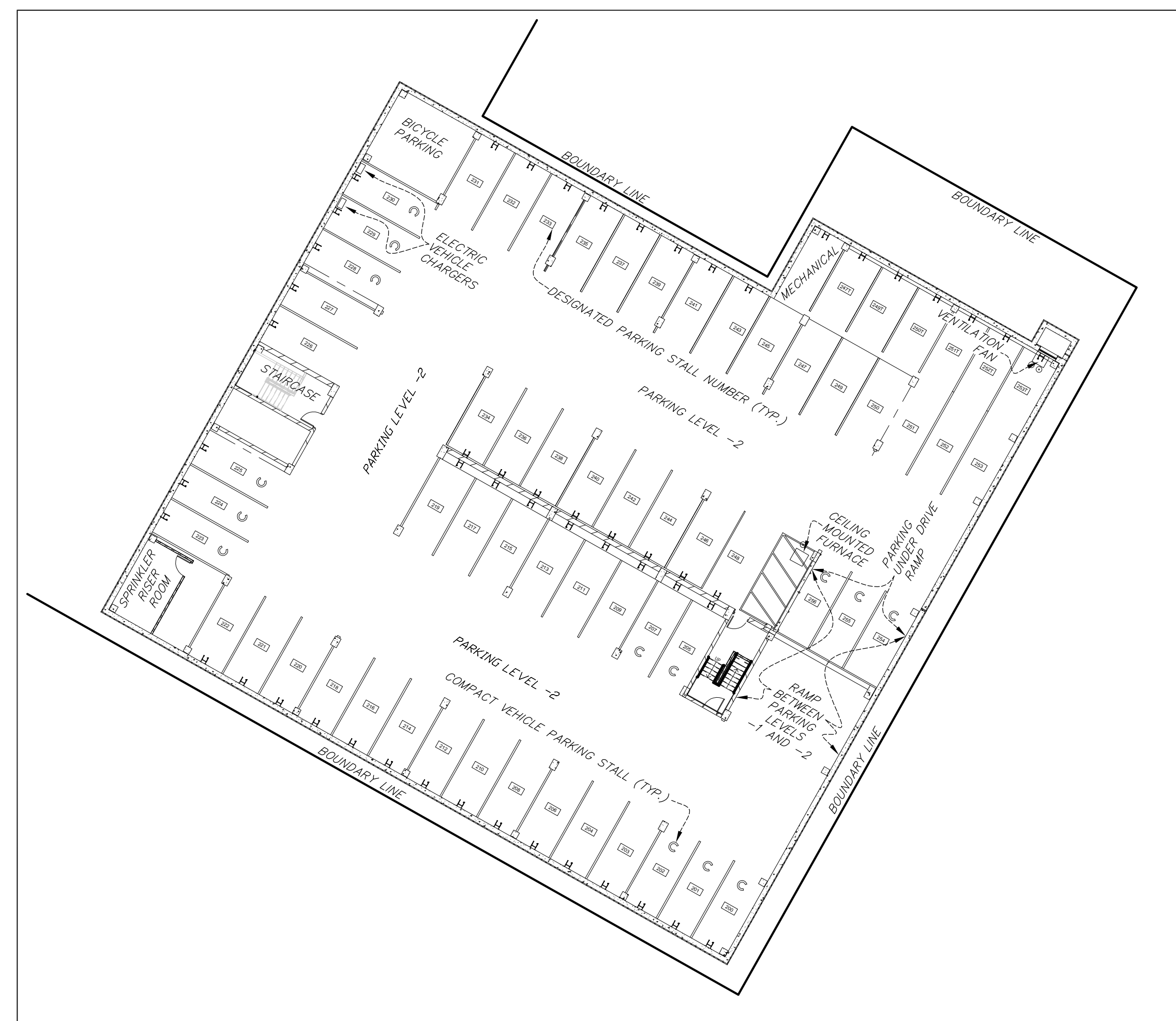
PARKING SUMMARY

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COMPACT CAR PARKING	28
HANDICAP ACCESSIBLE STALLS	6
TOTAL STALLS	170

PARKING LEVEL -1 DETAIL



PARKING LEVEL -2 DETAIL



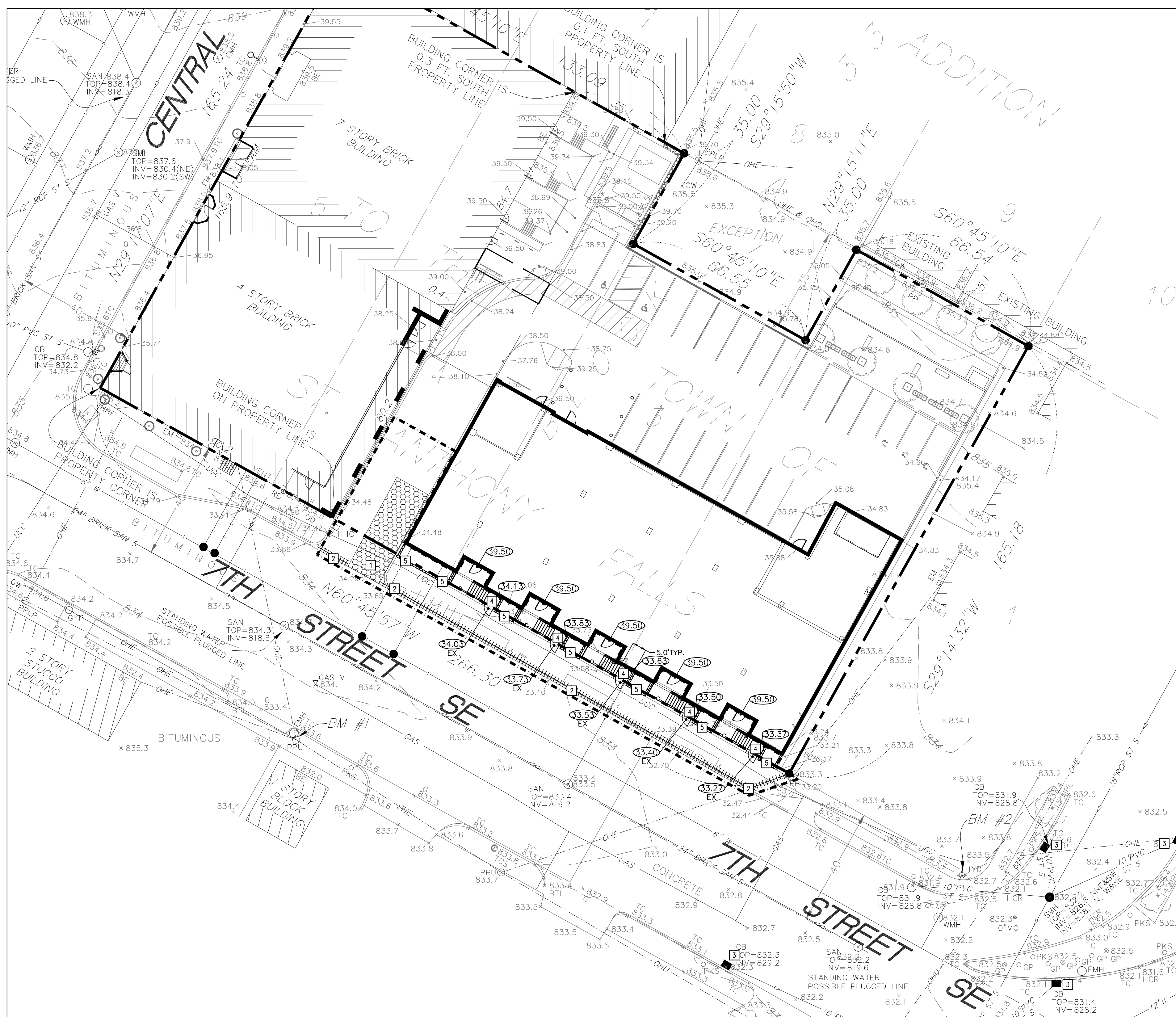
LEGEND

- = CONCRETE SURFACE
- = MANHOLE
- = CATCH BASIN
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- = LIGHT POLE
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- = UTILITY BOX
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- = STORM SEWER
- = SANITARY SEWER
- = WATERMAIN
- = FENCE
- = IRON MONUMENT FOUND
- = SET MONUMENT
- = APPARENT ENCROACHMENT

REV.	DATE	REVISIONS DESCRIPTION
1	7.06.17	Client Comments
2	7.18.17	Client Comments
3	8.15.17	Agency Comments
4	8.28.17	Agency Comments - Parking Ramp

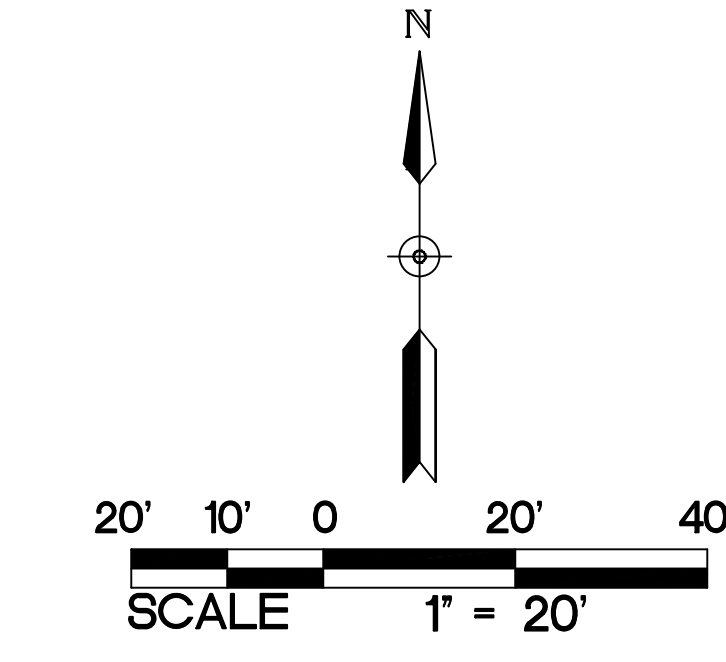
PROJECT: TLS1727
DRAWING: altn-TLS1727.dwg
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328 Barry Ave. S.
Suite 300
Wayzata, MN 55391

PROJECT:
700 CENTRAL AVENUE
Minneapolis, MN 55414
FHA Project Number 092-35783
Being p/o Block 33, MILL COMPANY'S ADDITION
TO THE TOWN OF ST. ANTHONY FALLS,
Hennepin County, Minnesota



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SEDIMENT CONTROL LOG	
PROPERTY LINE	---
CONSTRUCTION ENTRANCE	---
SPOT ELEVATION	○
CONCRETE SIDEWALK	---
PLANTER WALL	---

ABBREVIATIONS	
BELC	Bench Mark
CB	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe



- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C100.
 - INSTALL SEDIMENT CONTROL LOG. REFER TO DETAIL 3/C100.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C100.
 - INSTALL CONCRETE SIDEWALK. REFER TO DETAIL 5/C1.0.
 - INSTALL PLANTER WALL. TOP ELEVATION TWO FEET ABOVE MAINLINE SIDEWALK ELEVATION. REFER TO LANDSCAPE PLANS FOR ADDITIONAL DETAILS.

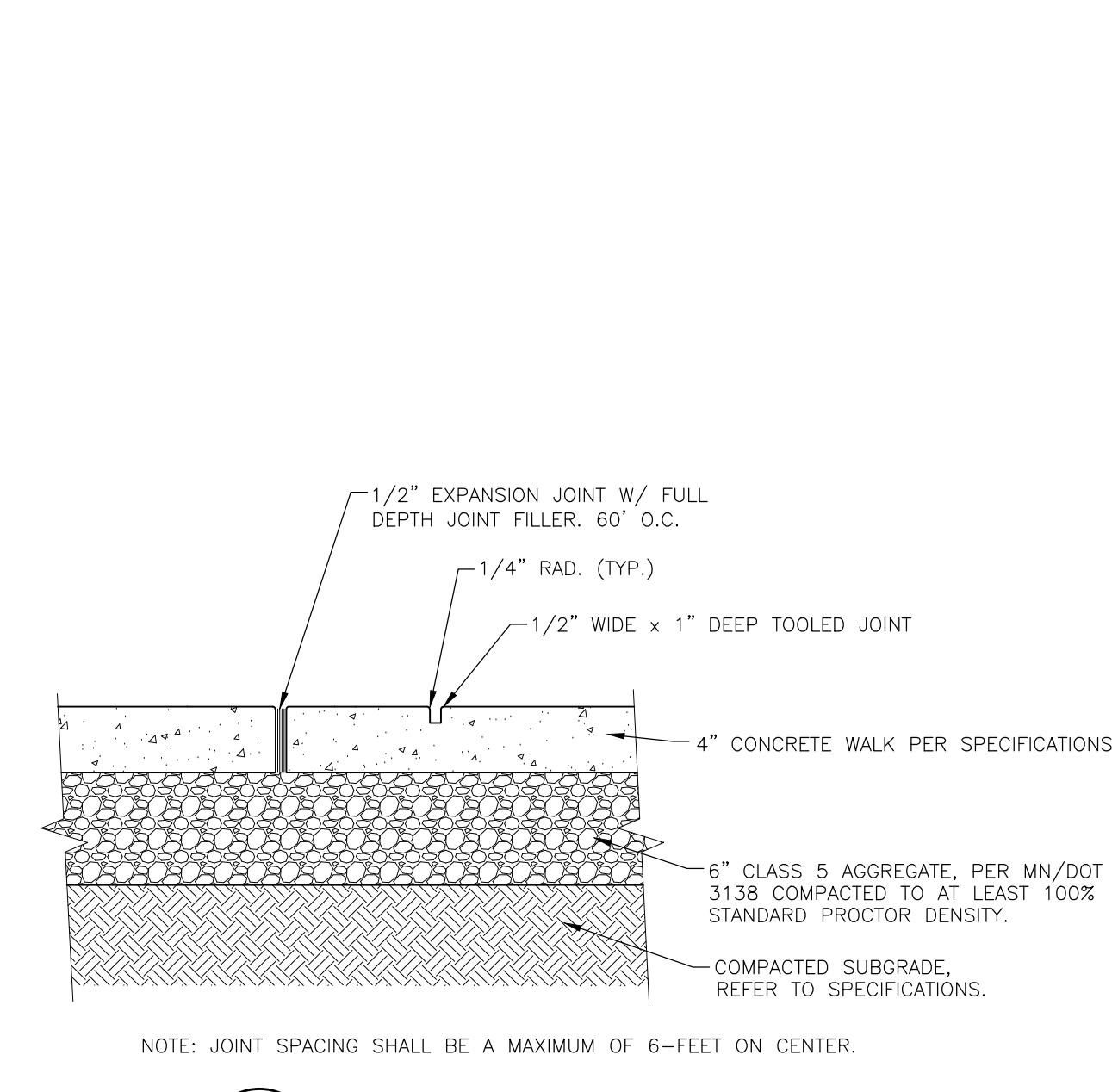
NOTE

ANY ITEMS NOT SHOWN FOR REMOVAL, SHALL BE PROTECTED AT ALL TIMES. ANY DAMAGE SHALL BE REPLACED AT NO COST TO THE OWNER.

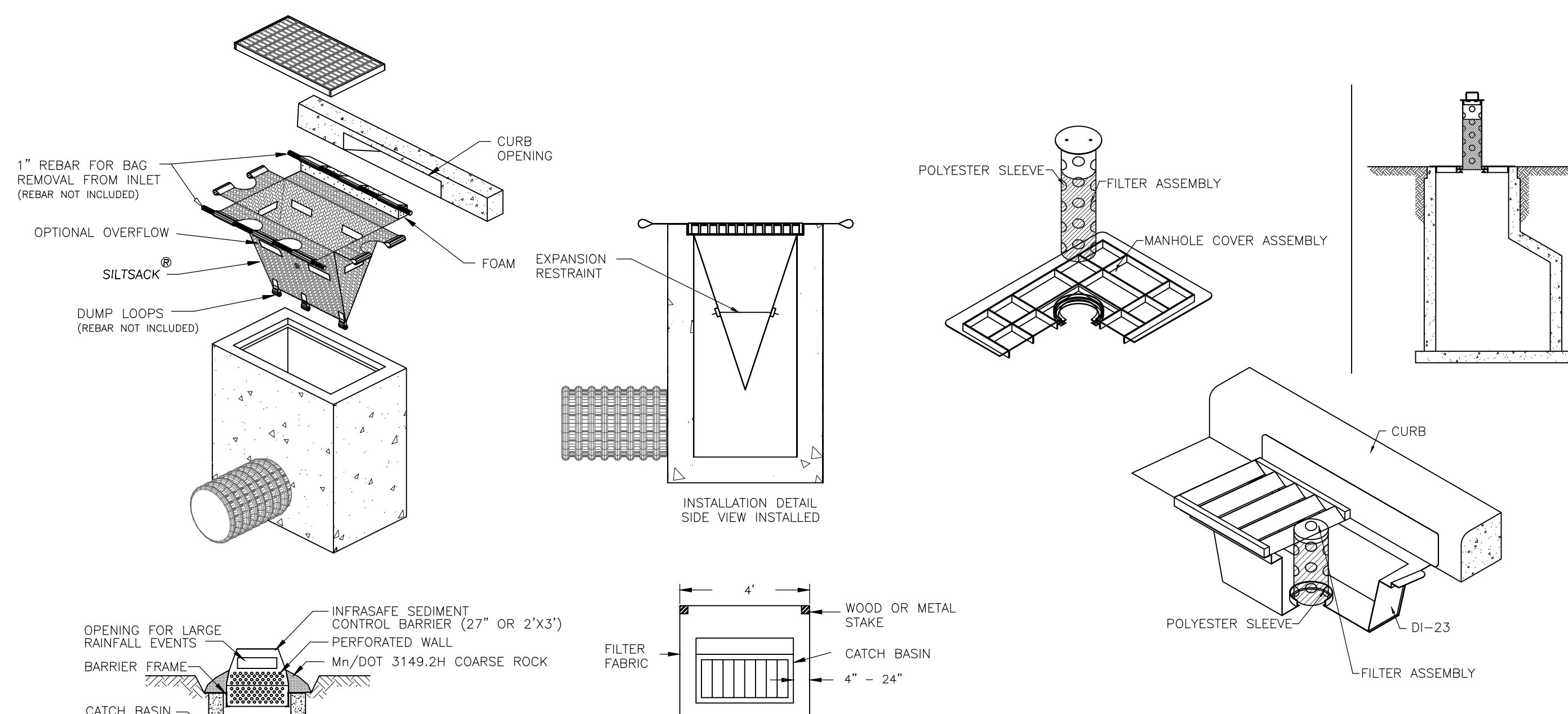
- EROSION CONTROL NOTES:**
- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
 - NO EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY; BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
 - NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CIVIL ENGINEER.
 - FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
 - SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
 - SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY, THROUGHOUT THE DURATION OF CONSTRUCTION.
 - DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY.
 - ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 7 DAYS:
 - ALL SEEDING AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MN/DOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
 - WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
 - RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
 - GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
 - EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY.

- MINNEAPOLIS STANDARD EROSION CONTROL NOTES - (JANUARY 7, 2011)**
- CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
 - INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
 - BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
 - REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
 - INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. BAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
 - LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
 - MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
 - TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SOODING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIOGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDED AREA.
 - READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
 - CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
 - IF Dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the erosion control inspector prior to initiating dewatering activities.

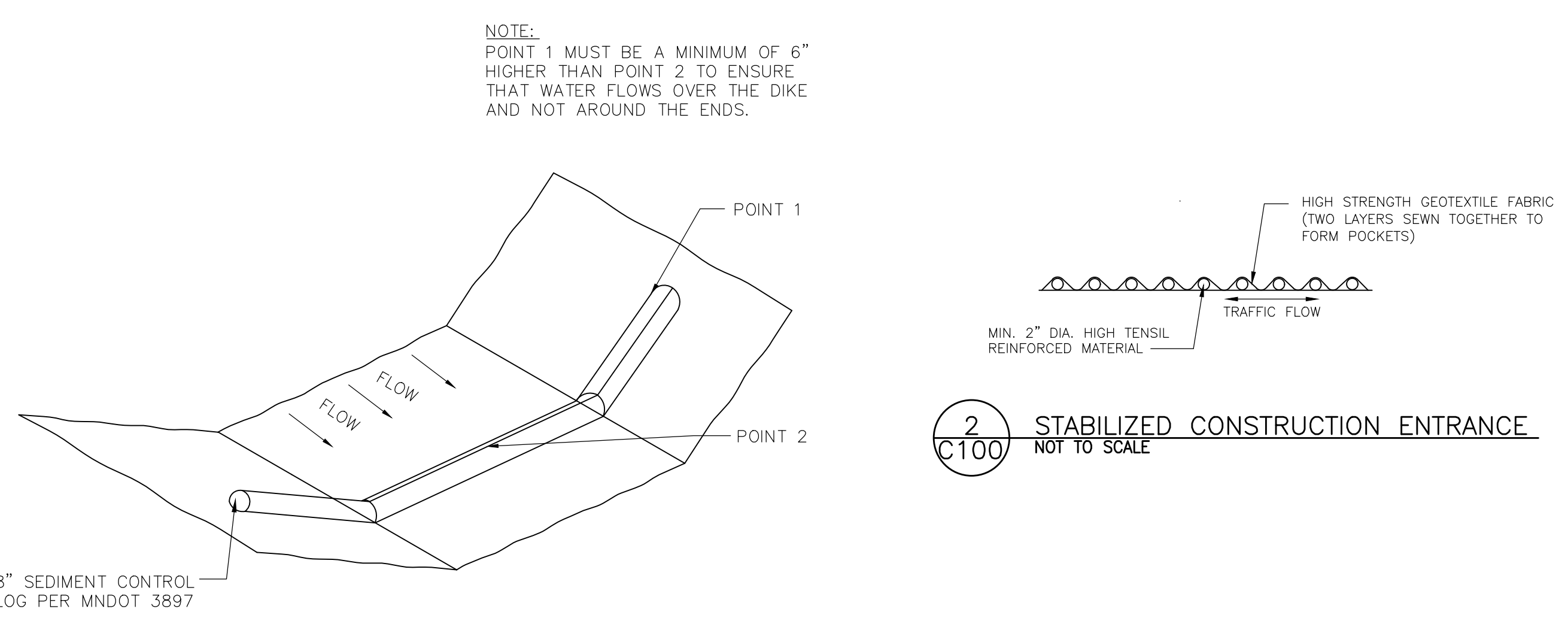
1 CIVIL SITE WORK PLAN
C100 T=20



5 CONCRETE SIDEWALK (TYP.)
C100 NOT TO SCALE



- NOTES:**
- MAXIMUM DISTANCE BETWEEN POSTS IS 4'. AN EXTRA POST MAY BE ADDED ON EACH SIDE.
 - MAINTAIN UNTIL SURFACE HAS BEEN PAVED AND/OR VEGETATION HAS BEEN ESTABLISHED.
 - GEOTEXTILE FILTER FABRIC SHALL BE INSTALLED PER SILT FENCE DETAIL.
- 4 INLETS SEDIMENTATION PROTECTION OPTIONS
C100 NOT TO SCALE



2 STABILIZED CONSTRUCTION ENTRANCE
C100 NOT TO SCALE

3 SEDIMENT CONTROL LOG
C100 NOT TO SCALE

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Owner:
Bader/Nolan Development

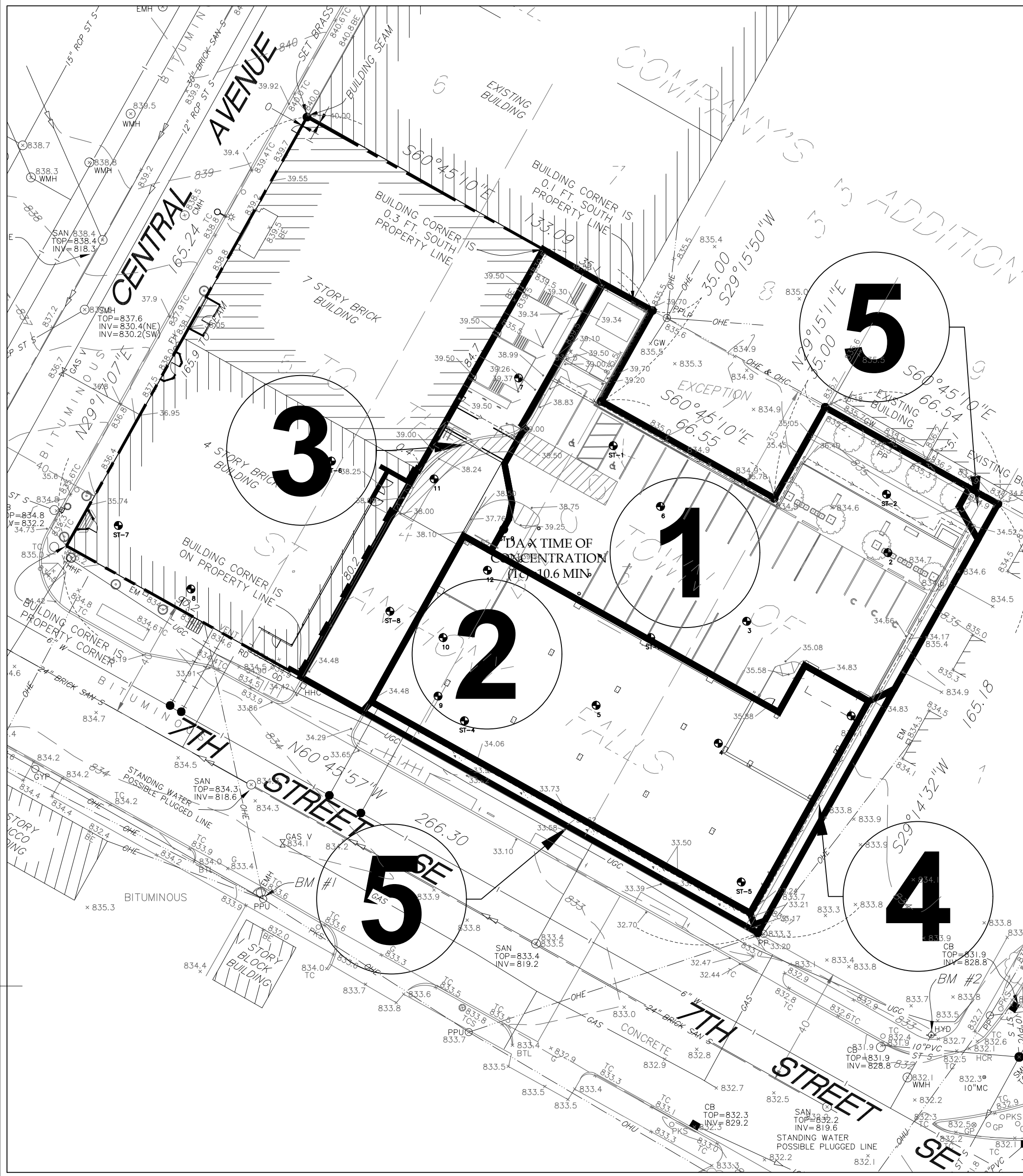
Project Number
Date 12/6/2019

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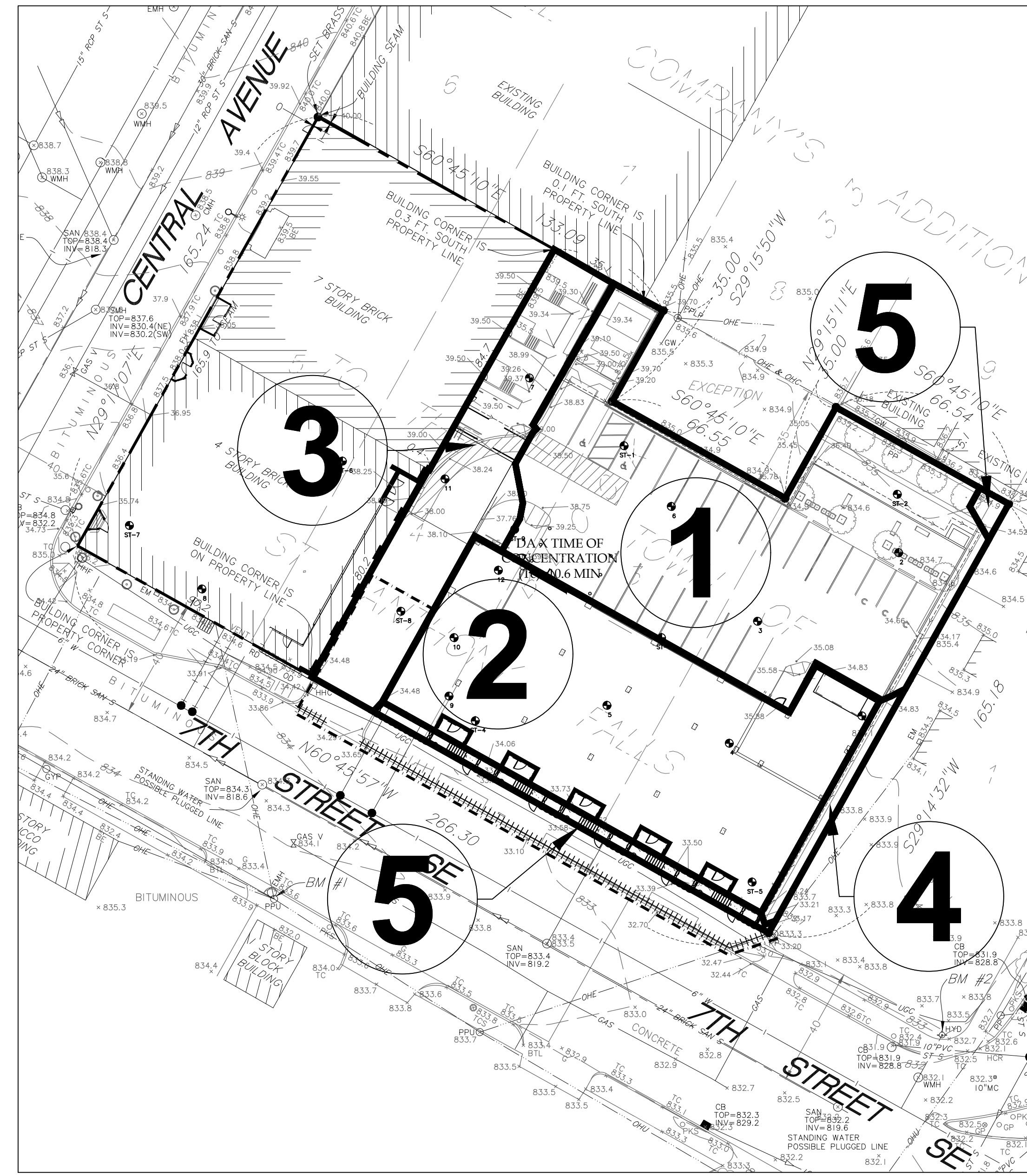
Date
Revision
Rev. No.

CIVIL SITE WORK PLAN

C100



1 EXISTING CONDITIONS
1"=30'

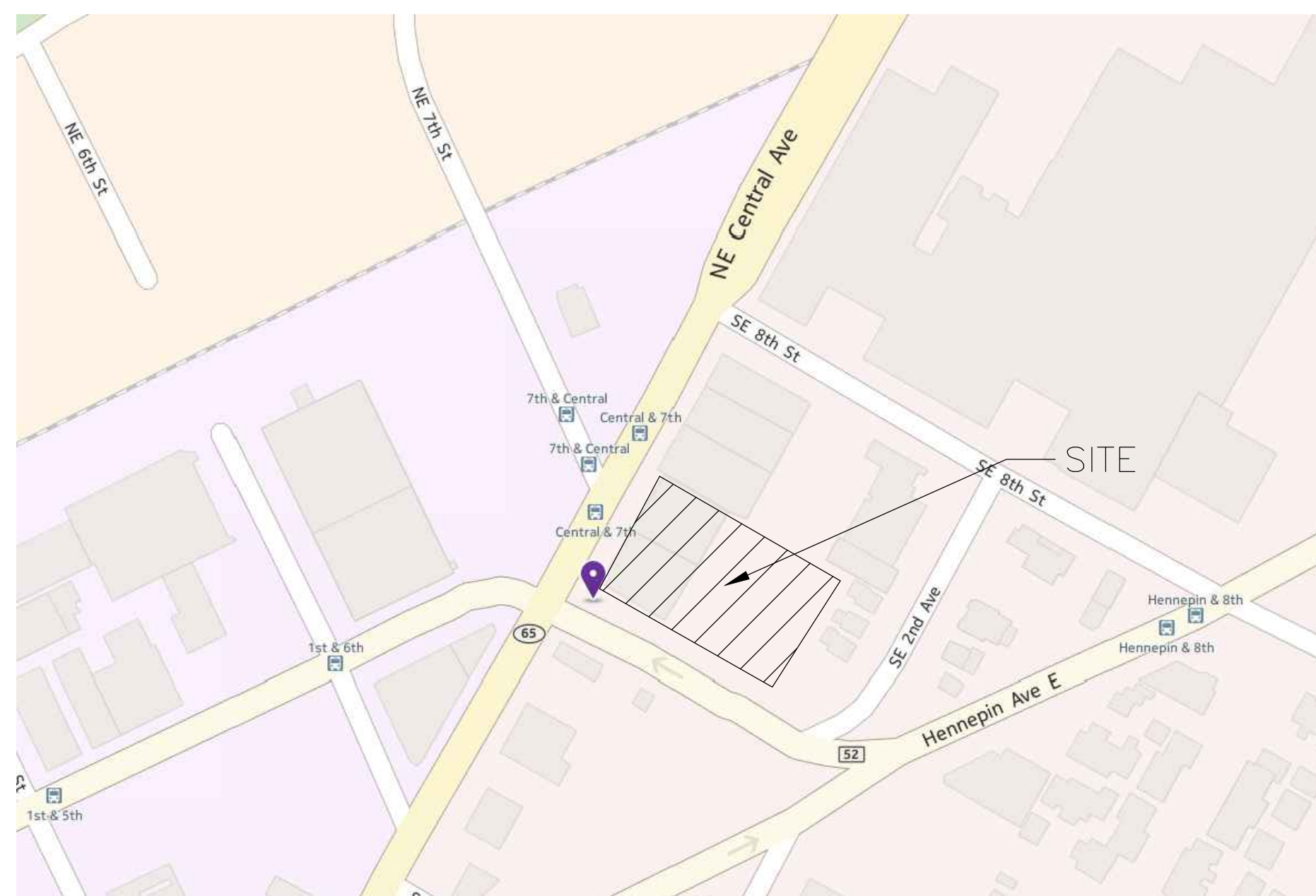


2 PROPOSED CONDITIONS
1"=30'

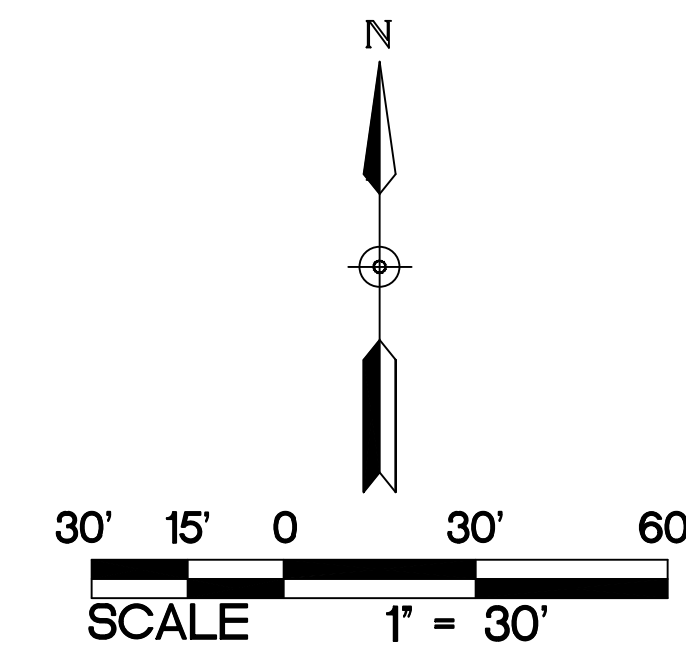
DRAINAGE AREA	EXISTING DRAINAGE AREAS			Q OUT (CFS) STORM EVENT			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-YEAR (2.85")	10-YEAR (4.26")	100-YEAR (7.45")	
1	0.21	0.06	0.27	0.95	1.51	2.77	STORM SEWER
2	0.22	0.00	0.22	0.91	1.37	2.40	STORM SEWER
3	0.08	0.01	0.09	0.37	0.57	1.02	STORM SEWER
4	0.00	0.01	0.01	0.03	0.08	0.08	STORM SEWER
5	0.01	0.01	0.02	0.05	0.09	0.18	OFFSITE
TOTAL	0.51	0.07	0.61	2.29	3.57	6.45	

DRAINAGE AREA	EXISTING DRAINAGE AREAS			Q OUT (CFS) STORM EVENT			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-YEAR (2.85")	10-YEAR (4.26")	100-YEAR (7.45")	
1	0.21	0.06	0.27	0.95	1.51	2.77	STORM SEWER
2	0.22	0.00	0.22	0.91	1.37	2.40	STORM SEWER
3	0.08	0.01	0.09	0.37	0.57	1.02	STORM SEWER
4	0.00	0.01	0.01	0.03	0.08	0.08	STORM SEWER
5	0.01	0.01	0.02	0.05	0.09	0.18	OFFSITE
TOTAL	0.51	0.07	0.61	2.29	3.57	6.45	

STORMWATER RUNOFF SUMMARY			
	2-YR STORM (2.85") RUNOFF (CFS)	10-YR STORM (4.26") RUNOFF (CFS)	100-YR STORM (7.45") RUNOFF (CFS)
EXISTING SITE	###	###	###
PROPOSED SITE	2.29	3.57	6.45



VICINITY MAP



ABBREVIATIONS	
BLDG	Building
BMP	Best Management Practice
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
W.O.	Washout

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES
 PROVIDE TEMPORARY PROTECTION OR PERMANENT COVER FOR EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 FEET OF A SURFACE WATER, CURB AND GUTTER, CATCH BASIN, OR ANY STORM WATER CONVEYANCE SYSTEM CONNECTED TO ANY OF THE ABOVE WITHIN THE FOLLOWING TIME FRAME:
 THE TIME AN AREA CAN REMAIN OPEN WHEN NOT ACTIVELY BEING WORKED ON:
 SLOPES STEEPER THAN 3:1 - 7 DAYS
 SLOPES 10:1 TO 3:1 - 14 DAYS
 SLOPES FLATTER THAN 10:1 - 14 DAYS
 DITCHES THAT CONNECT TO A SURFACE WATER MUST BE STABILIZED WITHIN 200-FEET FROM THE EDGE OF PROPERTY OR WITHIN 200-FEET TO ANY SURFACE WATER WITHIN 24-HOURS.
 PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.
 SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN.

SEDIMENT AND EROSION CONTROL MAINTENANCE
 PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SIFT FENCING.
 CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ONTO PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.
 CONSTRUCTION SITE DEWATERING: SITE WATER DISCHARGE DUE TO CONSTRUCTION DEWATERING OPERATIONS SHALL BE MONITORED FOR SEDIMENTATION AND TREATED PRIOR TO DISCHARGE TO PUBLIC STORM SEWERS.
 TREATMENT OF DEWATERING DISCHARGE MAY BE ACCOMPLISHED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE BMPs.

GRADING & SOILS
 SITE SOILS CONSIST OF SILTY SAND AND POORLY GRADED OVER WEATHERED LIMESTONE. THERE IS ALSO APPROXIMATELY 2 TO 11 FEET OF VARIOUS FULL SOILS AT THE SURFACE OF THE SITE.
 THE WEATHERED BEDROCK IS LOCATED APPROXIMATELY 14 TO 20 FEET BELOW EXISTING ELEVATIONS.

POLLUTION PREVENTION MANAGEMENT MEASURES
 SOLID WASTE DISPOSED PROPERLY; COMPLY WITH MPCA REQUIREMENTS.
 HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.
 EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED.
 NO ENGINE DEGRASING ALLOWED ON-SITE.
 CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.

INSPECTIONS
 EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.
 STABILIZED AREAS: ONCE EVERY 30 DAYS.
 FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
 RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

AGENCY CONTACTS
 CITY OF MINNEAPOLIS
 SURFACE WATERS AND SEWERS
 1911 EAST 26TH STREET
 MINNEAPOLIS, MN 55407
 PHONE: (612) 873-2405
 MINNESOTA POLLUTION CONTROL AGENCY
 520 LAFAYETTE ROAD
 SAINT PAUL, MN 55150
 PHONE: (651) 296-6300

FINAL STABILIZATION
 STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY)
 DRAINAGE DITCHES STABILIZED.
 ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMPs REMOVED.
 CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

MECHANICAL AND NON STORMWATER DISCHARGES, EXISTING AND PROPOSED
 1. WATER LINE FLUSHING
 2. LANDSCAPE IRRIGATION
 3. FOUNDATION DRAINS
 4. AIR CONDITIONING CONDENSATION
 5. FOOTING DRAINS
 6. LAWN WATERING
 7. STREET WASH WATERS
 8. RESIDENTIAL BUILDING WASH WATERS WITHOUT DETERGENTS.



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Owner:
 Bader/Nolan Development

Project Number

Date 12/6/2019

NOT FOR CONSTRUCTION

Date

Revision

Rev. No.

STORMWATER RUNOFF PLAN

C200

