



WEST POST

Design Standards & Guidelines

Development: WEST POST

Location: Alaska Road South @ Frank Road – Belgrade, MT.

Date: 08.01.22

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ARC Approval Required

West Post requires each parcel to have ARC Approval Prior to submitting to City of Belgrade for Permit.

See Appendix A: Design Review Application & ARC Approval Form

Also refer to Section 2 - Submittal Review Requirements and Procedures

Project Team

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Section 1 – Introduction

1.1 Development Overview

The following standards and guidelines have been created to establish the vocabulary and design criteria for vertical construction at WEST POST and are based on a commitment to establish a unity of design quality within the mixed-use community development. These standards are provided to enhance the character of the community, making it more appealing to building owners, homeowners, tenants, and visitors.

This development proposes to create different architectural zones for building designs and concepts to unify the diverse uses within the development with common, and often repeated, design elements to broaden and maximize the overall development's appeal to its many users and residents.

Our primary design objectives are to provide:

- A positive visual impression for the daily residents, occupants, and visitors to the mixed-use community.
- A variety of scale, mass, and physical relationships appropriate for the parcel sizes and uses within each architectural zone
- Buildings designs, site layouts and common areas that contribute to the development and become recognized as a positive model for future mixed use, master planned communities within Belgrade and the Gallatin Valley.

The Design Guidelines may be amended from time to time by the Master Developer. No existing improvements constructed in accordance with plans and specifications approved by the ARC will be required to be revised because such standards are thereafter amended.

1.2 Parties involved & Definitions

The Master Developer ("MD"): Developer of the Master Site Plan is WEST POST Development, LLC.

Project Developer ("PD"): Owner / Developer of a single or multiple lots. The Project Developer has the opportunity to contribute to the overall quality of life in the development and the planned growth of this mixed-use, master planned community. With this opportunity comes the obligation to meet requirements and regulations of the development and the requirements of the City of Belgrade.

Property Owners Association ("POA"): The WEST POST Property Owners Association is formed to implement, administer, and enforce the Declaration and other pertinent documents. The members of this group are the property owners. A Board of Directors represents this group and manages business and administrative affairs of the corporation.

Architectural Review Committee ("ARC"): The Architectural Review Committee (ARC) was created by the MD for the purposes of creating, administering, and enforcing the Project Design Standards and Guidelines for the proposed developments within WEST POST. The Architectural Review Committee reviews all development applications for adherence to the applicable guidelines and provides written recommendations, approval or denials to the applicant. The ARC will be the interpreter of the Design Guidelines and their decisions in matters relating to the Design Guidelines shall be final. If the application is denied, the ARC will outline the reasons for denial. The applicant may then re-apply. No applicant can apply to the City of Belgrade prior to receipt of the ARC's written approval.

The ARC review process is conducted in addition to City of Belgrade required applications and permits.

City of Belgrade (“COB”)

Section 2 – Submittal Review Requirements and Procedures

2.1 Design Review Process

No exterior construction, alteration, addition, or renovation of any building, structure, parking lot, sign, landscape feature, or other Improvement of any kind or nature shall be commenced until it has been reviewed and approved in writing by the ARC.

All development plans shall be reviewed and approved by ARC according to the following phased process.

1. **Concept Review** – PD will submit concept building elevations and site plan to ARC for review. This should be submitted early in the design process to get overall comments on the project.
2. **Site Plan Review** – PD will submit Final Site Plan, including building plans & elevations. Submit to ARC PRIOR to submitting for building permit. Provide enough time for ARC review and time to implement requirements stated by the ARC review.

Copies

The applicant is to submit a digital copy of documents to the ARC for each approval phase.

Review

When application is submitted The Architectural Review Committee will review and will have comments returned 2 weeks after full application received.

Fees

\$2,500 made payable to WEST POST Property Owner’s Association is due with concept review submittal. If a project does not continue beyond concept review, \$2000 will be returned to the PD.

2.2 Concept Review

Concept Review is to provide general feedback to the applicant regarding development plans. Concept review should be submitted at the end of Schematic Design (early in the design process).

The follow items should be submitted by the PD for ARC Concept Plan Review:

1. \$2500 Review Fee
2. General Project Information (location, owner, contact info, etc)
3. Brief Narrative to describe the project
4. Schematic Building Elevations & Plans
5. Site Plan Layout

The ARC will review the Concept Application and return it to the applicant with the Committee’s response and comment within ten (10) business days after complete submittal.

2.3 Site Plan Review

Site Plan Review is to be submitted PRIOR to submitting for City of Belgrade Building Permit. Provide enough time to allow for ARC review and incorporation of ARC comments into the final drawing set prior to submitting for Building Permit.

Site Plan Review applications shall include the following:

1. Complete Drawing Set & Application, including:
 - a. City of Belgrade Building Permit & Land Use Application Form
 - b. Site Plan including all civil drawings.
 - c. Building Plans and Elevations
 - i. Must include exterior color material board & color elevations.

The ARC shall review the Site Plan Application and return it to the applicant marked 'Approved', or 'Corrections Required' with the Committee's applicable comment.

Section 3 – Site Guidelines

3.1 Site Design Overview

The intent of these guidelines is to establish a framework upon which to the base site design will include site layout, circulation and parking, site drainage, site landscape, utilities, site lighting and site signage.

3.2 Site Design Guidelines

Site improvements shall meet the following objectives.

1. General Site Guidelines for all properties

- All properties are to follow the City of Belgrade Zoning Regulations
- Buildings are encouraged to be placed near the street and parking layout to the side or rear of the lot.
- Encourage crime prevention designs through environmental design
- Front yards are encouraged to be a focal of each property and contribute to the aesthetic of the entire development.
 - Exterior site features, such as benches & planters, are encouraged to be incorporated with each building pad site and should be unique in design and materials but complement the building they support.

3.3 Site Signage

All site signs and sign lighting must comply with City of Belgrade requirements.

3.4 Access Circulation and Parking

The following guidelines address general access, circulation, and parking planning:

1. Parking requirements are per the PUD requirements.
2. Dead end bays should be minimized and restricted to specific parking needs or site limitations. Drive aisles shall remain unobstructed and accommodate turning movements required by emergency vehicles, delivery vehicles, garbage and recycling trucks and snow removal equipment as required.

3. **The Development encourages owners to pursue zero lot line side yards and coordinate with adjacent properties to layout parking and street access. Another benefit may also become coordinated refuse enclosures.**

3.5 Fences

The following guidelines direct the design of site fences:

1. Fences shall meet City of Belgrade UDC requirements
2. Per UDC, all storage for commercial operations must be conducted within a completed enclosed building or within an area completely enclosed, except for access points, by a wall, fence, hedge or landscape screen at least six feet in height.
3. Fences that are used for screening commercial operations, as described above, are required to be opaque in nature, require little or no maintenance, and not degrade within the elements (sun, wind, snow...).
4. Fence materials must be approved by the ARC.
5. Fences, walls and hedges be located on lot lines, provided they do not interfere with installed utilities and comply with the following height requirements:
 - a Do not exceed six feet in height in any required rear or required side setback. Fences exceeding six feet in height must be subject to the minimum setback requirements of the district in which such fences are located. Decorative post caps may exceed the height limit by no more than one additional foot. Fences may not exceed eight feet in height.
 - b For front setback a fence cannot exceed four feet in height.
 - c Fences located in the rear or side setback of properties adjoining any city linear park must have a maximum height of four feet.
6. Every fence or wall must be maintained in a condition of reasonable repair and must not be allowed to become and remain in a condition of disrepair, damage or unsightliness, or constitute a nuisance, public or private.
7. No barbed wire or similar sharp fencing is permitted. No electric fencing is permitted.
8. Any fence or wall constructed so as to have only one elevation "finished," which must be designed as not having its supporting members significantly visible, must be erected such that the finished elevation of the fence is exposed to the adjacent property.
9. All refuse containers, utility, wells, storage facilities or other similar supportive utility must be screened from view by a wall, fence, hedge or landscape screen. All storage for commercial operations must be conducted within a completed enclosed building or within an area completely enclosed, except for access points, by a wall, fence, hedge or landscape screen at least six feet in height.

3.6 Pedestrian Routes

West Post has created pedestrian sidewalks and paths around the development. All buildings need to add pedestrian paths that connect into this network as required by UDC.

The following guidelines direct the design of general pedestrian access elements:

1. Pedestrian walkways should be accessible, safe, and convenient and every main entrance into a building is required to have a pedestrian access to the sidewalk located in the right-of-way.
2. Gutters and snow guards are to be used on any roof over a pedestrian path to provide safe environment.

3.7 Site Grading and Drainage

The following guidelines direct the design of site grading and drainage elements:

1. Design finished grades to provide positive drainage of all lawns and paved areas. Use the natural topography and/or other desirable landforms or features to inform the project design.
2. Surface water shall be directed away from buildings per applicable building codes.
3. Parking lot slopes shall be a minimum of .05% and maximum of 4%.
4. The slope of grass areas should be between 1.5% and 6%.
5. Preserve all useful topsoil. Stockpile topsoil or other materials to not interfere with drainage before, during, or after construction.
6. Erosion control methods shall be utilized to prevent siltation onto adjacent properties.
7. Pedestrian hardscapes and plazas are encouraged to have adequate permeable areas to retain runoff from these areas.
8. Where practical, runoff from building roofs is encouraged to be discharged away from paved or hardscaped areas or encouraged to be discharged into underground drywells.
9. All stormwater must be retained and dealt with within the property boundary. Storm water retention areas must be landscaped appropriately to make them attractive all year long.

3.8 Utilities, Communications and Refuse

The following are general utilities, communications and refuse guidelines:

Water and Sewer

1. Water supply for drinking and fire protection and sewage collection shall be provided by City of Belgrade Municipal System.
2. Plans for water and sewer utilities shall be approved by the City of Belgrade.
3. Water for landscape irrigation should be provided by storm water, re-use systems and lastly supplied by City municipal systems.
4. If the site includes any natural water features, consider ways to incorporate them into project design. Use project drainage systems as opportunities to add interest to the site through water-related design elements.
5. **Storm water surface collection areas that are located along the street are required to only cover 1/3 of the lot street frontage unless the surface ponds are designed twice as large (2 x design SF) allowing these areas to look like landscaped areas rather than (empty) ponds.**
6. Underground storm water collection is encouraged

Solid Waste

1. Solid waste shall be collected within enclosed on-site containers, screened from view, and providing adequate collection truck access, per City of Belgrade UDC. It is encouraged to coordinate with adjacent properties and share refuse enclosures. The design of trash enclosures shall be in conformance with Building Design Guidelines.
2. Recycling is encouraged and materials stored for pick-up are to be stored within enclosures or screened from view.

Franchise utilities

1. All services shall be installed underground.
2. Aboveground utility service structures such as transformers and junction boxes need to be coordinated with the least obtrusive, most accessible location possible.
3. Meters are to be placed on the least publicly viewed side of each building or screened and/or painted so they are not easily seen and are to be designed into the building architecture.
4. All satellite antennas & dishes are to be screened so they are not seen from any public way.

3.9 Site Lighting

The following design guidelines govern the design of lighting for drive aisles, parking, plaza areas and pedestrian routes. Building lighting is addressed herein, in Section 5 - Building Design.

1. Site lighting should maintain appropriate light levels to provide a sense of clarity and safety for both vehicular and pedestrian movement.
2. Incorporate security site lighting with the least number of fixtures possible.
3. Pole fixtures are encouraged to be the primary and only light source other than fixtures mounted on the building.
4. **Pole mounted fixtures must match existing decorative street fixtures in style, lighting source, bases, max of 25' tall, and black color.**
5. Development suggests the use of motion sensors for security lighting late at night.
6. All site lighting shall conform to City of Belgrade standards
7. All exterior lighting is to be 100% cut-off, night sky compliant.

Section 4a – Landscape Design Guidelines (Commercial Lots)

4.1 Landscape Design Overview

The intent of the landscape design guidelines is to ensure that site and landscape development is consistent across the Master Site; to encourage sustainable design that is complimentary to the natural environment of the region; and to provide positive experiences for adjoining occupants.

These guidelines provide: the buffering of properties from wind and snow; the screening of parking and pedestrian areas; the enhancement of entry areas to each site and to individual buildings; the conservation of water and the use of native or adapted plant species; and other landscape design techniques with the goal of creating an inviting environment.

General Landscape Design Guidelines

1. All landscape designs shall comply with minimum standards for City of Belgrade.
2. All landscape designs within the development shall be drawn and stamped by a Landscape Architect Licensed by the State of Montana, or professional landscape designer with demonstrated experience with native and Montana adapted plants.
3. Native, water wise and plant species adapted to our climate will be primarily used.
4. Ensure proper erosion control techniques: All disturbed areas must implement erosion control techniques to ensure on-site and off-site protection. Slope stabilization is required on all slopes 3:1 and greater with Best Management Practices (BMP'S) implemented as necessary.
5. Ensure active weed management practices. All installed landscapes must have a maintenance plan in place that ensures that noxious weeds are not spread to adjacent properties.
6. Conflicts with utilities: All landscape plans shall clearly illustrate all proposed utilities and infrastructure, both in plan and legend. All landscaping and irrigation shall begin only after a thorough utility location survey is completed. All planting and irrigation within a utility easement shall begin only after discussing their location with the appropriate utility provider.
7. Landscape Remodels: All landscape remodel projects are to be consistent with the design guidelines and City of Belgrade Code.

4.2 Vegetation Trees and Shrubs

1. Tree and shrub species shall be selected based upon species diversity, adaptability, hardiness, and maintenance requirements. Tree selections shall be from the West Post approved tree list in the appendix.
2. All planting plans and species will be required to obtain written approval from the Architectural Review Committee (ARC). See approved plant list.

4.3 Parking Lot Landscaping

3. This development requires that parking lots be screened from adjacent street frontages with landscape plantings (mix of shrubs, trees and perennials) that are a minimum of 5' in width and 4' in height. Plants that are directly adjacent to parking lots must be able to withstand snow and plow activity. It is recommended to not plant woody shrubs within 6' of parking lot in areas that will receive snow storage.
4. For every (9) parking spaces, one large canopy tree must be provided within the parking lot or at a minimum of 20' from the perimeter of the parking lot. Thoughtful design will result in the adequate shading of as many parking spaces as possible.
5. Parking islands should be planted with vigorous and drought tolerant ground covers or shrubs that can withstand impacts of snow.



Image: Parking lot landscaping with canopy trees and robust shrub species

Street Tree Landscaping

1. Individual lot owners are responsible for the installation and maintenance of the boulevard directly adjacent to their property. A minimum caliper of 2" is required for all street trees when available. Trees with a caliper size of 1.5"-1.75" will be allowable if necessary.
2. Street trees are to be placed at a minimum of one (1) tree for every 50 lineal feet. See list in appendix for list of approved street and boulevard trees. Trees must be placed outside of sight vision triangles at all intersections and driveways.
3. **The** boulevard is to be planted with a lower water native sod or hydroseeded seed mix and is to be irrigated with the appropriate permanent irrigation system.
4. It is the responsibility of the owner to locate utilities prior to digging, installing, or replacing street trees.

Planting Beds

Planting beds shall be found alongside pedestrian walkways, next to buildings, near site and building entrances, as raised planters and as a backdrop to plazas, patios, and seating areas as required by City of Belgrade Code. Plant design should ensure screening of any exposed foundations, shading of benches and dining tables and creating an interesting experience for pedestrians. It is recommended that larger groupings of robust plants are utilized as opposed to singular species planted at random. Commercial planting areas are to be designed with ease of maintenance in mind. Weed fabric should be utilized in all plant beds except in areas where it is desired to have groundcovers or large areas of continuous planting.

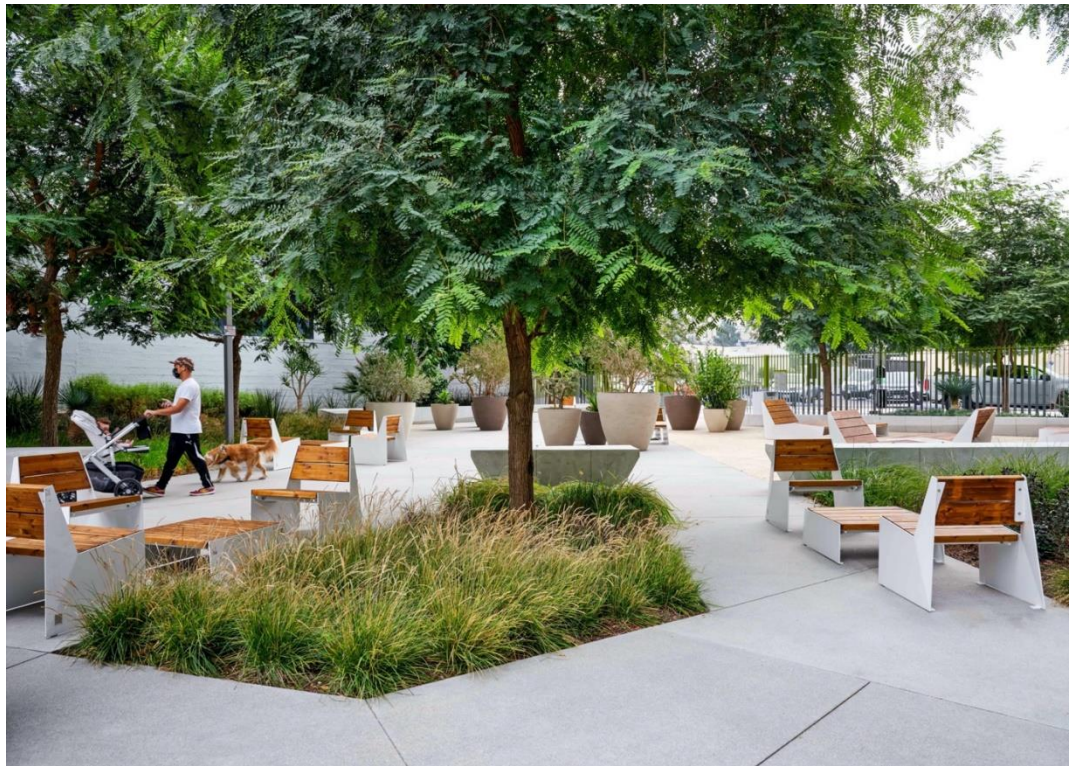


Image: Planting bed adjacent to pedestrian walkways and seating areas. Planting provides both shade and visual interest

Screening and Buffering

Screening and buffering shall be used to mitigate conflicts between dissimilar land uses and to disguise unsightly elements as viewed from both within and outside of the site boundaries. All mechanical equipment (including air conditioner condensers, power transformers, TV / phone boxes, etc.) must be screened through landscape or architectural means. All designs must conform to offset requirements by Northwestern Energy and Natural Gas providers.

Native Seeding

The use of native and/or water wise seeding in the rehabilitation of disturbed areas within the site is required.

1. All seed areas must be clearly illustrated on the landscape plan and approved by the ARC prior to installation.
2. The use of supplementary irrigation is required for an establishment period of 3 (three) years in order to promote growth and weed competition.
3. Mechanical weed control along with over seeding may be required for all seed areas. Mechanical and organic methods are preferred to chemical methods.

Commercial Open Space

Plaza spaces are to be created as unique and interesting places for site patrons though the use of vegetation, raised planters, public art, seating and gathering areas, and hardscape materials.

1. Commercial Open Space with amenities shall be provided per City of Belgrade code.



Image: Open space featuring a variety of seating, planters, and shade from trees

Storm water Facilities

All storm water facilities shall be landscaped in accordance with City of Belgrade code.

4.4 Materials

All landscape, hardscapes, and furnishings shall be visually cohesive and utilize colors that blend with the Architecture and natural surroundings. Furniture and hardscape selections shall not include bright, obtrusive colors that cause visual distraction.

4.5 Maintenance

Each property owner is required to contract landscape maintenance services for their entire site.

Warranty

The project developer shall choose a landscape contractor that will install all landscape and irrigation elements with a warranty on all landscaping and irrigation for at least one (1) year.

Irrigation

All landscape areas including parking lots, perimeter landscape treatments, boulevards and rights-of-way, lawn and seeding areas, trees, shrubs, and flowerbeds shall be irrigated with a permanent automatic irrigation system installed by a qualified irrigation contractor. The irrigation system shall be charged in April and winterized no later than October each fall all routine irrigation maintenance is to be performed by a licensed irrigation contractor.

1. Water conservation is encouraged throughout all aspects of landscaping within the development. The use of water-wise plant selection and drought tolerant species selections is encouraged. All landscape plans must clearly indicate per week water use based on plant species requirements.
2. Lawn and seed areas are to be irrigated with permanent overhead watering systems utilizing spray or rotor irrigation heads. Head-to-head coverage is required in all irrigated lawn and seeding areas. All irrigation heads are to be installed at a grade so not to be damaged by maintenance equipment.
3. Perennial plantings are to be irrigated with a designated drip irrigation system and should be adjusted appropriately for plant requirements throughout the growing season.
4. Trees and shrubs are to be irrigated with a designated bubbler or drip irrigation system adjusted appropriately for tree species, maturity, and size. If trees and shrubs are installed within the confines of a perennial planting area with an established drip irrigation system, the incorporation of these trees and shrubs will be addressed on an individual basis and assessed by a landscape professional.

4.6 Vegetation

All maintenance services are to be performed by a landscape professional contracted by the owner. Routine and thorough weeding, mulching, and pruning, along with proper irrigation are the preferred methods for weed control and encouragement of plant growth and health.

1. Trees and shrubs shall be maintained in a healthy state, any tree or shrub showing more than 30% desiccation or damage shall be replaced.
2. Pruning and weeding is to be performed at a pre-established regular interval. All pruning and weeding is to be performed by a landscape professional at the appropriate times throughout the growing season in order to prevent shock to plant material and promote weed competition.
3. Mulch is to be used in all planting beds and around the base of all trees and shrubs planted within lawns and open spaces. Mulch type and depth is to be clearly indicated on landscape plans and is subject to approval by the ARC prior to installation. A sample photo of proposed mulch material is to be submitted to ARC for approval prior to installation.

a. Acceptable natural and stone mulches are as follows:

1. ½" to 1" rainbow rock
 2. 7/8" to 1.5" Big Sky Gold Cobble
 3. Small or Large Rock Bark
 4. Shredded Cedar
 5. Mini Bark Nuggets
 6. Bark Dust / Soil Prep
 7. 1" or smaller Black Basalt rock
 8. ARC approved alternate. Must submittal physical sample to ARC
 9. All rock mulches are to be thoroughly screened and washed prior to installation to deter weed growth.
4. Sod lawn areas are to be maintained at a mowed height no less than 3 inches and be allowed to grow to a height of 4"-4 1/2" between cuttings. Native seed areas should be mowed twice a year, once in May and again in the late fall, with a mow height no less than 6 inches.
5. Fertilization and Pest Control: A predetermined fertilization regiment shall be established by the owner working in conjunction with a landscape professional. All lawn areas, native seeding, trees, shrubs, and perennials shall be fertilized as necessary in order to maintain plant health and promote long term growth. Organic methods of pest control are encouraged, the use of chemical pest control applications on trees, shrubs, perennials, and lawn areas will be allowed if deemed necessary by the landscape maintenance professional with approval from the ARC and applied by a licensed applicator. The use of pollinator friendly pesticides is required and are to be applied in a sustainable and environmentally conscious manner.

Section 4b – Landscape Design Guidelines: Residential

4b.1 Street and Boulevard Trees

1. Individual lot owners shall be responsible for all landscaping of the boulevard area Directly adjacent to their property at the time of occupancy and for the maintenance of the boulevard thereafter.
2. One (1) tree (minimum 2" caliper) shall be planted per fifty (50) feet in the boulevard.

Residential Tree Requirements

1. All single-family residence lots are to plant a minimum of three (3) total trees including required street and boulevard trees, with a caliper size of 2" for all deciduous trees. All tree species are to be chosen from the West Post approved Tree List (See Appendix). Any alternate species must be submitted to the Design Review for review and approval prior to installation.
2. The planting hole shall be at least twice the diameter of the root ball, the roof flare of the newly planted tree invisible and above ground, and there shall be a mulch ring 3'-4' in diameter around each newly planted boulevard tree. One (1) of the minimum three (3) required trees shall be a conifer, and coniferous trees shall not be less than five (5) feet in height.
3. When planting trees on residential lots, owners must consider views and solar access of neighboring properties.

4b.2 Residential Yard Landscape

1. To reduce water demands, each lot must limit lawn grasses to 10-15% of total individual lot area. Allowable lawn areas must be well maintained in order for them to thrive and use fewer resources. Regular fertilizing, aeration and weekly cutting with a sharp blade are all critical to lawn success. Lawns should be maintained at no less than 3" in order to keep the soil shaded.
2. Mulching, composting, and the use of efficient irrigation methods are all encouraged.
3. All yard areas that are not covered by lawn grasses should consist of drought tolerant landscaping. Planted beds are encouraged and may consist of areas of rock or wood mulch, and a mix of perennials, shrubs, and ornamental grasses. Weed fabric should be utilized in all planted bed areas where groundcovers are not desired.
4. Perimeter mixed planting beds are required in all areas of exposed foundation. Planted beds that hold the purpose of screening exposed foundations should not be less than 4' in width.
5. Mulch is to be used in all planting beds and around the base of all trees and shrubs planted within lawns and open spaces. Mulch type and depth is to be clearly indicated on landscape plans and is subject to approval by the ARC prior to installation. A sample photo of proposed mulch material is to be submitted to ARC for approval prior to installation.

a. Acceptable natural and stone mulches are as follows:

- ½" to 1" rainbow rock
- 7/8" to 1.5" Big Sky Gold Cobble
- Small or Large Rock Bark
- Shredded Cedar
- Mini Bark Nuggets
- Bark Dust / Soil Prep
- 1" or smaller Black Basalt rock
- ARC approved alternate. Must submittal physical sample to ARC

All rock mulches are to be thoroughly screened and washed prior to installation to deter weed growth.



Image: Example of yard with minimal lawn and mixed planting beds

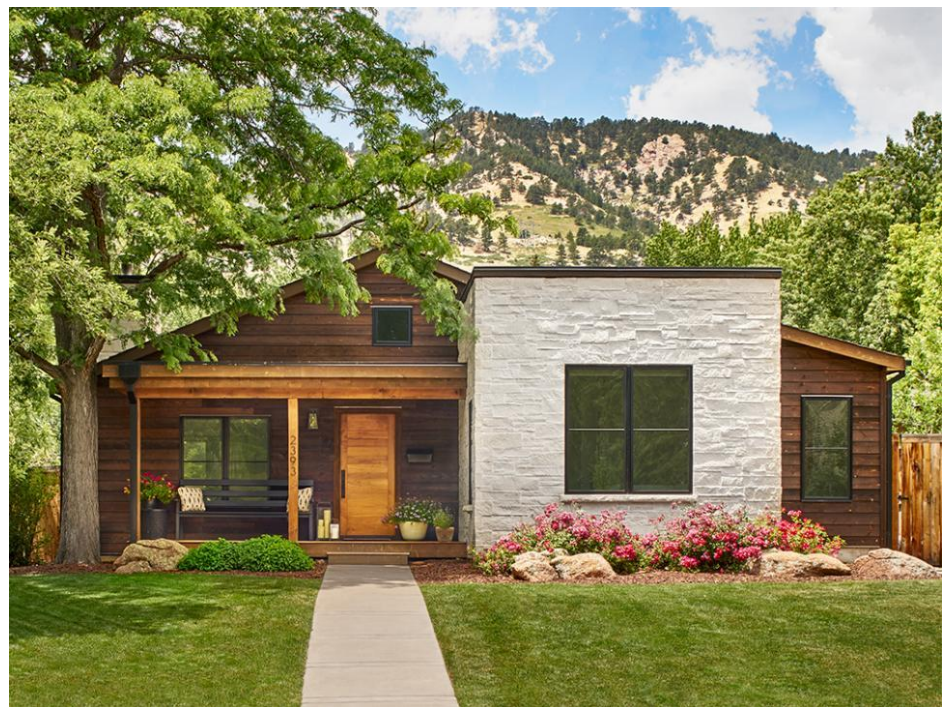


Image: Simple, mixed landscape beds with a minimal lawn

4b.3 Hardscapes

1. Selection of hardscape materials should favor natural materials such as untreated wood, stone and stamped or broom finish concrete. Pressure treated lumber and railroad ties should be avoided due to their toxicity.
2. All driveways and parking areas shall be surfaced with asphalt or concrete.

4b.4 Irrigation

All landscape areas within residential lots including, perimeter landscape treatments, boulevards and rights-of-way, lawn and seeding areas, trees, shrubs, and flowerbeds shall be irrigated with a permanent automatic irrigation system installed by a qualified irrigation contractor. The irrigation system shall be charged in April and winterized no later than October each fall all routine irrigation maintenance is to be performed by a licensed irrigation contractor.

1. Water conservation is encouraged throughout all aspects of landscaping within the development. The use of water-wise plant selection and drought tolerant species selections is encouraged. All landscape plans must clearly indicate per week water use based on plant species requirements.
2. Lawn and seed areas are to be irrigated with permanent overhead watering systems utilizing spray or rotor irrigation heads. Head-to-head coverage is required in all irrigated lawn and seeding areas. All irrigation heads are to be installed at a grade so not to be damaged by maintenance equipment.
3. Perennial plantings are to be irrigated with a designated drip irrigation system and should be adjusted appropriately for plant requirements throughout the growing season.
4. Trees and shrubs are to be irrigated with a designated bubbler or drip irrigation system adjusted appropriately for tree species, maturity, and size. If trees and shrubs are installed within the confines of a perennial planting area with an established drip irrigation system, the incorporation of these trees and shrubs will be addressed on a per case basis.

4b.5 West Post Approved Tree and Plant Lists

Street Tree Planting List-

Acer ginnala	Amur Maple	
Acer platanoides	Norway Maple	'Emerald Lustre', 'Royal Red'
Acer rubrum	Red Maple	'Autumn Spire', 'Helena', 'Scarlet Jewel'
Acer saccharum	Sugar Maple	
Acer tataricum	Tatarian Maple	'Hot Wings'
Aesculus glabra	Ohio Buckeye	
Amelanchier x grandiflora	Apple Serviceberry	
Celtis occidentalis*	Common Hackberry	
Crataegus species	Hawthorn	thornless species
Gleditsia triacanthos var. inermis	Honeylocust	'Imperial', 'Northern Acclaim', 'Skyline'
Maackia amurensis	Amur maackia	
Malus spp.	Flowering Crabapple	'Spring Snow'
Prunus maackii	Amur Chokecherry	
Quercus macrocarpa*	Bur Oak	
Quercus rubra	Northern Red Oak	
Sorbus thuringiaca or decora	Mountain Ash	
Syringa reticulata	Japanese Tree Lilac	Ivory Silk'
Tilia americana	American Linden	'Bailyard', 'Boulevard', 'Lincoln', 'Redmond'
Tilia x flavescens 'Dropmore'	Dropmore Linden	'Dropmore'
Tilia cordata	Littleleaf Linden	'Greenspire'
Tilia flavescens	Glenleven Linden	'Glenleven'
Tilia mongolica	Mongolian Linden	'Harvest Gold'
Ulmus americana	Prairie Expedition elm	'Lewis and Clark'
Ulmus davidiana var. japonica	Japanese Elm	'Discovery'
Ulmus 'Morton Glossy'	Triumph Elm	'Morton Glossy'
Ulmus japonica x Ulmus wilsoniana	Accolade Elm	'Morton'

Street Tree Planting List-

<i>Acer ginnala</i>	Amur Maple	'Embers', 'Flame'
<i>Acer x freemanii</i>	Freeman Maple	'Autumn Blaze', 'Sienna Glen'
<i>Acer platanoides</i>	Norway Maple	'Emerald Lustre', 'Helena', 'Royal Red'
<i>Acer rubrum</i>	Red Maple	'Autumn Spire', 'Scarlet Jewel'
<i>Acer saccharum</i>	Sugar Maple	'Green Mountain'
<i>Acer tataricum</i>	Tatarian Maple	'Hot Wings'
<i>Aesculus glabra</i>	Ohio Buckeye	
<i>Alnus hirsuta</i>	Manchurian Alder	'Harbin'
<i>Amelanchier x grandiflora</i>	Apple Serviceberry	'Autumn Brilliance', 'Princess Diana'
<i>Betula papyrifera</i> *	Paper Birch	
<i>Betula platyphylla</i>	Asian White Birch	'Dakota Pinnacle'
<i>Caragana arborescens</i> 'Pendula'	Weeping Caragana	'Pendula'
<i>Celtis occidentalis</i> *	Common Hackberry	
<i>Crataegus ambigua</i>	Russian Hawthorn	
<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	
<i>Crataegus laevigata</i>	Smooth Hawthorn	'Crimson Cloud'
<i>Crataegus x mordenensis</i>	Hawthorn	'Snowbird', 'Toba'
<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Honeylocust	'Imperial', 'Northern Acclaim', 'Skyline'
<i>Maackia amurensis</i>	Amur Maackia	
<i>Malus</i> spp.	Flowering Crabapple	Varieties with small, persistent fruit and fire blight resistant
<i>Prunus maackii</i>	Amur Chokecherry	
<i>Prunus padus</i> var. <i>commutata</i>	Mayday Tree	
<i>Prunus ussuriensis</i>	Ussurian Pear	'Mountain Frost', 'Prairie Gem'
<i>Prunus virginiana</i> *	Chokecherry	'Schubert'
<i>Quercus macrocarpa</i> *	Bur Oak	
<i>Sorbus alnifolia</i>	Korean Mountain Ash	
<i>Sorbus decora</i>	Showy Mountain Ash	
<i>Sorbus x hybrida</i>	Oakleaf Mountain Ash	
<i>Syringa reticulata</i>	Japanese Tree Lilac	'Ivory Silk', 'Snowdance'
<i>Tilia americana</i>	American Linden	'Boulevard', 'Lincoln', 'Redmond'
<i>Tilia cordata</i>	Littleleaf Linden	'Greenspire'
<i>Tilia x flavescens</i> 'Dropmore'	Dropmore Linden	'Dropmore'
<i>Ulmus</i> 'morton glossy'*	Triumph Elm	
<i>Ulmus davidiana</i> var. <i>japonica</i>	Japanese Elm	'Discovery'

Evergreen Tree Planting List-

Juniperus scopulorum*	Rocky Mountain Juniper
Larix occidentalis	Western larch
Picea abies	Norway Spruce
Picea engelmannii*	Engelmann Spruce
Picea glauca var. densata	Black Hills Spruce
Picea glauca 'Pendula'	Weeping white spruce
Picea pungens	Colorado Spruce
Picea pungens 'Iseli fastigiata'	Iseli fastigiata blue spruce
Pinus aristata	Bristlecone Pine
Pinus flexilis 'Vanderwolf Pyramid'	Vanderwolf Pine
Pinus nigra	Austrian Pine
Pinus ponderosa*	Ponderosa Pine

Shrub Planting List-

<i>Acer ginnala</i>	Amur maple	
<i>Alnus incana</i> subsp. <i>tenuifolia</i> *	Thinleaf Alder	
<i>Amelanchier alnifolia</i> *	Saskatoon Serviceberry	
<i>Arctostaphylos uva-ursi</i> *	Kinnikinnick	
<i>Aronia melanocarpa</i>	Glossy Black Chokeberry	'Iroquois Beauty', 'Viking'
<i>Artemisia cana</i> *	Silver Sagebrush	
<i>Artemisia tridentata</i> *	Big Sagebrush	
<i>Berberis thunbergii</i>	Japanese Barberry	'Burgundy', 'Cabernet', 'Concorde', 'Crimson Pygmy'
<i>Caragana</i> spp.	Peashrub	
<i>Ericameria nauseosa</i> *	Yellow Rabbitbrush	
<i>Cornus sericea</i>	Redosier Dogwood	'Arctic Fire', 'Bailey', 'Cardinal', 'Isanti'
<i>Salix</i> spp.	Willow	
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	
<i>Cotoneaster lucidus</i>	Peking Cotoneaster	
<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	
<i>Elaeagnus commutata</i> *	Silverberry	
<i>Euonymus alatus</i>	Burning Bush	
<i>Euonymus alatus</i> 'Compactus'	Dwarf Burning Bush	'Compactus'
<i>Forsythia</i> spp.	Forsythia	'Meadowlark'
<i>Hydrangea arborescens</i>	Smooth Hydrangea	'Annabelle'
<i>Hydrangea paniculata</i>	Panicle Hydrangea	'Tardiva'
<i>Lonicera involucrata</i> *	Twinberry Honeysuckle	
<i>Lonicera</i> spp.	Honeysuckle	'Honeyrose'
<i>Mahonia repens</i> *	Creeping Mahonia	
<i>Philadelphus lewisii</i> *	Lewis' Mock Orange	
<i>Physocarpus malvaceus</i> *	Mallow Ninebark	
<i>Physocarpus opulifolius</i>	Ninebark	'Dart's Gold', 'Diabolo', 'Summer Wine'
<i>Potentilla fruticosa</i> *	Potentilla	
<i>Prunus besseyi</i> *	Sandcherry	'Pawnee Buttes'
<i>Prunus tomentosa</i>	Nanking Cherry	
<i>Ribes</i> spp.	Currant	
<i>Rhus</i> spp.	Sumac	
<i>Rosa</i> spp.	Rose	
<i>Spiraea</i> spp.	Spirea	
<i>Syringa</i> spp.	Lilac	
<i>Viburnum</i> spp.	Viburnum	

Section 5 – Principles of Design (Development Wide)

The following are basic Principles of Design which serve as the basis of design at West Post. These principles are required building blocks to maintain the quality of design expected at West Post. Each project will be evaluated based on these principles by the West Post ARC. This evaluation will serve as a litmus test for the acceptability of the presented designs.

5.1 Site Evaluation and Design

The beginning of each design shall begin with site evaluation. This evaluation should include careful consideration of solar orientation, wind/weather patterns, relationships to prominent views, relationships to neighboring view, and engagement of the street edge. Attention should be given to drainage patterns of the site, assuring that water is not ushered onto adjacent properties. Designs shall consider interaction with neighboring properties such that excessive shading caused by structure does not fall onto adjacent properties. Landscape Design considerations will be a critical component to successful site design.

5.2 Scale

Design elements should be of a variety of scale, create a diverse and interesting composition. Larger volumes should be broken down into smaller elements, addressing the pedestrian scale. Homes should be scaled to fit their associated property, as well as the personality of the design concept or style.



5.3 Rhythm

Architectural design elements of the same scale which are repeated on a regular basis create rhythm and should be employed when appropriate. Windows, structural supports, color, exterior light fixtures, and building massing all have the potential to contribute to successful rhythm and ultimately design.



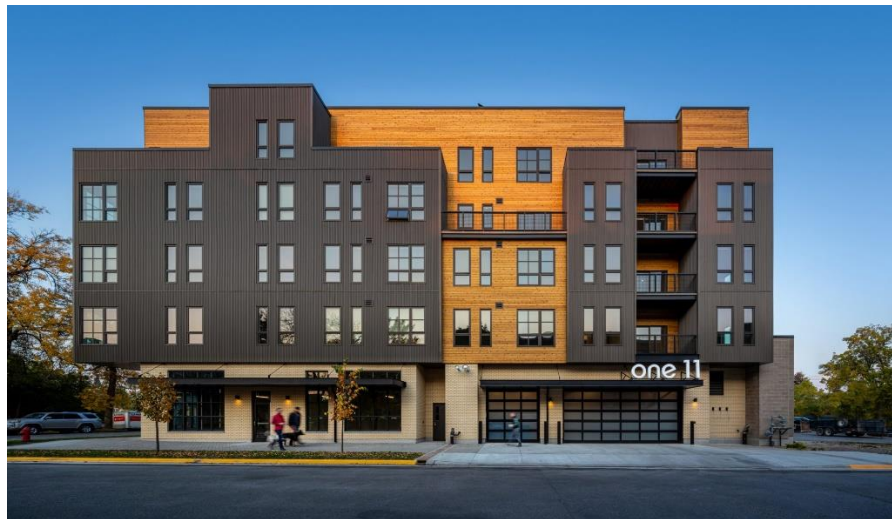
5.4 Proportion

Proportion is the relationship of a part to the whole. Proper proportion results in balance, where one element does not unnecessarily dominate another element. Elements such as windows and door should be proportionate to the wall in which they reside. Additionally, rooms should be proportionate to the functions they serve. (A bathroom should not be the same size as a great room). The end result of properly proportioned building elements is harmony and balance.



5.5 Balance

Proper balance is an equal distribution of weight, or in the case of buildings, design across an element. Homes should be designed holistically so as to create interest across all aspects of the home, not just one face of the home. There should be a focal point to a balanced design, with supporting design elements across the remainder of the design. Balance is largely attributable to building masses and their size relationships to other building masses.



5.6 Color

The homes within West Post are intended to be a variety of colors. Exterior wall colors used shall be tones which harmonize and complement the surrounding site and neighboring buildings. Trim offers an opportunity to be more colorful and contrasting in order to add personal flair and visual interest. Wall colors shall not be applied in a way that creates horizontal bands of color. Colors shall be applied to volumes of built elements. Color schemes shall be unique from the two directly adjacent properties in each direction.

5.7 Texture and Shadows

Home designs in West Post should make efforts to create variety through texture. Textures should not be overly emphasized as this can create an excess of visual stimulation and be detrimental to design. Texture can also be used to create variety with a limited color palette, utilizing shadows as a design element. Shadow should be employed to create dramatic effects of contrast. A few examples of this include the use of deep eaves, deep window trim, and use of materials.



5.8 Materiality

Exterior materials should emphasize the high quality of homes that will be designed for West Post. Materials shall be complementary to one another and harmonious. Application of materials should be considered artfully. Materials shall not be placed to create horizontal bands of material across the building. Acceptable wall cladding materials are natural and manufactured stone and brick, wood siding (painted or stained), cementitious siding (painted), and stucco. Metal siding may be used in some applications but will be scrutinized on level of quality and should not be considered the primary exterior material. Vinyl Siding and T1-11 plywood siding will not be allowed anywhere in West Post. All material transitions shall occur at an inside corner to prevent the “painted on materials” look.

5.9 Design Integrity

Design Integrity refers to the positive influential impression the home leaves on a viewer. Homes that comply with the previously referenced Principles of Design will result in a home with Design Integrity.



Section 6 – Building Design (Commercial & Multi-Family Housing)

The Section 5 Guidelines apply to the following blocks: Block 5, Block 6, Block 7, Block 10

6.1 Building Design Overview

The intent of these guidelines is to establish a basis for the development to have a cohesive nature where buildings complement one another

These guidelines are intended to describe a design approach that will result in a diverse yet compatible set of buildings that support the developments design goals.

Building Design Objectives

The following building design objectives should aid all architectural design decisions:

1. Building design should respond to the site's architectural zone, placement on the site and the surrounding structures.
2. All buildings should be logically and coherently designed such that all building components have an identifiable purpose.

Professional Competence

All building design shall be designed by or under the supervision of, and stamped by, an Architect licensed to practice in the State of Montana.

6.2 Dimensional Considerations Building Massing and Articulation

Visual relationships and tactile characteristics contribute in large measure to how we respond to buildings. The following guidelines advise building form and scale for the development:

1. Facades should transition in scale and level of articulation, so they respond to pedestrian interaction. Consideration should be given to:
 - Increased Glazing Facing Right-of-ways
 - Roofline Modulation
 - Blank Walls Longer than 15 feet
2. Roofline modulation is encouraged and/or the use of sloped and gable roofs in combination with flat roof is recommended to create interest.
3. Subtractive and additive elements of the building form should be composed to create emphasis on important pedestrian areas such as pedestrian and vehicular building entries.

Building Height

Careful consideration should be given to any new construction so that it does not visually overshadow existing buildings.

1. Building height shall be restricted per PUD Zoning requirements.

6.3 Program Considerations Street Frontage

The following guidelines provide specific instruction for building design as it relates to street frontage:

Parcels in Phase 1 have direct exposure to I-90 that results in a condition where there is no 'back of building'. Buildings must be designed such that multiple facades are designed as if they are the "front" of the building.

It is encouraged to incorporate façade articulation on all sides of the building, however awnings, color variance, or other building articulation at pedestrian scale are required at a minimum the elevation that faces a right-of-way, and some portion

of each side of the building nearest the right-of-way, must be designed to also include upgraded materials.

Building Entrances

Individual buildings should contribute to the unity of the development. Building entrances provide an opportunity to implement architectural design components that create an identity unique to each building's use within the development. This is an opportunity to express the function of the building.

1. Main entrances should face the primary circulation path. When a building is fronted on more than one side by major circulation paths or rights-of-way, the main entry should be visible from right-of-way.
2. Main entries should be articulated at the pedestrian-scale and primarily transparent. The use of mirrored glass at building entries is not allowed. Doors constructed of opaque materials are acceptable if clear glass is adjacent to or in close proximity to the door.
3. Main entries shall open directly, or by way of a vestibule, into a publicly accessible portion of the building such as a sales floor, a reception area, or a lobby.
4. Secondary entrances are encouraged on all building facades facing rights-of-ways or for service entrances. Secondary entries shall provide a pedestrian-friendly and transparent entry to encourage interaction, provide safety through environmental design and provide visual interest.
5. Service entries should be compatible with the building design and may be industrial in nature as required for their use. Overhead doors are encouraged not to face the right-of way.

Mechanical Equipment, Refuse & Recycling Containers and Utilities

All mechanical equipment, refuse & recycling containers and utilities must be screened. The following guidelines apply to screening.

1. If feasible, building service areas and mechanical equipment should be integrated into the overall building design such that it is not visible from a public way.
2. Screening should use elements, materials, and forms compatible with the building design and shall be compliant with all guidelines pertaining to building design described herein.

Residential Considerations (expand section)

Residences should maintain a degree of separation from the surrounding commercial development such that users sense that they are transitioning from public to semi-private or private space.

The following guidelines apply to residential uses other than Single Family and Townhomes:

1. Residential entries should be clearly defined and should clearly demark the transition from public or semipublic space to private space.
2. Open space requirements are encouraged to be met through using balconies or rooftop courtyards and meet all standards.

6.4 Building Exterior Materials

The following guidelines provide specific instruction for building materials:

1. Material texture, repetitive structure, window placement, add interest and rhythm to the architectural design.
2. Materials should be applied in a manner that is consistent with their inherent material properties, i.e., concrete should be used to express mass and solidity.
3. Exterior materials must require low maintenance.
4. Installation methods should be carefully detailed to provide clean transitions at corners, between panels, material changes, openings, and the general exposed fastener pattern.

5. When seen from a distance, materials should emphasize the form of the structure. When viewed at a closer range, materials should have a rich textural quality.
6. Exposed structure is appropriate and encouraged but must be authentic and efficient.
7. Patterns should be subtle and repetitive from a distance to enhance the building form.
8. Patterns should be used to create a human scale and increased level of detail when experiencing the building in close proximity
9. All exterior materials are to be approved by the ARC.
Appropriate exterior materials include but not limited to the following:
 - a. Brick
 - b. Colored CMU
 - c. Metal wall panels, metal roof panels, plate steel, exposed steel structure
 - d. Engineered panels–high density laminates or acrylic panels
 - e. Fiber Cement Boards
 - f. Pre-finished anodized aluminum storefront glazing
 - g. Concrete
 - h. Fiber Reinforced Polymer details

Material Colors

The following guidelines inform color selection in materials:

1. Colors used should be consistent with their material properties whenever possible and as applicable to the material performance.
2. Exterior color schemes shall emphasize the natural tones of the surrounding natural environment.
3. Bright colors are appropriate only when used as small building accents or on surfaces occurring within only a portion of the overall primary building façade.
4. Material colors are to be approved by the ARC.

Fenestration & Treatment

The following guidelines inform fenestration type size and placement in building design:

1. Fenestration should establish pattern and rhythm on exterior walls.
2. Large-scale window openings are encouraged at the primary and secondary entrances. The building form should use a combination of fenestration as individual penetrations and larger glazing systems. Careful consideration should be given to both as they relate to the overall façade and building elements.
3. Fenestration should be used to provide adequate natural light to the building interior. It should also provide interest to the development at night with use of artificial lighting to express the building interior.
4. Shading and sheltering devices at windows and building entrances contribute to positive user experiences. They provide protection and safety from the weather and the elements and add human-scaled feel to building facades. Shading devices should read as an integral element to the building form and mass. Connections and finishes should provide an opportunity for creative detailing.

6.5 Building Lighting

Site lighting at pedestrian and vehicular ways and parking areas are addressed in the Site Lighting Section.

The following guidelines pertain to architectural lighting on the exterior of buildings:

Light fixtures should be simple, functional and add may add architectural interest to the building when lit at night.

1. Exterior architectural lighting is encouraged but should be carefully used in only select locations. Exterior architectural lighting should be primarily used for the following functions:
 - a. Lighting should accent building entries while providing code required egress lighting.
 - b. Lighting should illuminate the overall form of significant building elements.
2. Where used to illuminate overall building form of significant building elements, building lighting should accentuate rhythms, textures and patterns established by the building design.
3. Light fixtures should be simple and functional. Concealed fixtures are encouraged. Decorative light fixtures should be used selectively in limited locations and become a building element with a defined base plate. Fixtures should complement the style of the building.
4. The following lighting types are permitted with approximate 4000k color temperature:
 - a. Compact Fluorescent that has appropriate color rendering characteristics.
 - b. LED
5. The following lighting types are not permitted:
 - a. Colored Lamps
 - b. Mercury vapor or High-Pressure Sodium Lamps
 - c. Any type of moving or flashing lighting
6. Neon tube or LED string lighting may not be used as intense visual element for advertising or other purposes. Neon tube or LED string lighting may be used as subtle recessed or concealed light elements for wall washing or back lighting.
7. Light spread from fixtures illuminating a building facade may not significantly spill over onto facades of neighboring lots.
8. All building lighting shall provide 100% cut-off shield, night sky compliant.
9. All exterior façade, site and sign lighting should be programmed to automatically turn off or dim at appropriate time.

6.6 Building Signage

The following are general design criteria for building signage:

1. Sign form, material, texture, and size should be compatible and integrated with the building design.
2. All signs and sign lighting must comply with City of Belgrade requirements.
3. Sign materials should be low maintenance.
4. Signage must be of quality construction.
5. Signage should be proportional to the scale of the overall building facade.

Section 7 – Residential Design (Single Family & Townhouse)

Section 6 Guidelines apply to the following Blocks on the West Post Plat Map:

Block 9, Block 11, Block 12, Block 13

7.1 Residential Design Overview

The intent of these guidelines is to establish a basis for the development to have a cohesive nature where residential neighborhoods complement one another.

The intent of the following Building Guidelines is to provide for a degree of continuity throughout West Post while allowing personal taste in choice of housing style. Furthermore, the intent is to establish standards and theme direction to ensure that the type of housing constructed is eclectic but cohesive while avoiding the appearance of “tract housing.” West

Post is to be neighborhoods of tree lined streets, prominent front porches, and architecturally designed homes that capitalize on the breath-taking views of the Gallatin Valley.

7.2 Allowable Uses, Allowable Areas, and Setbacks

Allowable Uses

All single family and townhouse lots shall be exclusively used for single-family detached and single-family attached residential dwelling units. Home occupations or professions shall be allowed on lots in West Post provided they are listed in allowed uses for the development for the specific block. No advertising or directional signs relating to a home occupation or profession shall be allowed within the private, public, or commonly held lands with West Post.

Setbacks

Each lot in West Post shall have a buildable area determined by the City of Belgrade Zoning Regulations. If a utility easement is greater than the building setback required by the Zoning Regulations, said easement shall apply.

Height Limits

The maximum building height in the residential single family and townhouse areas of West Post shall not exceed 32'. All housing along the southern boundary of the development shall not exceed 2 stories.

Maximum Dwelling Size

Each lot in West Post shall have a buildable area determined by the City of Belgrade Zoning Regulations. If a utility easement is greater than the building setback required by the Zoning Regulations, said easement shall apply.

7.3 Roofs

Roofs are a major element in the building design and therefore will be carefully considered by the West Post ARC. Shape and Form: Traditional gable, hip and shed roof designs used in creative and balanced combinations are encouraged. Secondary roof forms are highly recommended and can be particularly effective when special care is given to their massing and pattern.

In addition, no roof ridgeline shall extend more than (40) feet without interruption by an intersecting roofline, secondary roof structure, or step-down roof in order to break up the overall roof mass.

Roof Articulation Measurement Criteria

Pitches: Roof Pitches shall be chosen to accentuate the individuality of the building design. Careful consideration should be given to the climate and detailing of low slope and flat roof elements if they are to be implemented in the design.

Secondary Roof Structures: Smaller roof forms, dormers, skylights, and chimneys are considered secondary roof structures. Dormers and most other secondary roof structures are encouraged, both to add interest and scale to major roof areas and to make habitable use of the space beneath the roofs. Dormers and other secondary roofs may have gable, hip or shed forms and may be stacked in multiple forms.

Eaves, Soffits, and Fasciae: Eaves may have a horizontal or angled return to the wall. Soffits shall be required to cover all rafter tails and rough framing material, except where framing members are intentionally exposed, finished, and protected from exposure. All roof edges shall have a built-up (2) piece fascia (minimum 5.5":3.5" ratio for built-up fascia).

Skylights: When designing the location of skylights, consideration should be given to both the interior and exterior appearance of the unit. Locations should be coordinated with window and door locations. Skylights shall be located away from the valleys, ridges, and other areas where drifting snow and ice may hinder the performance and safety of the unit.

Solar Collectors: Solar collectors at West Post are encouraged but shall be integrated into the overall roof design and shall be placed parallel with the slope of the roof or wall of the building located so as to minimize their appearance from public right of ways.

Roofing Materials: Roofing materials shall enhance the building and need to be compatible with surrounding West Post parcels. The recommended roofing materials are natural cedar shakes, cedar shingles, metal roofing, fiberglass, and asphalt composition shingles in an “architectural” grade. Other materials may also be considered with written approval from the West Post ARC. 3-tab asphalt shingles and exposed fastener delta rib metal roofing will not be permitted. Roofing material must be compatible with the overall house color scheme.

Gutters, Downspouts, and Flashings: Gutters and downspouts must be of a color and finish that blend with the finish colors of the structure. Expose galvanized material will not be allowed unless pre-patinaed. Painted elements shall have factory applied coatings only. Flashing materials shall be copper, painted, or anodized sheet metal.

Roofing Mounting Equipment and Ventilating Roof Penetrations: All roof-mounted equipment shall be integrated into the overall roof design and screened. All sewer, bathroom, clothes dryer, hot water heater, wood or gas stove, or other roof venting stacks shall exhaust to the exterior of the building, and not into the attic, crawl space or basement. The visibility of all such venting stacks from the street front shall be concealed or minimized, and all such stacks shall be painted a color as similar as possible to the roof material color. Exterior antenna and/or satellite receivers shall not be located where visible from the street and should be screened subject to approval by the ARC.

7.4 Exterior Walls

The exterior walls are one of the most important aesthetic elements in the building design and will reflect the image of the entire subdivision. The scale and proportion of the exterior walls must have inherent interest and diversity and harmonize with the elevated aesthetic of West Post.

Foundation Walls: Exposed concrete foundation walls shall be limited to a maximum eight (8) inches from the bottom of siding to the finished grade. Exposed concrete in excess of eight (8) inches of concrete shall be covered by continuous year-round shrubbery, masonry veneer, textured concrete surfaces or rigid metal that will not oil-can and will stand the test of time.

Materials: Acceptable wall cladding materials are natural and manufactured stone and brick (as approved by the ARC), cementitious siding, natural wood siding, which is painted or stained, metal siding and stucco. Vinyl, aluminum, and plywood siding such as TI-11 will not be allowed. Stone/masonry veneer shall terminate on an interior corner and shall not be applied to only one façade of the building.

Massing/Wall Form: No wall shall consist of a single finish treatment for more than fourteen (14) horizontal feet without interruption by a wall projection or a different siding material, window, wall corner, chimney, wall recess, porch, or other architectural form that adds interest.

Windows and Doors: Windows and doors are an important architectural element and therefore significant numbers are highly encouraged. All glazing in windows and doors shall be of double or triple glazing. No mirror or colored glazing shall be allowed. All windows and doors shall be vinyl, aluminum clad, or finished wood. Unclad custom-built windows for individual applications shall be trimmed and painted to provide consistent appearance with

all other windows of the home. Consistency of types and shapes of windows as well as window patterns that are consistent with the design of the structure should be carefully considered.

Decks, Balconies, Patios, and Porches: Decks, balconies, patios, and porches shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Decks at grade level shall be skirted to grade. Decks which are on the second story (that are not cantilevered) and high off the ground shall either be sided down to a continuous concrete grade beam and sided with the same siding as the main body of the structure, or they shall be required to have additional mass and size in the vertical support posts and a soffit treatment to the underside of the deck. Treated Douglas Fir, except in structural members, is not an acceptable decking material. All structural supports shall have a substantial base designed to accentuate the home.

Entries: The Entry shall be the dominant feature of each home in West Post as viewed from the street. Particular attention and detail shall be applied to the primary entry.

Exterior Lighting: The use of 'up lighting' of any landscape or architectural feature is not permitted, all landscape and site lighting must be 'Dark Sky' compliant. In addition, all outdoor residential lighting shall be free of glare and shall be fully shielded or shall be indirect lighting. No illumination shall extend beyond a property's lot line. No unshielded lights shall be permitted. Minimal landscape lighting is encouraged and must be clearly indicated on all landscape plans; manufacturer cut sheets may be requested by the West Post ARC. For the purpose of this paragraph, the following definitions shall apply:

- Fully shielded lights: outdoor residential light fixtures shielded or constructed so that no light rays are emitted by the installed fixture at angles above the horizontal plane as certified by a photometric test expert.
- Indirect light: Direct light that has been reflected or has scattered off of other surfaces
- Glare: Light emitting from a luminary with an intensity great enough to reduce a viewer's ability to see, and in extreme cases, causing momentary blindness
- Outdoor Lighting: The nighttime illumination of an outside area or object by any man-made device located outdoors that produces light by any means.

7.5 Garages and Accessory Buildings

Each single household home is required to have a minimum of an attached or detached two (2) car garage with a sectional roll up door(s). All garages shall be subordinate to the home and as such shall not be the dominant feature of any home. The garage door color must be compatible with the overall house color scheme. Landscape screening is encouraged in addition to massing consideration.

Conventional Lots with Front-Loaded Garages require de-emphasis and subdued garage door locations from the primary street frontage, whether primary or secondary. Garages shall not be the dominant feature of the houses. Plans for front-loaded garages must incorporate the following:

- Detached garages located behind the primary home are encouraged. These garages should consider a central green strip running down the driveway from the sidewalk to the garage to reduce the amount of impervious surface at each residence.
- Garage doors must be located on a plane which is set back a minimum of ten feet from the plane that contains the front door for the residential portion of the house. If the house is located on a corner lot and the garage door and the front door of the residential portion of the house face the same street, the garage shall be located on the side of the house

opposite the nearest intersecting street, so that the garage is on the side of the house nearest the mid-point of the Block.

- Corner configurations which orient the driveway and garage doors to the secondary streets. In such cases, the garage door must still be screened from view from both the primary and secondary streets, as described above.

Prohibited Building Types: Each Prefabricated, modular, mobile, factory built and/or kit buildings of any type are strictly prohibited.

7.6 Enforcement

Each Enforcement of the Design Regulations and Guidelines shall be through the Master Developer and / or ARC.

7.7 Declarant's Right to Amend

For a period of twenty-five (25) years following the recording of this document, or until 90% of the lots within West Post are sold, whichever is the last to occur, the Master Developer reserves the right to amend these Design Regulations and Guidelines as the Master Developer deems necessary or advisable. Such amendments shall have prospective application only, unless agreed to by the affected homeowners. Each lot owner and each holder of a mortgage or trust indenture on a unit, by acceptance of the deed or security instrument, hereby consents to all such amendments and grants unto the Master Developer, as well as its successors and assigns, a limited irrevocable power of attorney, coupled with an interest, to amend this document without the need for a vote of the owners.

